Bixby Technical Advisory Committee
Meeting Agenda

Bixby Municipal Building
Conference Room
113 W Dawes Avenue, Bixby, Oklahoma

Wednesday, August 5, 2026 | 10:00 A.M.

Call to Order

Introductions

Approval of Minutes

1. Review and approve the minutes for the TAC meeting held on June 3, 2026.

Items to be Discussed and Reviewed

1. Reconstruction and widening of South Sheridan Road from East 151st Street South to East 141st Street South, as presented by Poe & Associates on behalf of the City of Bixby.

2. Discussion and review of Preliminary Plat Case No. BXPT-26.03 for Walmart Supercenter, a proposed commercial development consisting of three (3) lots within one (1) block, on approximately 27.398 acres, located at the northwest corner of South Yale Avenue and East 151st Street, Bixby, Oklahoma.

3. Discussion and review of Site Plan Case No. BXSP-26.02 for Walmart Supercenter, a proposed commercial development on approximately 27 acres, located at the northwest corner of South Yale Avenue and East 151st Street, Bixby, Oklahoma.

4. Discussion and review of Site Plan Case No. BXSP-26.06 for Lot 2, Block 2 of South County Industrial Park, an industrial development on approximately 1.490 acres, located at 14220 S 43rd East Avenue, Bixby, Oklahoma.

5. Discussion and review of Preliminary Plat Case No. BXPT-26.08 for Spartan Square, a proposed commercial development consisting of four (4) lots within one (1) block, on approximately 3.16 acres, located at 211 N Cabaniss Avenue, Bixby, Oklahoma.

6. Discussion and review of Site Plan Case No. BXSP-26.07 for Spartan Square, a proposed commercial development on approximately 3.16 acres, located at 211 N Cabaniss Avenue, Bixby, Oklahoma.

7. Discussion and review of Final Plat Case No. BXPT-22.18 FP Blocks 6-15, a request for a

residential subdivision consisting of one hundred thirty-three (133) lots within ten (10) blocks, including four (4) reserve areas, on approximately 73 acres, located at the northeast corner of South Sheridan Road and East 171st Street South, Bixby, Oklahoma, known as The Preserve.

Adjournment

This Notice and Agenda were posted on the bulletin board on or before 10:00 a.m., August 4, 2026, at the Bixby Municipal Building located at 111 N Cabaniss Ave, Bixby, Oklahoma.

Respectfully submitted,

Gladys Gill
Assistant Planner

For Special Accommodations

Persons who require special accommodations to participate in this meeting should contact City Clerk Shannon Duran: 111 N. Cabaniss Avenue, Bixby, Oklahoma, 74008, 918-366- 4430 or email City Clerk, Shannon Duran (sduran@bixbyok.gov), as far in advance as possible and preferably at least 48 hours before the date of the meeting. Persons using a Telecommunication Device for the Deaf may contact Oklahoma Relay at 1-800-722-0353, and voice calls should be made to 1-800-522-8506 to communicate by telephone with hearing telephone users, and vice versa.

Bixby Technical Advisory Committee
Meeting Minutes

Bixby Municipal Building
Conference Room
113 W Dawes Avenue, Bixby, Oklahoma

Wednesday, June 3, 2026 | 10:00 A.M.

Call to Order

The Bixby Technical Advisory Committee meeting was called to order by Assistant Planner Gladys Gill at approximately 10:04 a.m.

Introductions

Introductions were made by representatives from the City of Bixby, consultants, utility providers, Bixby Public Schools and development teams in attendance. See the sign-in sheet attached to the minutes.

Approval of Minutes

1. **Review and approve the minutes for the TAC meeting held on April 1, 2026.**

   The Committee considered the minutes from the May 6, 2026, TAC meeting. A motion to approve the minutes was made by Richard Gann of BTC and seconded by Leo Gualano, City Engineer for the City of Bixby. The motion carried unanimously by voice vote.

Items to be Discussed and Reviewed

1. **Discussion and review of Final Plat Case No. BXPT-22.03 FP for Bixby Business Park, a proposed commercial development consisting of seventeen (17) lots, five (5) blocks, and two (2) reserve areas on approximately 20.04 acres, located on the west side of South Kimberly-Clark Place and East 146th Street South, Bixby, Oklahoma.**

   Discussion was held regarding the Final Plat for Bixby Business Park, a proposed commercial development located west of South Kimberly-Clark Place and East 146th Street South.

   Gladys Gill noted the application had been distributed to TAC members the previous afternoon due to a late submittal and explained that the proposal was substantially unchanged from the previously reviewed Preliminary Plat.

   Public Works advised that formal review comments had not yet been issued but identified several items requiring further evaluation, including:

- Driveway locations and access spacing.
- Previous discussions regarding relocating the north and south driveways.
- Existing and future City of Tulsa water infrastructure.
- Planned 24-inch water line improvements.
- General roadway design concerns.

The applicant explained the current driveway locations were established during previous plan approvals and modifications had been made to satisfy fire code separation requirements. Public Works stated additional comments would be provided following completion of its review.

BTC Broadband reported that fiber infrastructure has already been extended to the area and had no significant concerns.

Oklahoma Natural Gas indicated the development can be served and requested the opportunity to review the final utility plans prior to approval. Applicant to coordinate with Oklahoma Natural Gas regarding utility service.

During discussion, staff identified discrepancies in the plat regarding the development statistics. The applicant confirmed the correct project consists of:

16 lots
4 blocks

Staff will revise the plat description to reflect the correct lot and block count. Public Works will issue formal review comments.

No action was taken.

2. **Discussion and review of Preliminary Plat Case No. BXPT-26.07 for Sheridan Reserve, a proposed commercial development consisting of three (3) lots within one (1) block, on approximately 5.07 acres, located at the northeast corner of South Sheridan Road and East 121st Street, Bixby, Oklahoma.**

Discussion was held regarding the Preliminary Plat for Sheridan Reserve, a proposed commercial development at the northeast corner of South Sheridan Road and East 121st Street.

Development Services advised that comments related to the accompanying PUD amendment would be provided separately and that minor plat comments would also be transmitted to the applicant.

Public Works reported several outstanding engineering concerns requiring additional review, including:

- Stormwater detention design.
- Drainage routing.
- Wetland impacts.
- Existing downstream drainage infrastructure.
- Access spacing along East 121st Street.

- Future roadway widening along Sheridan Road.

BTC Broadband requested clarification regarding existing fiber locations and utility easements within the development.

Staff recommended scheduling a follow-up coordination meeting between the applicant and Public Works after engineering comments are issued. The applicant agreed.

No action was taken.

3. **Discussion and review of a Lot Split (BXLS-26.01) within the Bixby Ranch Estates subdivision, located at 20137 S 137th East Ave, Bixby, Oklahoma.**

Staff presented the proposed lot split located at 20137 S. 137th East Avenue.

The request would divide an existing parcel within the platted subdivision to facilitate the sale of a portion of the property. Staff explained that:

The subdivision is already platted.
Existing utility easements will remain unaffected.
Existing access to the residence will remain unchanged.

No objections or utility conflicts were identified by the committee.

Public Works advised that roadway rehabilitation work is anticipated in the general area as part of upcoming county improvements.

No action was taken.

Adjournment

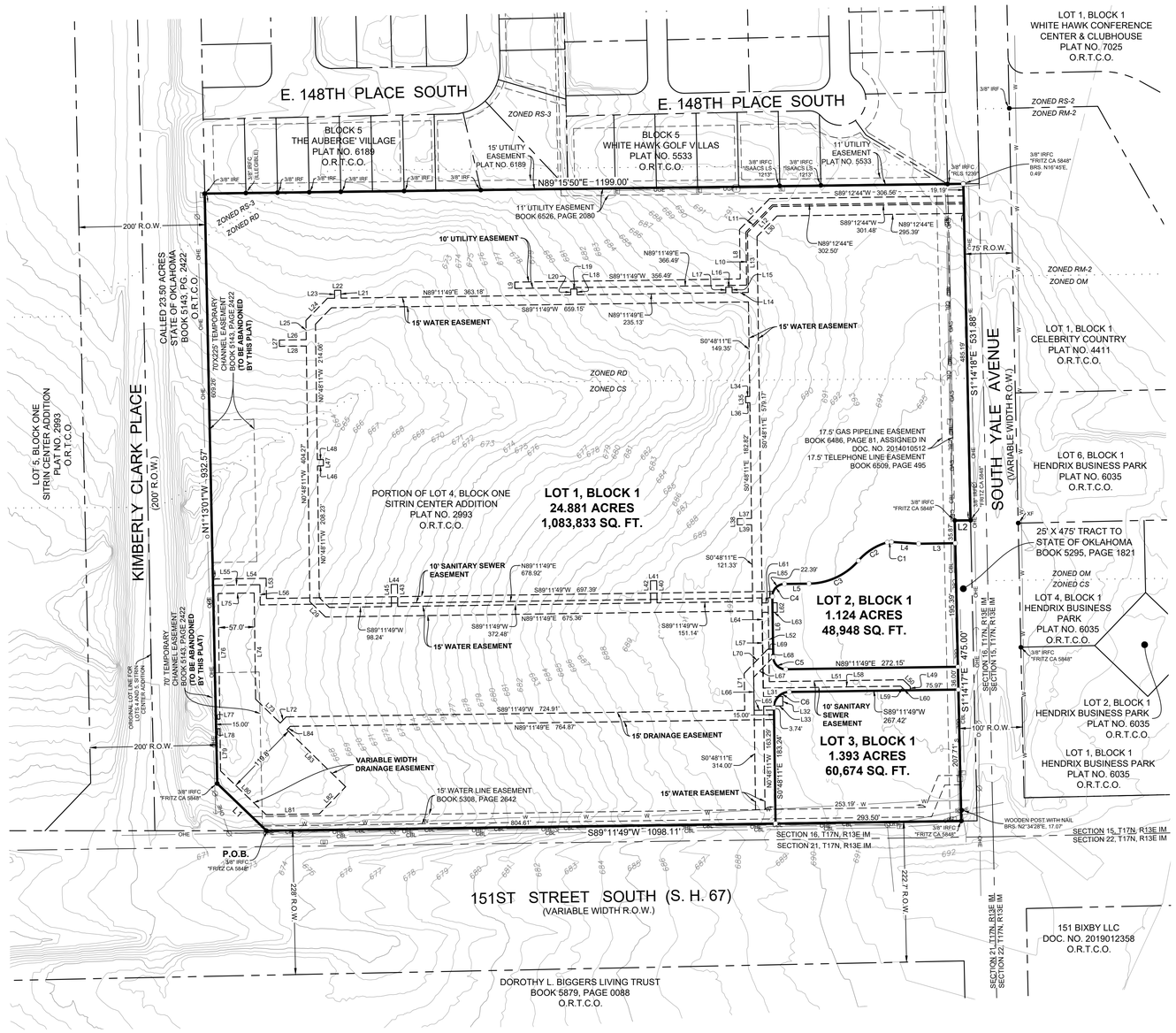
There being no further business, the meeting adjourned at 10:21 a.m.

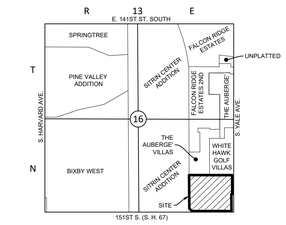
PRELIMINARY PLAT OF LOTS 1-3, BLOCK 1
WAL-MART SITRIN CENTER ADDITION

BEING A REPLAT OF A PORTION OF LOT 4, BLOCK 1,
SITRIN CENTER ADDITION
A PORTION OF THE SE/4 OF SECTION 16, T 17 N, R 13 E
(INDIAN MERIDIAN)
CITY OF BIXBY, TULSA COUNTY, OKLAHOMA

NORTH

GRAPHIC SCALE IN FEET
100 0 50 100 200
1" = 100' @ 24X36





NORTH

LOCATION MAP
1" = 2000'

LEGEND

O.R.T.C.O.	OFFICIAL RECORDS OF TULSA COUNTY, OKLAHOMA
IRSC	5/8" IRON ROD W/ "KHA" CAP SET
IRFC	IRON ROD WITH CAP FOUND
IRF	IRON ROD FOUND
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT-OF-WAY
XS	"X" CUT IN CONCRETE SET
XF	"X" CUT IN CONCRETE FOUND

LINE TYPE LEGEND

	APPROXIMATE BOUNDARY LINE
	EASEMENT LINE
	BUILDING LINE
	ADJACENT PROPERTY LINE
W	WATER LINE
GAS	UNDERGROUND GAS LINE
OHE	OVERHEAD UTILITY LINE
UGE	UNDERGROUND ELECTRIC LINE
CBL	UNDERGROUND TELEPHONE LINE

SYMBOL LEGEND

ROOF DRAIN	MAIL BOX
CABLE TV BOX	SANITARY SEWER CLEAN OUT
CABLE TV HANDHOLE	SANITARY SEWER MANHOLE
CABLE TV MANHOLE	SANITARY SEWER MARKER FLAG
CABLE TV MARKER FLAG	SANITARY SEWER MARKER SIGN
CABLE TV MARKER SIGN	SANITARY SEWER SEPTIC TANK
CABLE TV VAULT	SANITARY SEWER VAULT
COMMUNICATIONS BOX	STORM SEWER BOX
COMMUNICATIONS HANDHOLE	STORM SEWER DRAIN
COMMUNICATIONS MANHOLE	STORM SEWER MANHOLE
COMMUNICATIONS MARKER FLAG	STORM SEWER VAULT
COMMUNICATIONS MARKER SIGN	TRAFFIC BARRIER
COMMUNICATIONS VAULT	TRAFFIC BOLLARD
ELEVATION BENCHMARK	TRAFFIC BOX
FIBER OPTIC BOX	CROSS WALK SIGNAL
FIBER OPTIC HANDHOLE	TRAFFIC HANDHOLE
FIBER OPTIC MANHOLE	TRAFFIC MANHOLE
FIBER OPTIC MARKER FLAG	TRAFFIC MARKER SIGN
FIBER OPTIC MARKER SIGN	TRAFFIC SIGNAL
FIBER OPTIC VAULT	TRAFFIC VAULT
MONITORING WELL	UNIDENTIFIED BOX
GAS HANDHOLE	UNIDENTIFIED HANDHOLE
GAS METER	UNIDENTIFIED METER
GAS MANHOLE	UNIDENTIFIED MANHOLE
GAS MARKER FLAG	UNIDENTIFIED MARKER FLAG
GAS SIGN	UNIDENTIFIED MARKER SIGN
GAS TANK	UNIDENTIFIED POLE
GAS VAULT	UNIDENTIFIED TANK
GAS VALVE	UNIDENTIFIED VAULT
TELEPHONE BOX	UNIDENTIFIED VALVE
TELEPHONE HANDHOLE	TREE
TELEPHONE MANHOLE	WATER BOX
TELEPHONE MARKER FLAG	FIRE DEPT. CONNECTION
TELEPHONE MARKER SIGN	WATER HAND HOLE
TELEPHONE VAULT	FIRE HYDRANT
PIPELINE MARKER SIGN	WATER METER
ELECTRIC BOX	WATER MANHOLE
FLOOD LIGHT	WATER MARKER FLAG
GUY ANCHOR	WATER MARKER SIGN
GUY ANCHOR POLE	WATER VAULT
ELECTRIC HANDHOLE	WATER VALVE
LIGHT STANDARD	AIR RELEASE VALVE
ELECTRIC METER	WATER WELL
ELECTRIC MANHOLE	
ELECTRIC MARKER FLAG	
ELECTRIC MARKER SIGN	
UTILITY POLE	
ELECTRIC TRANSFORMER	
ELECTRIC VAULT	
HANDICAPPED PARKING	
SIGN	
MARQUEE/BILLBOARD	
BORE LOCATION	
FLAG POLE	
GREASE TRAP	

LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N46°13'01"W	107.84'	L44	N89°11'49"E	10.00'
L2	S89°13'04"W	25.00'	L45	N00°48'11"W	35.00'
L3	S89°11'49"W	57.89'	L46	S89°11'49"W	9.50'
L4	N86°16'27"W	43.03'	L47	S00°48'11"E	10.00'
L5	S89°11'49"W	38.66'	L48	N89°11'49"E	9.50'
L6	S00°48'11"E	95.76'	L49	S00°48'11"E	5.82'
L7	N44°12'17"E	68.14'	L50	S45°48'11"E	15.46'
L8	N00°48'11"W	78.06'	L51	N89°11'49"E	211.77'
L9	N00°48'11"W	10.00'	L52	S00°48'11"E	132.51'
L10	S00°48'11"E	83.92'	L53	S00°48'11"E	31.99'
L11	S44°12'17"W	59.85'	L54	N89°11'59"E	84.21'
L12	S44°12'17"W	57.78'	L55	N89°11'59"E	74.10'
L13	S00°48'11"E	94.38'	L56	S00°48'11"E	31.99'
L14	S89°11'49"W	25.55'	L57	S00°48'11"E	142.51'
L15	N00°48'11"W	8.85'	L58	N89°11'49"E	217.63'
L16	S89°11'49"W	10.00'	L59	S45°48'11"E	7.17'
L17	S00°48'11"E	8.85'	L60	S00°48'11"E	1.68'
L18	N00°48'11"W	9.24'	L61	S89°11'49"W	23.75'
L19	S89°11'49"W	10.00'	L62	N00°48'11"W	15.00'
L20	S00°48'11"E	9.24'	L63	N89°11'49"E	23.75'
L21	N00°48'11"W	12.49'	L64	N00°48'11"W	133.21'
L22	S89°11'49"W	10.00'	L65	S89°11'49"W	31.25'
L23	S00°48'11"E	12.49'	L66	N00°47'05"W	52.39'
L24	S44°11'49"W	48.64'	L67	N44°11'49"E	40.80'
L25	S00°48'11"E	30.44'	L68	N89°11'49"E	2.54'
L26	S89°11'49"W	42.51'	L69	S89°11'49"W	8.60'
L27	S00°48'11"E	10.00'	L70	S44°11'49"W	53.23'
L28	N89°11'49"E	42.51'	L71	S00°48'11"E	58.61'
L29	S45°48'11"E	34.50'	L72	S43°48'24"W	13.44'
L30	N44°12'17"E	45.35'	L73	N45°48'11"W	54.10'
L31	S89°11'49"W	30.50'	L74	N00°48'11"W	167.81'
L32	N00°48'11"W	15.00'	L75	S89°11'49"W	57.00'
L33	N89°11'49"E	30.50'	L76	S00°48'11"E	198.64'
L34	N89°11'49"E	6.75'	L77	S89°11'49"W	6.31'
L35	N00°48'11"W	10.00'	L78	N89°11'49"E	6.20'
L36	S89°11'49"W	6.75'	L79	S00°48'11"E	66.88'
L37	N89°11'49"E	22.50'	L80	S46°13'01"E	99.69'
L38	N00°48'11"W	10.00'	L81	N89°11'49"E	84.06'
L39	S89°11'49"W	22.50'	L82	N44°11'49"E	59.84'
L40	S00°48'11"E	35.00'	L83	N45°48'11"W	129.41'
L41	N89°11'49"E	10.00'	L84	N43°48'24"E	7.27'
L42	N00°48'11"W	35.00'	L85	N89°11'49"E	6.75'
L43	S00°48'11"E	35.00'			

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	19°29'10"	19.50'	6.63'	S83°58'58"W	6.60'
C2	33°12'54"	94.50'	54.78'	S57°37'56"W	54.02'
C3	48°10'20"	105.50'	88.70'	S65°06'39"W	86.11'
C4	90°00'00"	19.50'	30.63'	S44°11'49"W	27.58'
C5	89°59'59"	19.50'	30.63'	S45°48'11"E	27.58'
C6	90°00'01"	24.50'	38.48'	S44°11'49"W	34.65'

NOTES:

PURSUANT TO THE PROPERTY ZONING REPORT, PROVIDED BY ZONING-INFO, LLC, DATED FEBRUARY 18, 2026, THE PROPERTY HAS A CURRENT ZONING CLASSIFICATION OF CS (COMMERCIAL) AND RD (RESIDENTIAL DUPLEX DISTRICT).

BEARING SYSTEM IS BASED ON THE OKLAHOMA COORDINATE SYSTEM OF 1983, NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83). TO OBTAIN A GRID DISTANCE, MULTIPLY THE GROUND DISTANCE BY THE PROJECT COMBINED FACTOR (PCF) OF 0.999172320.

FLOOD STATEMENT:

ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 40143C0433L, FOR TULSA COUNTY, OKLAHOMA AND INCORPORATED AREAS, DATED SEPTEMBER 30, 2016, THIS PROPERTY IS LOCATED WITHIN ZONE X (UNSHADED) DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR. THE FLOODPLAIN LINES SHOWN HEREON, IF ANY, ARE APPROXIMATE AND ARE BASED ON GIS DATA FROM THE FEMA WEBSITE.

OWNER:
XXXXXX
XXXXXXXX
XXXXXXXX
Phone: XXXXX
Contact: XXXXX

APPLICANT:
Kimley-Horn and Associates, Inc.
6160 Warren Pkwy., Suite 210
Frisco, Texas 75034
Phone: 214-387-3846
Contact: Carolyn Koch, PE

SURVEYOR:
Kimley-Horn and Associates, Inc.
6160 Warren Pkwy., Suite 210
Frisco, Texas 75034
Phone: 972-335-3580
Contact : Michael Marx, RPLS

Kimley»Horn
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
FIRM # 10193822
Tel. No. (972) 335-3580
Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1' = 100'	MDS	KHA	03/03/2026	065563201	1 OF 2

DWG NAME: K:\FRI_SURVEY\065563201-WM 9907 - BIXBY OKC\DWG\065563201 PRELIM PLAT.DWG PLOTTED BY SWAYNE, MATTHEW 3/3/2026 9:21 AM LAST SAVED 3/3/2026 9:21 AM

PRELIMINARY PLAT OF LOTS 1-3, BLOCK 1
WAL-MART SITRIN CENTER ADDITION

BEING A REPLAT OF A PORTION OF LOT 4, BLOCK 1,
SITRIN CENTER ADDITION
A PORTION OF THE SE/4 OF SECTION 16, T 17 N, R 13 E
(INDIAN MERIDIAN)
CITY OF BIXBY, TULSA COUNTY, OKLAHOMA

SECTION I. PUBLIC STREETS AND UTILITIES

A. PUBLIC STREETS AND UTILITY EASEMENTS

THE OWNER HEREBY DEDICATES TO THE PUBLIC THE STREET RIGHTS-OF-WAY DEPICTED ON THE ACCOMPANYING PLAT. THE OWNER FURTHER DEDICATES TO THE PUBLIC THE UTILITY EASEMENTS DESIGNATED AS "U/E" OR "UTILITY EASEMENT" FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND/OR REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, SANITARY SEWERS, TELEPHONE AND COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATER LINES AND CABLE TELEVISION LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS, MANHOLES AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES STATED, PROVIDED THE OWNER RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND REPAIR OR REPLACE WATER LINES AND SEWER LINES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING, REPAIRING AND RE-LAYING OVER, ACROSS AND ALONG ALL OF THE UTILITY EASEMENTS DEPICTED ON THE PLAT FOR THE PURPOSE OF FURNISHING WATER AND/OR SEWER SERVICES TO AREAS DEPICTED ON THE PLAT. THE OWNER HEREIN IMPOSES A RESTRICTIVE COVENANT, WHICH COVENANT SHALL BE BINDING ON EACH LOT OWNER AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, AND BY THE SUPPLIER OF ANY AFFECTED UTILITY SERVICE, THAT WITHIN THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT NO BUILDING, STRUCTURE OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION THAT INTERFERES WITH STATED USES AND PURPOSES OF THE UTILITY EASEMENTS SHALL BE PLACED, ERECTED, INSTALLED OR MAINTAINED, PROVIDED NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING, LANDSCAPING AND CUSTOMARY SCREENING FENCES WHICH DO NOT CONSTITUTE AN OBSTRUCTION.

B. WATER, SANITARY SEWER, AND STORM SEWER SERVICE

1. THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS, SANITARY SEWER MAINS, AND STORM SEWERS LOCATED ON THE OWNER'S LOT.

2. WITHIN UTILITY EASEMENTS, DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF GRADE FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER MAIN, SANITARY SEWER MAIN, OR STORM SEWER OR ANY CONSTRUCTION ACTIVITY WHICH, IN THE JUDGMENT OF THE CITY OF BIXBY, WOULD INTERFERE WITH PUBLIC WATER MAINS, SANITARY SEWER MAINS, AND STORM SEWERS SHALL BE PROHIBITED.

3. THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER SYSTEMS, SANITARY SEWER MAINS, AND STORM SEWERS BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER, OR THE OWNER'S AGENTS AND/OR CONTRACTORS.

4. THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS, DEPICTED ON THE ACCOMPANYING PLAT, OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION, FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF UNDERGROUND WATER, SANITARY SEWER, OR STORM SEWER FACILITIES.

5. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, AND THE OWNER OF EACH LOT AGREES TO BE BOUND BY THESE COVENANTS.

C. PAVING AND LANDSCAPING WITHIN EASEMENTS

THE OWNER OF ANY LOT DEPICTED ON THE ACCOMPANYING PLAT SHALL BE RESPONSIBLE FOR THE REPAIR OF DAMAGE TO LANDSCAPING AND PAVING OCCASIONED BY INSTALLATION OR NECESSARY MAINTENANCE OF UNDERGROUND WATER, SANITARY SEWER, STORM SEWER, NATURAL GAS, COMMUNICATION, CABLE TELEVISION OR ELECTRIC FACILITIES WITHIN THE EASEMENT AREAS DEPICTED UPON THE ACCOMPANYING PLAT, PROVIDED THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, OR THE SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

D. UTILITY SERVICE

1. OVERHEAD LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICES MAY BE LOCATED WITHIN THE PERIMETER EASEMENTS OF THE SUBDIVISION. STREET LIGHT POLES OR STANDARDS MAY BE SERVED BY OVERHEAD LINE OR UNDERGROUND CABLE, AND ELSEWHERE THROUGHOUT THE SUBDIVISION, ALL SUPPLY LINES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS LINES SHALL BE LOCATED UNDERGROUND IN EASEMENTS DEDICATED FOR GENERAL UTILITY SERVICES AND IN THE RIGHTS-OF-WAY OF THE PUBLIC STREETS AS DEPICTED ON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN GENERAL UTILITY EASEMENTS.

2. UNDERGROUND SERVICE CABLES AND GAS SERVICE LINES TO ALL STRUCTURES WITHIN THE SUBDIVISION MAY BE EXTENDED FROM THE NEAREST GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURE UPON THE LOT, PROVIDED UPON INSTALLATION OF A SERVICE CABLE OR GAS SERVICE LINE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, EFFECTIVE AND NON-EXCLUSIVE EASEMENT ON THE LOT, COVERING A 5 FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE OR LINE EXTENDING FROM THE GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE SERVICE ENTRANCE ON THE STRUCTURE.

3. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS SERVICE, THROUGH ITS AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES INSTALLED BY THE SUPPLIER OF THE UTILITY SERVICE.

4. THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND SERVICE FACILITIES LOCATED ON THE OWNER'S LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES. EACH SUPPLIER OF THESE SERVICES SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF UNDERGROUND FACILITIES, BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OR THE OWNER'S AGENTS OR CONTRACTORS.

5. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY EACH SUPPLIER OF THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE AND THE OWNER OF ANY LOT AGREES TO BE BOUND BY THESE COVENANTS.

E. GAS SERVICE

1. THE SUPPLIER OF GAS SERVICE THROUGH ITS AGENTS AND EMPLOYEES SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR AS OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, REMOVING, REPAIRING, OR REPLACING ANY PORTION OF THE FACILITIES INSTALLED BY THE SUPPLIER OF GAS SERVICE.

2. THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND GAS FACILITIES LOCATED WITHIN THE LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY OTHER CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH GAS SERVICE. THE SUPPLIER OF GAS SERVICE SHALL BE RESPONSIBLE FOR THE ORDINARY MAINTENANCE OF ITS FACILITIES, BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER, OR THE OWNER'S AGENTS OR CONTRACTORS.

3. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY THE SUPPLIER OF THE GAS SERVICE AND THE OWNER OF THE LOT AGREES TO BE BOUND BY THESE COVENANTS.

G. SURFACE DRAINAGE

EACH LOT WITHIN THE SUBDIVISION SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE STORM AND SURFACE WATERS FROM LOTS AND DRAINAGE AREAS OF HIGHER ELEVATION. NO LOT OWNER SHALL CONSTRUCT OR PERMIT TO BE CONSTRUCTED ANY FENCING OR OTHER OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF STORM AND SURFACE WATERS OVER AND ACROSS THE OWNER'S LOT. THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY ANY AFFECTED LOT OWNER AND BY THE CITY OF BIXBY, OKLAHOMA.

H. SIDEWALKS

SIDEWALKS SHALL BE CONSTRUCTED AND MAINTAINED ALONG STREETS DESIGNATED BY AND IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF BIXBY, OKLAHOMA, AND ALL SUCH SIDEWALKS SHALL BE CONSTRUCTED BY THE OWNER PRIOR TO THE ISSUANCE OF THE OCCUPANCY PERMIT FOR ANY BUILDING WITHIN THE SUBDIVISION. THE OWNER SHALL CONSTRUCT SIDEWALKS IN CONFORMANCE WITH THE STANDARDS OF THE CITY OF BIXBY ENGINEERING DESIGN STANDARDS.

I. CERTIFICATE OF OCCUPANCY RESTRICTIONS

NO CERTIFICATE OF OCCUPANCY FOR A BUILDING WITHIN THE SUBDIVISION SHALL BE ISSUED BY THE CITY OF BIXBY, OKLAHOMA UNTIL CONSTRUCTION OF THE REQUIRED INFRASTRUCTURE (STREETS, WATER, SANITARY SEWER, STORM SEWER SYSTEMS AND SIDEWALKS) SERVING THE ENTIRE SUBDIVISION HAS BEEN COMPLETED AND ACCEPTED BY THE CITY OF BIXBY, OKLAHOMA. NOTWITHSTANDING THE FOREGOING, THE CITY MAY AUTHORIZE THE ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY IF, IN THE CITY'S SOLE DISCRETION, THE CIRCUMSTANCES SUPPORT THE ISSUANCE. FURTHER NOTWITHSTANDING THE FOREGOING, THE CITY MAY AUTHORIZE THE PHASING OF THE CONSTRUCTION OF INFRASTRUCTURE WITHIN THE SUBDIVISION, AND IF PHASING IS AUTHORIZED, A CERTIFICATE OF OCCUPANCY FOR A BUILDING WITHIN AN AUTHORIZED PHASE MAY ISSUE UPON THE COMPLETION AND ACCEPTANCE OF THE INFRASTRUCTURE SERVING THE PARTICULAR PHASE. BUILDING CONSTRUCTION OCCURRING PRIOR TO THE CITY'S ACCEPTANCE OF THE INFRASTRUCTURE SHALL BE AT THE RISK OF THE OWNER OF THE LOT, NOTWITHSTANDING THE ISSUANCE OF A BUILDING PERMIT OR OF A TEMPORARY CERTIFICATE OF OCCUPANCY.

SECTION II. ENFORCEMENT, DURATION, AMENDMENT, AND SEVERABILITY

A. ENFORCEMENT

THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE BINDING UPON THE OWNER, ITS SUCCESSORS AND ASSIGNS. WITHIN THE PROVISIONS OF SECTION I. PUBLIC STREETS AND UTILITIES, ARE SET FORTH CERTAIN COVENANTS AND THE ENFORCEMENT RIGHTS PERTAINING THERETO AND WHETHER OR NOT THEREIN SO STATED, THE COVENANTS WITHIN SECTION I SHALL INURE TO THE BENEFIT OF, AND BE ENFORCEABLE BY, THE CITY OF BIXBY, OKLAHOMA. IF ANY JUDICIAL ACTION IS BROUGHT TO ENFORCE THE COVENANTS ESTABLISHED IN THIS DEED OF DEDICATION THE DEFENSE THAT THE PARTY INITIATING THE EQUITABLE PROCEEDING HAS AN ADEQUATE REMEDY AT LAW IS HEREBY WAIVED.

B. DURATION

THESE RESTRICTIONS SHALL REMAIN IN FULL FORCE AND EFFECT FOR 25 YEARS AND SHALL AUTOMATICALLY BE CONTINUED THEREAFTER FOR SUCCESSIVE PERIODS OF 10 YEARS EACH, UNLESS TERMINATED OR AMENDED AS HEREINAFTER PROVIDED.

C. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I. PUBLIC STREETS AND UTILITIES, MAY BE AMENDED OR TERMINATED AT ANY TIME WHETHER BEFORE OR AFTER THE PERIOD(S) SPECIFIED IN SUBSECTION B., BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LOT TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE BIXBY PLANNING COMMISSION, OR ITS SUCCESSORS AND THE CITY OF BIXBY, OKLAHOMA.

D. SEVERABILITY

INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN, OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OF ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

OWNER'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT _____, HEREINAFTER COLLECTIVELY REFERRED TO AS THE "OWNER/DEVELOPER", ARE THE OWNERS OF THE FOLLOWING DESCRIBED REAL ESTATE SITUATED IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, TO-WIT:

BEING A TRACT OF LAND SITUATED IN SECTION 16, TOWNSHIP 17N, RANGE 13E, INDIAN MERIDIAN, AND BEING A PORTION OF LOT 4, BLOCK 1 OF SITRIN CENTER ADDITION, AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA, RECORDED IN PLAT NO. 2993, OFFICIAL RECORDS OF TULSA COUNTY, OKLAHOMA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 3/8-INCH IRON ROD WITH A GREEN PLASTIC CAP, STAMPED "FRITZ CA 5848" FOUND AT THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF 151ST STREET SOUTH (S. H. 67), AS DEDICATED IN SAID SITRIN CENTER ADDITION WITH THE EAST RIGHT OF WAY LINE OF KIMBERLY CLARK PLACE, A VARIABLE WIDTH RIGHT OF WAY AT THIS POINT, AS DESCRIBED IN DEED TO THE STATE OF OKLAHOMA, RECORDED IN BOOK 5143, PAGE 2422 OF THE OFFICIAL RECORDS OF TULSA COUNTY, OKLAHOMA, SAME BEING ON THE SOUTH LINE OF SAID LOT 4;

THENCE NORTH 46°13'01" WEST, ALONG THE EAST RIGHT OF WAY LINE OF SAID KIMBERLY CLARK PLACE, A DISTANCE OF 107.84 FEET TO A 3/8-INCH IRON ROD WITH A GREEN PLASTIC CAP, STAMPED "FRITZ CA 5848" FOUND FOR CORNER, SAID SOUTH SANDUSKY BEING A 120' WIDE RIGHT OF WAY AT THIS POINT;

THENCE NORTH 01°13'01" WEST, CONTINUING ALONG THE EAST RIGHT OF WAY LINE OF SAID KIMBERLY CLARK PLACE, A DISTANCE OF 932.57 FEET TO A 3/8-INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF BLOCK 5 OF THE AUBERGE' VILLAGE, AN ADDITION TO THE CITY OF BIXBY, RECORDED IN PLAT NO. 6189 OF THE OFFICIAL RECORDS OF TULSA COUNTY, OKLAHOMA;

THENCE NORTH 89°15'50" EAST, DEPARTING SAID KIMBERLY CLARK PLACE, ALONG THE SOUTH LINE OF SAID BLOCK 5 OF THE AUBERGE' VILLAGE AND THE SOUTH LINE OF BLOCK 5 OF WHITE HAWK GOLF VILLAS, AN ADDITION TO THE CITY OF BIXBY, RECORDED IN PLAT NO. 5533 OF THE OFFICIAL RECORDS OF TULSA COUNTY, OKLAHOMA, PASSING AT A DISTANCE OF 1, 174.00 FEET, A 3/8-INCH IRON ROD WITH A ORANGE PLASTIC CAP, STAMPED "RLS 1239" FOUND FOR THE SOUTHEAST CORNER OF SAID BLOCK 5 OF WHITE HAWK GOLF VILLAS, SAME BEING ON THE SOUTH LINE OF A 50' WIDE RIGHT OF WAY DEDICATION FOR SOUTH YALE AVENUE, AS DEPICTED IN SAID WHITE HAWK GOLF VILLAS, CONTINUING ALONG THE SOUTH LINE OF SAID RIGHT OF WAY DEDICATION, A TOTAL DISTANCE OF 1,199.00 FEET TO A POINT FOR CORNER ON THE EAST LINE OF AFORESAID LOT 4, BLOCK 1 AND THE WEST RIGHT OF WAY LINE OF SAID SOUTH YALE AVENUE AS DEPICTED IN AFORESAID SITRIN CENTER ADDITION, SAID RIGHT OF WAY BEING 75' WIDE AT THIS POINT, FROM SAID POINT, A FOUND 3/8-INCH IRON ROD WITH A GREEN PLASTIC CAP, STAMPED "FRITZ CA 5848" BEARS NORTH 16°45' EAST, 0.49 FEET;

THENCE SOUTH 01°14'18" EAST, ALONG THE EAST LINE OF SAID LOT 4 AND THE WEST RIGHT OF WAY LINE OF SAID SOUTH YALE AVENUE, A DISTANCE OF 531.88 FEET TO 3/8-INCH IRON ROD WITH A GREEN PLASTIC CAP, STAMPED "FRITZ CA 5848" FOUND FOR THE NORTHEAST CORNER OF A 25' X 475' TRACT DESCRIBED IN A DEED TO THE STATE OF OKLAHOMA, RECORDED IN BOOK 5295, PAGE 1821 OF THE OFFICIAL RECORDS OF TULSA COUNTY, OKLAHOMA;

THENCE SOUTH 89°13'04" WEST, DEPARTING THE EAST LINE OF SAID LOT 4, CONTINUING ALONG THE WEST RIGHT OF WAY LINE OF SAID SOUTH YALE AVENUE, AS DESCRIBED IN SAID STATE OF OKLAHOMA TRACT, A DISTANCE OF 25.00 FEET TO A 3/8-INCH IRON ROD WITH A GREEN PLASTIC CAP, STAMPED "FRITZ CA 5848" FOUND FOR A CORNER;

THENCE SOUTH 01°14'17" EAST, CONTINUING ALONG THE WEST RIGHT OF WAY LINE OF SAID SOUTH YALE AVENUE, AS DESCRIBED IN SAID STATE OF OKLAHOMA TRACT, A DISTANCE OF 475.00 FEET TO A 3/8-INCH IRON ROD WITH A GREEN PLASTIC CAP, STAMPED "FRITZ CA 5848" FOUND THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF SAID SOUTH YALE AVENUE WITH THE NORTH RIGHT OF WAY LINE OF AFORESAID 151ST STREET SOUTH (S. H. 67), SAME BEING ON THE SOUTH LINE OF SAID LOT 4, FROM WHICH, A WOODEN POST WITH A NAIL BEARS NORTH 02°34'28" EAST, 17.07 FEET;

THENCE SOUTH 89°11'49" WEST, ALONG THE SOUTH LINE OF SAID LOT 4 AND THE NORTH RIGHT OF WAY LINE OF 151ST STREET SOUTH (S. H. 67), A DISTANCE OF 1,098.11 FEET TO THE **POINT OF BEGINNING** AND CONTAINING 27.398 ACRES (1,193,460 SQUARE FEET) OF LAND, MORE OR LESS.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

THE OWNER/DEVELOPER HAS CAUSED THE ABOVE DESCRIBED LANDS TO BE SURVEYED, STAKED, PLATTED AND SUBDIVIDED INTO LOT(S) AND BLOCK(S), IN CONFORMITY WITH THE ACCOMPANYING PLAT, AND HAS DESIGNATED THE SUBDIVISION AS "NAME OF PLAT", A SUBDIVISION IN THE CITY OF BROKEN ARROW, WAGONER COUNTY, OKLAHOMA.

IN WITNESS WHEREOF, THE UNDERSIGNED OWNER HAS EXECUTED THIS PLAT.

BY: _____

BY: _____

STATE OF _____ §

COUNTY OF _____ §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF _____, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 202_.

_____
NOTARY PUBLIC IN AND FOR THE STATE OF _____

MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE

I, MICHAEL B. MARX, A REGISTERED LAND SURVEYOR, IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT DESIGNATED HEREIN AS "NAME OF PLAT", A SUBDIVISION IN THE CITY OF BROKEN ARROW, WAGONER COUNTY, STATE OF OKLAHOMA, IS A TRUE REPRESENTATION OF THE SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES AND MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING.

WITNESS MY HAND AND SEAL, THIS THE _____ DAY OF _____, 2026.

_____
MICHAEL B. MARX, P.L.S. 1767

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED MICHAEL B. MARX, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2026.

_____
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

OWNER:
XXXXXX
XXXXXXXX
XXXXXXXX
Phone: XXXXX
Contact: XXXXX

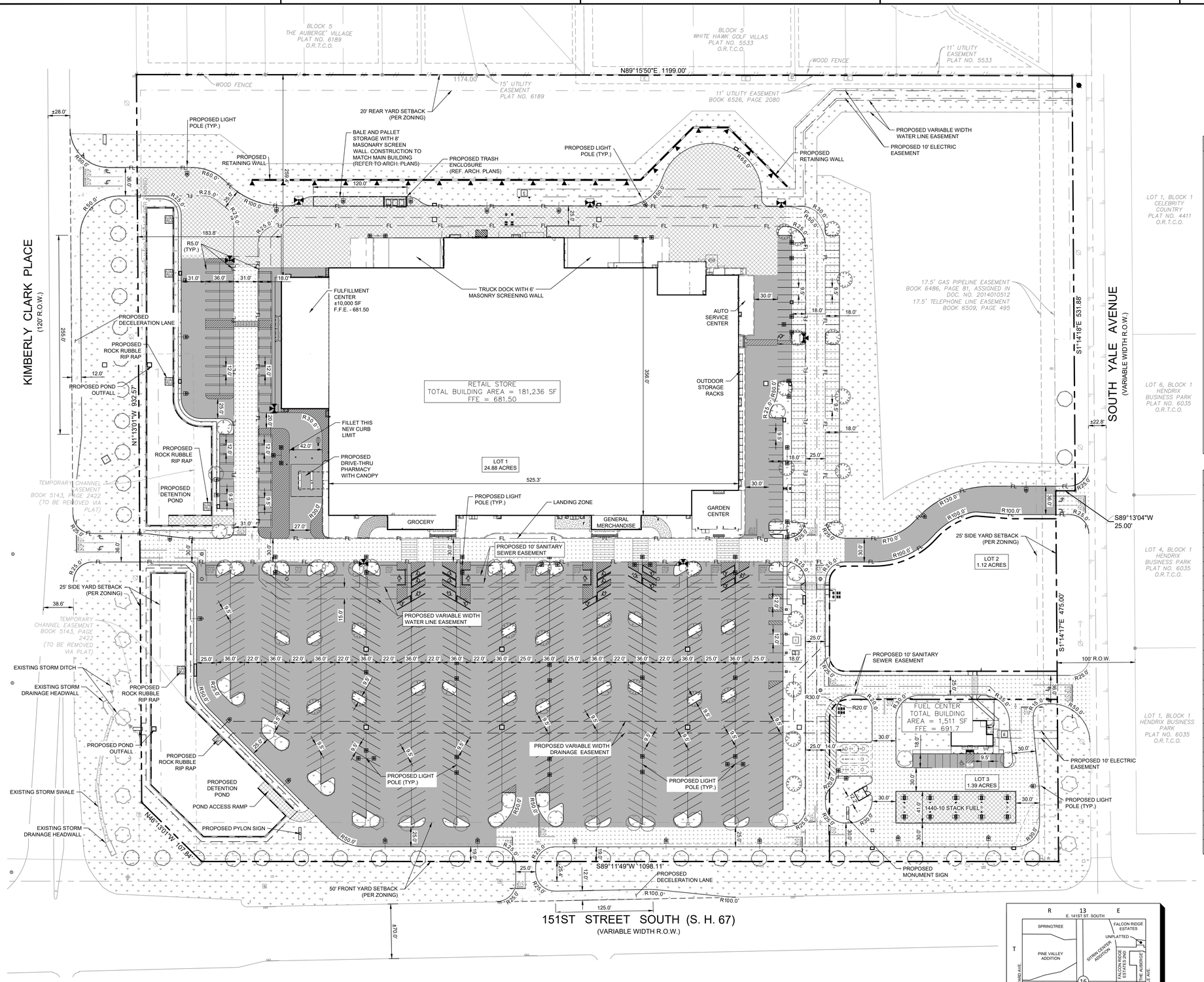
APPLICANT:
Kimley-Horn and Associates, Inc.
6160 Warren Pkwy., Suite 210
Frisco, Texas 75034
Phone: 214-387-3846
Contact: Carolyn Koch, PE

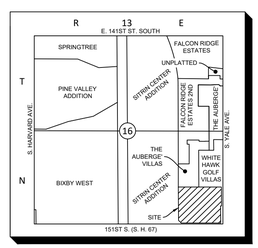
SURVEYOR:
Kimley-Horn and Associates, Inc.
6160 Warren Pkwy., Suite 210
Frisco, Texas 75034
Phone: 972-335-3580
Contact : Michael Marx, RPLS

Kimley»Horn
6160 Warren Parkway, Suite 210
Frisco, Texas 75034 FIRM # 10193822
Tel. No. (972) 335-3580
Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	MDS	KHA	03/03/2026	065563201	2 OF 2

DWG NAME: K:\FRI_SURVEY\065563201\WM 9807 - BIXBY OK\DWG\065563201 PRELIM PLAT.DWG PLOTTED BY SWAYNE, MATTHEW 3/3/2026 9:21 AM LAST SAVED 3/3/2026 9:21 AM





LOCATION MAP
N.T.S.

NORTH

GRAPHIC SCALE IN FEET
0 30 60 120

LEGEND

- PROPERTY BOUNDARY
- PROPOSED SAWCUT LINE
- FL — PROPOSED FIRE LANE
- PROPOSED GUARD RAIL
- PROPOSED RETAINING WALL (TRIANGLE INDICATE FACE OF WALL)
- PROPOSED PARKING COUNT
- PROPOSED ACCESSIBLE PARKING SPACE
- PROPOSED BARRIER FREE RAMP
- PROPOSED SANITARY SEWER MANHOLE
- CI — PROPOSED CURB INLET
- PROPOSED PRIVATE FIRE HYDRANT
- PROPOSED POWER POLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- PROPOSED LIGHT-DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY-DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
- PROPOSED HEAVY -DUTY CONCRETE PAVEMENT (PUBLIC)
- PROPOSED STANDARD-DUTY CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA

SITE DATA TABLE

GENERAL SITE DATA	
LEGAL DESCRIPTION	LT 4 LESS BEG SWC LT 4 TH N1296.77 E APR 1299.15 S287.59 W APR 1223.86 S APR 945.24 SE107.85 W176.26 POB & LESS BEG SECR LT 4 TH W25 N475 E25 S475 POB BLK 1
ZONING	CS - SHOPPING CENTER DISTRICT
SITE ACREAGE	27.398 AC.
ADDRESS	NWC 151ST ST. SOUTH & SOUTH YALE AVENUE
FEMA FLOOD ZONE DESIGNATION	ZONE X, AREA OF MINIMAL FLOOD HAZARD
BUILDING DATA	
BUILDING SQUARE FOOTAGE	181,236 SQ. FT.
BUILDING HEIGHT	125' 4"
IMPERVIOUS COVER	
IMPERVIOUS COVER % (S.F.)	61% (718,807 S.F.)
PARKING DATA (RETAIL STORE)	
REQUIRED PARKING SPACES	725 SPACES (1 SPACE PER 250 S.F.)
STANDARD SPACES PROVIDED	670 SPACES
ELECTRIC VEHICLE SPACES PROVIDED	8 SPACES
FULFILLMENT CENTER SPACES PROVIDED	47 SPACES
ACCESSIBLE SPACES PROVIDED	22 SPACES
TOTAL SPACES PROVIDED	747 SPACES PROVIDED
PARKING DATA (FUEL CENTER)	
REQUIRED PARKING SPACES	7 SPACES (1 SPACE PER 250 S.F.)
STANDARD SPACES PROVIDED	10 SPACES
ACCESSIBLE SPACES PROVIDED	1 SPACES
TOTAL SPACES PROVIDED	11 SPACES

NOTE: STORM WATER FACILITIES ARE NOT DESIGNED FOR THE 500 YEAR STORM EVENT.

SITE PLAN

PROPOSED RETAIL STORE
DATE: 03/03/2026
27.398 ACRES
CITY FILE NUMBER:

SITE PLAN PREPARER:
KIMLEY-HORN AND ASSOC.
6160 WARREN PARKWAY
SUITE 210
FRISCO, TEXAS 75034
PH. # 972 335 3580
CONTACT: CAROLYN KOCH, P.E.

SURVEYOR:
KIMLEY-HORN AND ASSOC.
6160 WARREN PARKWAY
SUITE 210
FRISCO, TEXAS 75034
PH. # 972 335 3580
CONTACT: MICHAEL MARX, R.P.L.S./P.L.S.

No.	REVISIONS	DATE	BY

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Kimley»Horn
Registered Professional Engineer
CAROLYN KOCH
Date 3/3/2026
Reg. No. 127159

CAROLYN KOCH
ENGINEER OF RECORD

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

PRELIMINARY SITE PLAN

BIXBY RETAIL STORE NWC 151ST ST. SOUTH & SOUTH YALE AVENUE

BIXBY OKLAHOMA

SHEET NUMBER
6000

Plotted By:Gaynes, Sebastian March 03, 2026 03:00:58pm K:\SNA_Civil\065563082 – INM 90306–1000 Bixby, OK\CAD\PlanSheets\Site Plan Application\C–SITE.dwg
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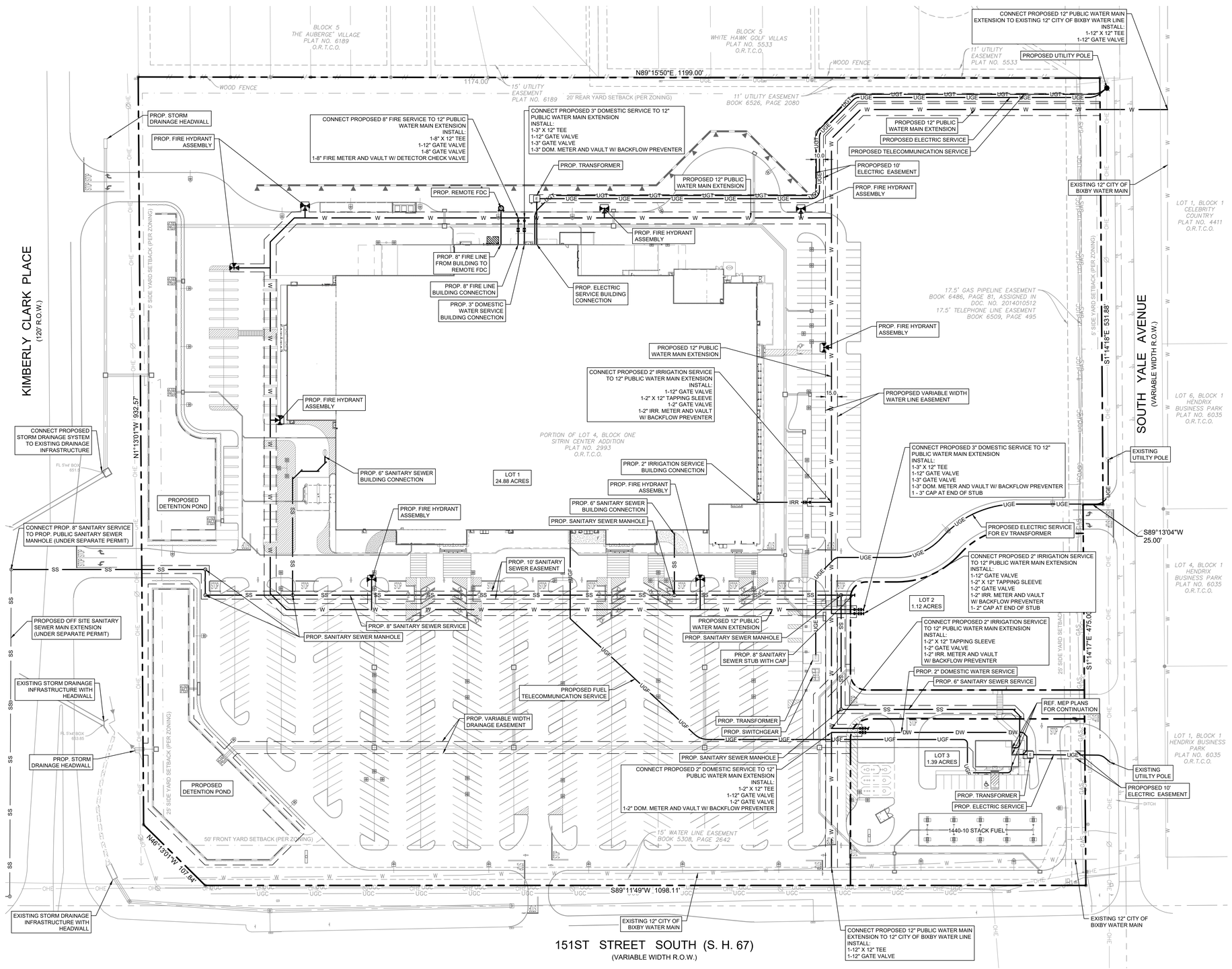

LEGEND

	PROPERTY LINE
	PROPOSED EASEMENT
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
IRR	PROPOSED IRRIGATION LINE
GAS	PROPOSED GAS LINE
UGE	PROPOSED UNDERGROUND ELECTRIC LINE
UGT	PROPOSED UNDERGROUND COMMUNICATION LINE
	PROPOSED STORM DRAIN LINE
UGC	EXISTING UNDERGROUND CABLE
W	EXISTING WATER LINE
GAS	EXISTING GAS LINE
OHE	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING STORM DRAIN LINE
S	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED GREASE INTERCEPTOR
	PROPOSED CLEANOUT
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED WATER METER
	PROPOSED BACKFLOW PREVENTER
	PROPOSED VALVE
	PROPOSED FITTING
	PROPOSED GAS METER
	PROPOSED POWER POLE
E	PROPOSED TRANSFORMER
CI	PROPOSED CURB INLET
	EXISTING POWER POLE

No.	REVISIONS	DATE	BY

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Kimley»Horn
Engineer: CAROLYN KOCH
Date: 3/3/2026
Lic. No. 137159

CAROLYN KOCH
ENGINEER OF RECORD

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

PRELIMINARY UTILITY PLAN

BIXBY RETAIL STORE NWC 151ST ST. SOUTH & SOUTH YALE AVENUE

BIXBY OKLAHOMA

SHEET NUMBER
6010

Plotted By:Colvin, Sebastian March 03, 2026 02:59:25pm K:\SNA_Civil\065563082 – NW 90306-1000 Bixby, OK\CAD\PlanSheets\Site Plan Application\C-UTIL.dwg
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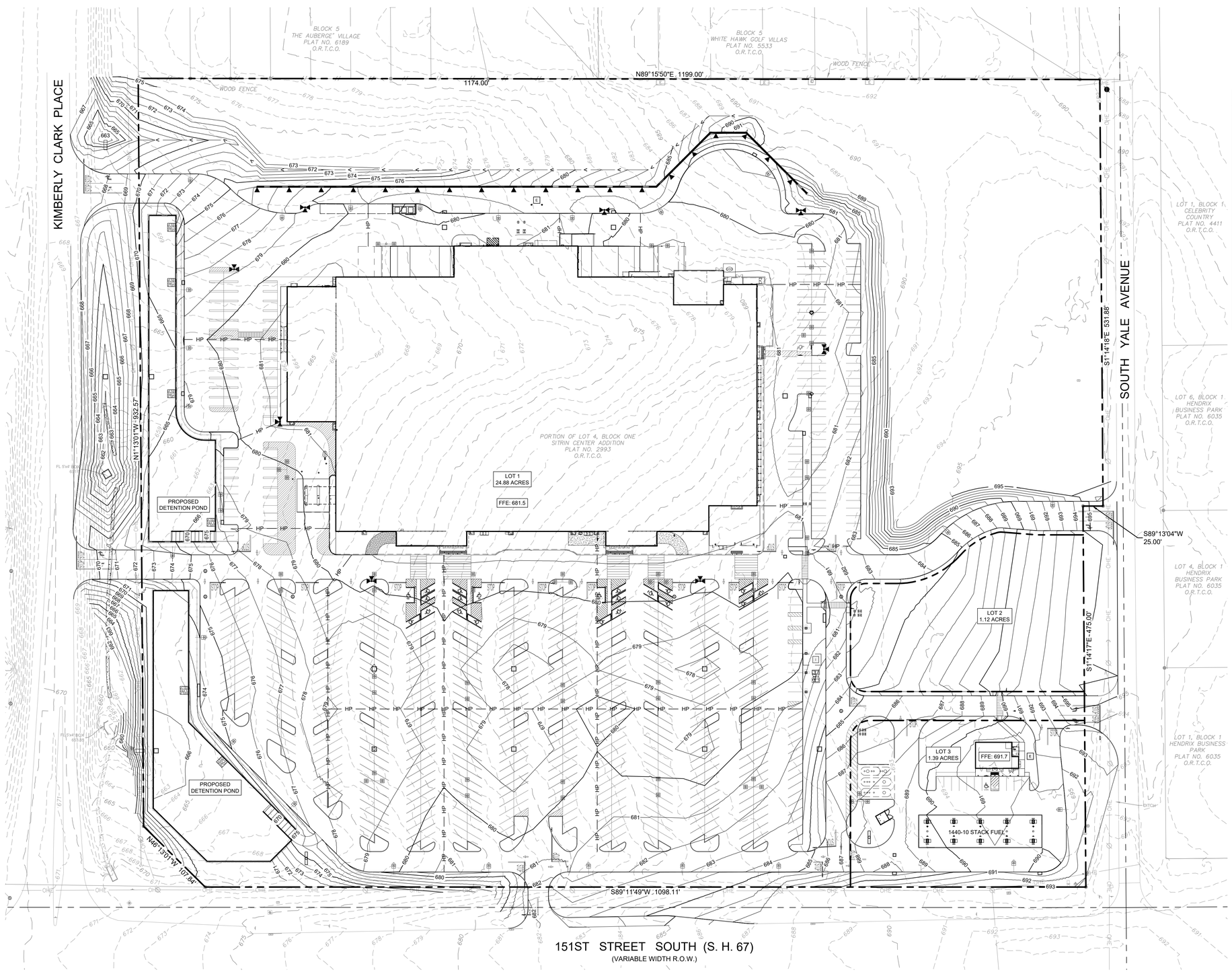

NORTH

GRAPHIC SCALE IN FEET
0 30 60 120

LEGEND

	PROPERTY LINE
XXX.XX	PROPOSED SPOT ELEVATION
SW	SIDEWALK
FG	FINISHED GRADE
TW	TOP OF WALL
BW	FINISHED GRADE AT BASE OF WALL
EW	END OF WALL
TC	TOP OF CURB
TG	TOP OF GRATE
EX	EXISTING SPOT ELEVATION
SW	SIDEWALK
ME	MATCH EXISTING
910	PROPOSED CONTOURS
905	EXISTING CONTOURS
HP	PROPOSED HIGH POINT
	PROPOSED SWALE
	PROPOSED RETAINING WALL (TRIANGLE INDICATES FACE OF WALL)

No.	REVISIONS	DATE	BY

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Kimley»Horn
Registered Professional Engineer
Carolyn Koch
Date 3/3/2026
Reg. No. 137159

CAROLYN KOCH
ENGINEER OF RECORD

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

PRELIMINARY GRADING PLAN

BIXBY RETAIL STORE
NWC 151ST ST. SOUTH & SOUTH YALE AVENUE
BIXBY OKLAHOMA

SHEET NUMBER
6020

Plotted By:Colson, Sebastian - March 03, 2026 - 03:03:37pm - K:\SNA_Civil\065563082 - WM 90306-1000 Bixby, OK\240\Plan Sheets\Site Plan Application\C-GRAD.dwg
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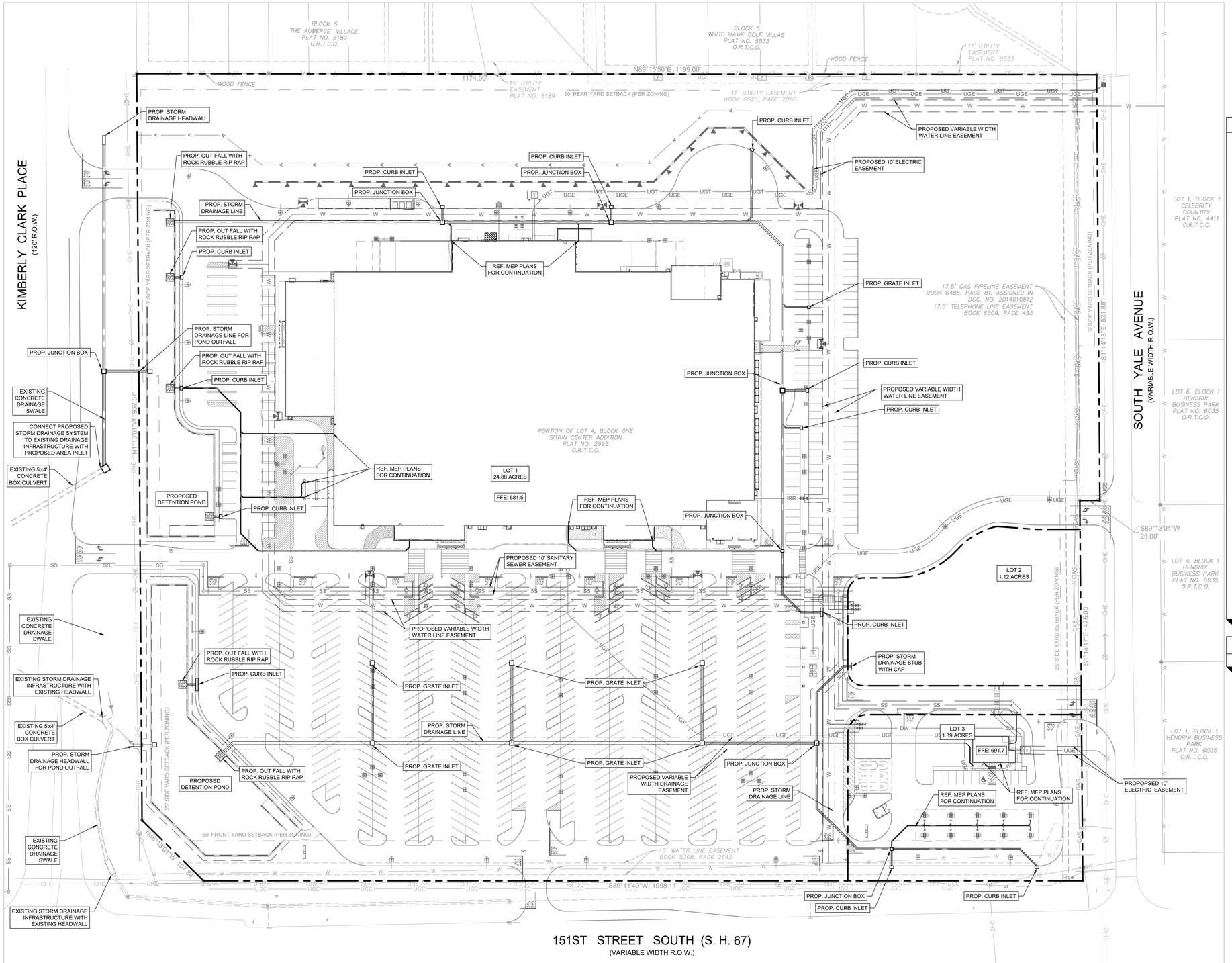

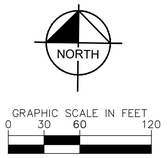

LEGEND

- PROPOSED PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED RETAINING WALL
- PROPOSED FENCE
- OHE — PROPOSED OVERHEAD ELECTRIC
- FW — PROPOSED FIRE WATER LINE
- DW — PROPOSED DOMESTIC WATER LINE
- W — PROPOSED COMBINATION WATER LINE
- SS — PROPOSED SANITARY SEWER LINE
- SD — PROPOSED STORM DRAIN (<12")
- PROPOSED STORM DRAIN (>/=12")
- W — EXISTING WATERLINE
- SS — EXISTING SANITARY SEWER LINE
- G — EXISTING GAS LINE
- EXISTING EDGE OF ASPHALT
- OHE — EXISTING OVERHEAD ELECTRIC
- PROPOSED CONCRETE RIPRAP
- PROPOSED ROCK RIPRAP
- PROPOSED LIGHT POLE
- PROPOSED SEWER CLEANOUT
- S — PROPOSED SEWER MANHOLE
- CI GI — PROPOSED CURB INLET/GRATE INLET
- MH JB — PROPOSED MANHOLE/JUNCTION BOX
- PROPOSED HEADWALL
- PROPOSED GAS METER
- PROPOSED POWER POLE
- PROPOSED BACKFLOW PREVENTER
- PROPOSED FIRE HYDRANT
- PROPOSED DOMESTIC WATER LINE
- T — PROPOSED ELECTRIC TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SEWER MANHOLE
- EXISTING POWER POLE
- EXISTING TREE
- EXISTING FIRE HYDRANT

STORM NOTES

1. STORM WATER FACILITIES ARE NOT DESIGNED FOR THE 500 YEAR STORM EVENT.

SITE PLAN

PROPOSED RETAIL STORE
DATE: 03/03/2026
27.398 ACRES
CITY FILE NUMBER:

SITE PLAN PREPARER:
KIMLEY-HORN AND ASSOC.
6160 WARREN PARKWAY
SUITE 210
FRISCO, TEXAS 75034
PH. # 972 335 3580
CONTACT: CAROLYN KOCH, P.E.

SURVEYOR:
KIMLEY-HORN AND ASSOC.
6160 WARREN PARKWAY
SUITE 210
FRISCO, TEXAS 75034
PH. # 972 335 3580
CONTACT: MICHAEL MARX, R.P.L.S./P.L.S.

No.	REVISIONS	DATE	BY

Kimley»Horn
© 2026 KIMLEY-HORN AND ASSOCIATES, INC.
6160 WARREN PARKWAY, SUITE 210, FRISCO, TX 75034
PHONE: 972-335-3580 FAX: 972-241-9820
WWW.KIMLEY-HORN.COM TBPE FIRM NO. F928

FILE COPY
Not for Bidding or Permits
Kimley»Horn
Registered Professional Engineer
Carolyn Koch
Date 3/3/2026
Lic. No. 137159
CAROLYN KOCH
ENGINEER OF RECORD

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

PRELIMINARY DRAINAGE PLAN

BIXBY RETAIL STORE
NWC 151ST ST. SOUTH & SOUTH YALE AVENUE
BIXBY OKLAHOMA

SHEET NUMBER
6030

Plotted By:Colson, Sebastian March 03, 2026 02:59:50pm K:\SNA_Civil\065563082 - IMI 90306-1000 Bixby, OK\CAD\PlanSheets\Site Plan Application\C-STRM.dwg
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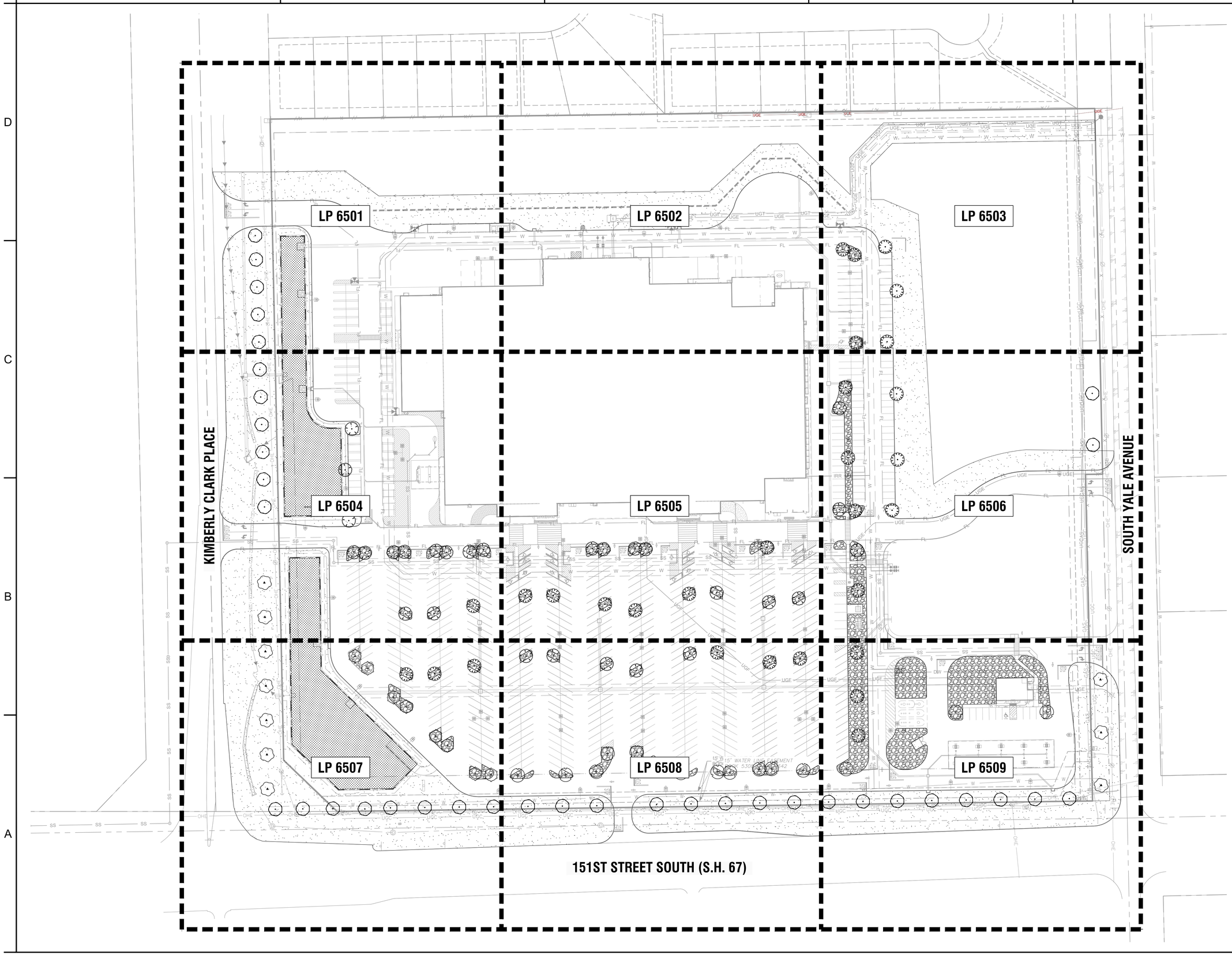

No.	REVISIONS	DATE	BY

Kimley»Horn

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10101 REUNION PLACE, SUITE 400, SAN ANTONIO, TX 78216
PHONE: 210-541-1161 FAX: 210-541-1680
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Kimley»Horn
P.L.A. LEAH M. CAMPBELL
L.A. No. 2900 Date 3/3/26

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

OVERALL LANDSCAPE PLAN

BIXBY RETAIL STORE
NWC 151ST ST. SOUTH & SOUTH YALE AVENUE
BIXBY OKLAHOMA

SHEET NUMBER
6500

05/14/2024 06:36:32 AM
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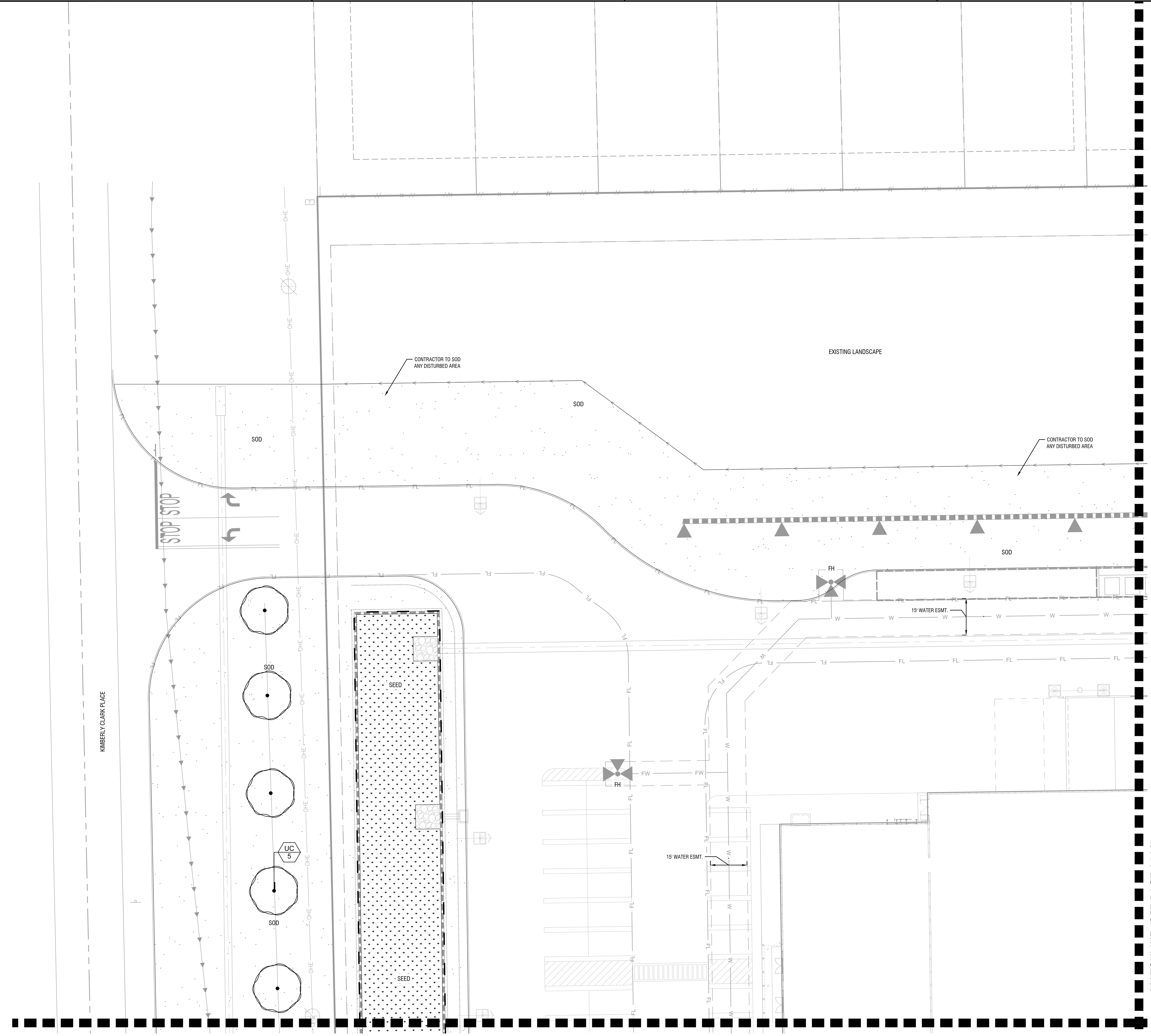

MATCHLINE (SEE PAGE 6502)

MATCHLINE (SEE PAGE 6504)

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

GRAPHIC SCALE IN FEET
0 10 20 40

NORTH

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
TREES					
	AT	10	Acer truncatum / Shantung Maple	3" cal, 14` ht, 5`-6` spr	Full, Straight, Single Leader
	QH	29	Quercus muehlenbergii / Chinkapin Oak	3" cal, 14` ht, 5`-6` spr	Full, Straight, Single Leader
	QT	28	Quercus texana / Texas Red Oak	3" cal, 16` ht, 6` spr	Full, Straight, Single Leader
	QV	15	Quercus virginiana / Southern Live Oak	3" cal, 16` ht, 6` spr	Full, Straight, Single Leader
	TD	8	Taxodium distichum / Bald Cypress	3" cal, 14` ht, 5` spr	Full, Straight, Single Leader
	UC	37	Ulmus crassifolia / Cedar Elm	3" cal, 14` ht, 6` spr	Full, Straight, Single Leader

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
MISC				
	RM	TBD	Rock Mulch	2" - 4" color to match, 6" depth.
	SOD	TBD	Cynodon Dactylon/Common Bermuda	Solid sod, rolled tight with Sand filled joints, weed & disease free
	SEED	TBD	Dam Slope Mix	Native American Seed Mix #2808
	NO MOW LINE			Contractor shall not mow within delineated area. Contractor shall mow only to the top of bank, top of side slope, or the perimeter fence

City of Bixby , OK Landscpe Ordinances

Frontage and Perimeter Requirements	REQUIRED	PROVIDED
Not less than fifteen percent (15%) of the street yard shall be established and maintained as landscaped area.(151 STREET SOUTH)	15%	100%
Not less than fifteen percent (15%) of the street yard shall be established and maintained as landscaped area.(KIMBERLY CLARK PLACE)	15%	100%
Within the lot, a landscaped area shall be established and maintained which is not less than seven and one-half feet (7½') in width and which extends along the entirety of the abutting street right-of-way, except at vehicular access points. For lots abutting arterial streets, a landscaped area shall be established which is not less than ten feet (10') in width and which extends along the entirety of the abutting arterial right-of-way.	YES	YES
Within a lot used for office, commercial, industrial or multi-family residential purposes, off street parking shall be separated from an abutting residential district or residential development area (as in a PUD) by a landscaped area of not less than ten feet (10') in width. The tree planting requirements in this landscaped area will be equal to those of a typical street yard.	YES	YES
For lots abutting Memorial Drive (Highway 64), or 151 Street (Highway 67), a landscaped area shall be established and maintained which is not less than fifteen feet (15') in width and which extends along the entirety of the abutting arterial, except at vehicular access points.	YES	YES
Parking Area Requirements	REQUIRED	PROVIDED
For lots greater than two and one-half (2½) acres in size, no parking space shall be located more than seventy five feet (75') from a landscaped area containing at least one hundred (100) square feet with a minimum width or diameter of seven feet (7'). A landscaped area by definition must contain at least one tree with all areas of two hundred (200) square feet or more containing at least two (2) trees.	Main 730 spaces = 77 Trees Fuel 11 Spaces = 2Trees	Main 730 spaces = 77 Trees Fuel 11 Spaces = 2Trees
Tree Requirements	REQUIRED	PROVIDED
One tree for each one thousand (1,000) square feet, or fraction thereof, of street yard. (151 STREET SOUTH) 18,371/1,000= 19 TREES	19 TREES	24 TREES
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A minimum of one tree shall be planted for each fifty feet (50') of linear frontage (151 STREET SOUTH) 1203/50= 24 TREES	24 TREES	24 TREES
A minimum of one tree shall be planted for each fifty feet (50') of linear frontage (KIMBERLY CLARK PLACE) 859/50=18 TREES	18 TREES	18 TREES

LANDSCAPE NOTES:

1. ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. SEE 2900 SPECIFICATION.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
5. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
6. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
7. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
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12. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
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No.	REVISIONS	DATE	BY

Kimley»Horn

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PHONE: 210-541-9166 FAX: 210-541-8699
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Kimley»Horn
P.L.A. LEAH M. CAMPBELL
L.A. No. 2900 Date 3/3/26

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

LANDSCAPE PLAN

BIXBY RETAIL STORE NWC 151ST ST. SOUTH & SOUTH YALE AVENUE

BIXBY OKLAHOMA

SHEET NUMBER
6501

Plotted By: Willis, Elijah March 03, 2026 10:43:22am K:\SNA_Civil\065563082 - WM 90306-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plansheet\LP 1.01.dwg
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05/14/2024
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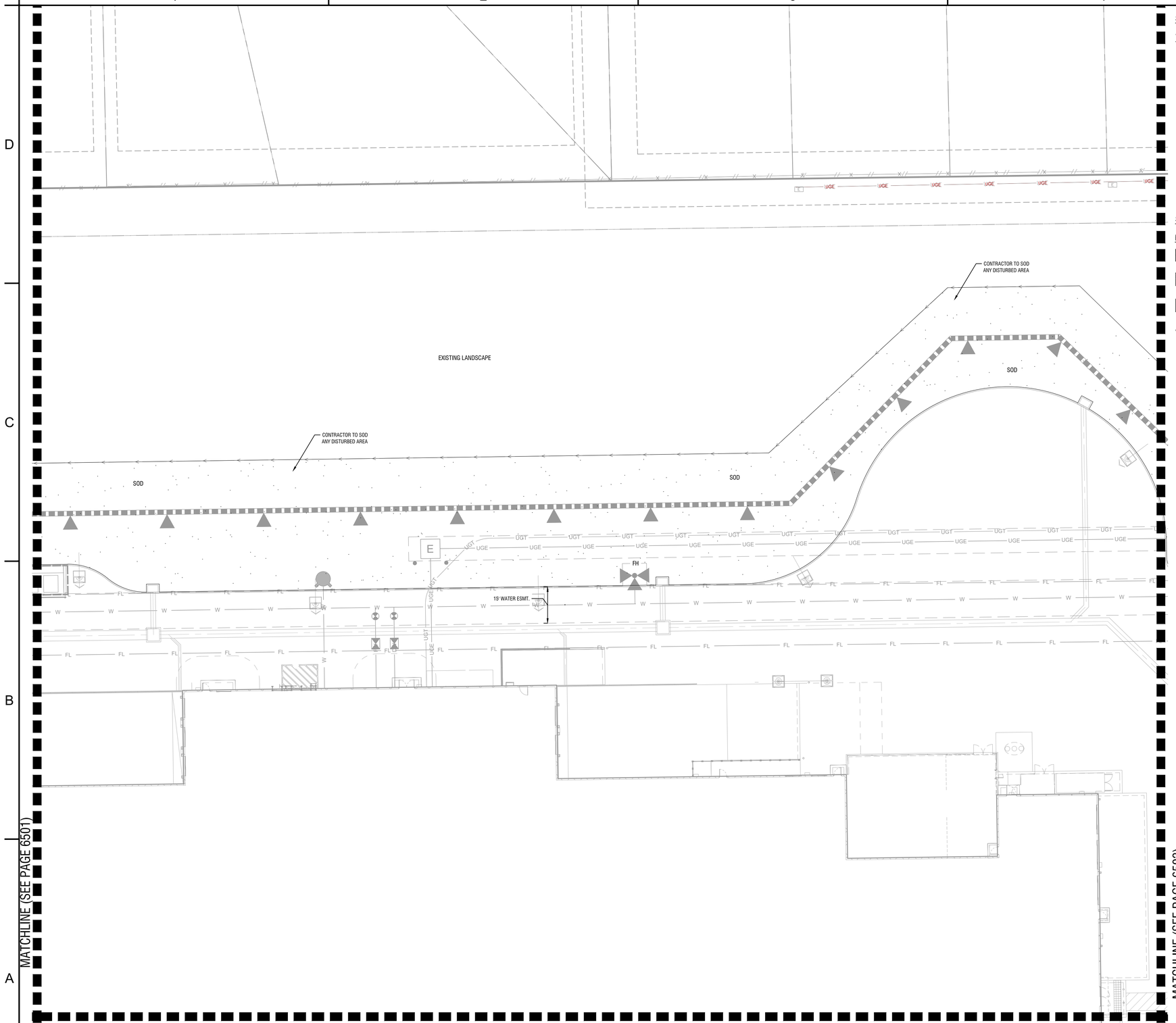

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GRAPHIC SCALE IN FEET
0 10 20 40

NORTH

No.	REVISIONS	DATE	BY

Kimley»Horn
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BIXBY OKLAHOMA

SHEET NUMBER
6502

05/14/2024 Campbell, Leah March 03, 2026 10:43:32am K:\SNA_Civil\065563082 - WM 90356-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plantsheet\LP 1.01.dwg
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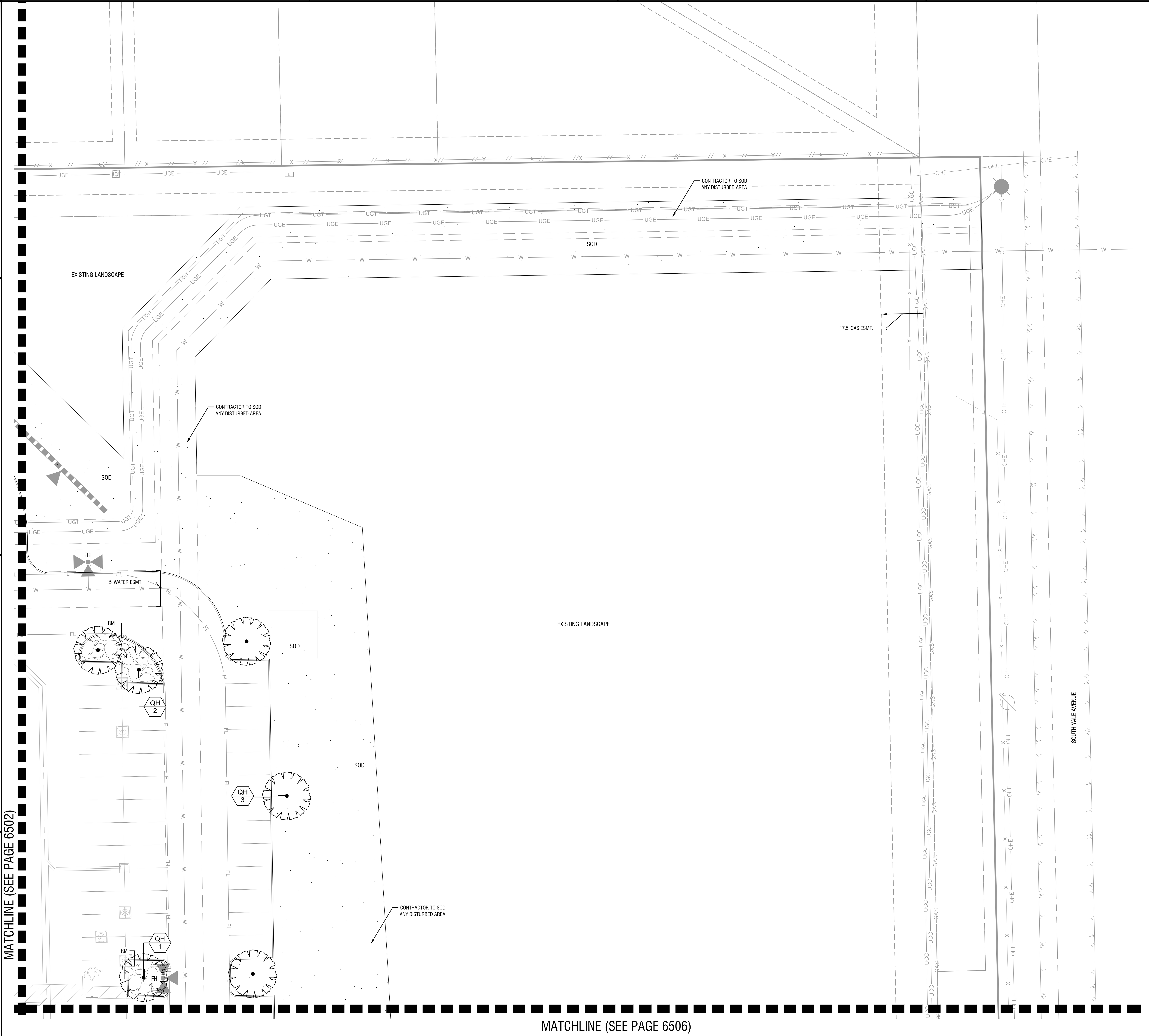

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GRAPHIC SCALE IN FEET 0 10 20 40

NORTH

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
TREES					
	AT	10	Acer truncatum / Shantung Maple	3" cal, 14` ht, 5`-6` spr	Full, Straight, Single Leader
	QH	29	Quercus muehlenbergii / Chinkapin Oak	3" cal, 14` ht, 5`-6` spr	Full, Straight, Single Leader
	QT	28	Quercus texana / Texas Red Oak	3" cal, 16` ht, 6` spr	Full, Straight, Single Leader
	QV	15	Quercus virginiana / Southern Live Oak	3" cal, 16` ht, 6` spr	Full, Straight, Single Leader
	TD	8	Taxodium distichum / Bald Cypress	3" cal, 14` ht, 5` spr	Full, Straight, Single Leader
	UC	37	Ulmus crassifolia / Cedar Elm	3" cal, 14` ht, 6` spr	Full, Straight, Single Leader

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
MISC				
	RM	TBD	Rock Mulch	2" - 4" color to match, 6" depth.
	SOD	TBD	Cynodon Dactylon/Common Bermuda	Solid sod, rolled tight with Sand filled joints, weed & disease free
	SEED	TBD	Dam Slope Mix	Native American Seed Mix #2808
	NO MOW LINE			Contractor shall not mow within delineated area. Contractor shall mow only to the top of bank, top of side slope, or the perimeter fence

City of Bixby , OK Landscpe Ordinances

Frontage and Perimeter Requirements	REQUIRED	PROVIDED
Not less than fifteen percent (15%) of the street yard shall be established and maintained as landscaped area.(151 STREET SOUTH)	15%	100%
Not less than fifteen percent (15%) of the street yard shall be established and maintained as landscaped area.(KIMBERLY CLARK PLACE)	15%	100%
Within the lot, a landscaped area shall be established and maintained which is not less than seven and one-half feet (7½') in width and which extends along the entirety of the abutting street right-of-way, except at vehicular access points. For lots abutting arterial streets, a landscaped area shall be established which is not less than ten feet (10') in width and which extends along the entirety of the abutting arterial right-of-way.	YES	YES
Within a lot used for office, commercial, industrial or multi-family residential purposes, off street parking shall be separated from an abutting residential district or residential development area (as in a PUD) by a landscaped area of not less than ten feet (10') in width. The tree planting requirements in this landscaped area will be equal to those of a typical street yard.	YES	YES
For lots abutting Memorial Drive (Highway 64), or 151 Street (Highway 67), a landscaped area shall be established and maintained which is not less than fifteen feet (15') in width and which extends along the entirety of the abutting arterial, except at vehicular access points.	YES	YES
Parking Area Requirements	REQUIRED	PROVIDED
For lots greater than two and one-half (2½) acres in size, no parking space shall be located more than seventy five feet (75') from a landscaped area containing at least one hundred (100) square feet with a minimum width or diameter of seven feet (7'). A landscaped area by definition must contain at least one tree with all areas of two hundred (200) square feet or more containing at least two (2) trees.	Main 730 spaces = 77 Trees Fuel 11 Spaces = 2Trees	Main 730 spaces = 77 Trees Fuel 11 Spaces = 2Trees
Tree Requirements	REQUIRED	PROVIDED
One tree for each one thousand (1,000) square feet, or fraction thereof, of street yard. (151 STREET SOUTH) 18,371/1,000= 19 TREES	19 TREES	24 TREES
One tree for each one thousand (1,000) square feet, or fraction thereof, of street yard. (KIMBERLY CLARK PLACE) 13,989/1,000= 14 TREES	18 TREES	18 TREES
For surface parking areas, one tree for each ten (10) parking spaces, with at least one tree in each required landscaped area shall be preserved or planted and maintained or replaced.	Main 730 spaces = 77 Trees Fuel 11 Spaces	Main 730 spaces = 77 Trees Fuel 11 Spaces = 2Trees
A minimum of one tree shall be planted for each fifty feet (50') of linear frontage (151 STREET SOUTH) 1203/50= 24 TREES	24 TREES	24 TREES
A minimum of one tree shall be planted for each fifty feet (50') of linear frontage (KIMBERLY CLARK PLACE) 859/50=18 TREES	18 TREES	18 TREES

LANDSCAPE NOTES:

1. ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. SEE 2900 SPECIFICATION.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
5. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
6. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
7. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF TIME SHOWN IN THE 02900 SPEC.
12. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
13. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD DEFINED IN THE 02900 SPEC. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
14. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
15. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
16. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH ROCK MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF FOUR INCHES.
17. REFER TO WALMART SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
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No.	REVISIONS	DATE	BY

Kimley»Horn

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10101 REUNION PLACE, SUITE 400, SAN ANTONIO, TX 78216
PHONE : 210-541-9166 FAX: 210-541-8699
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PRELIMINARY
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Kimley»Horn
P.L.A. LEAH M. CAMPBELL
L.A. No. 2900 Date 3/3/26

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

LANDSCAPE PLAN

BIXBY RETAIL STORE NWC 151ST ST. SOUTH & SOUTH YALE AVENUE

BIXBY OKLAHOMA

SHEET NUMBER
6503

Plotted By: Willis, Elijah March 03, 2026 10:43:42am K:\SNA_Civil\065563082 - WM 90306-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plansheet\LP 1.01.dwg
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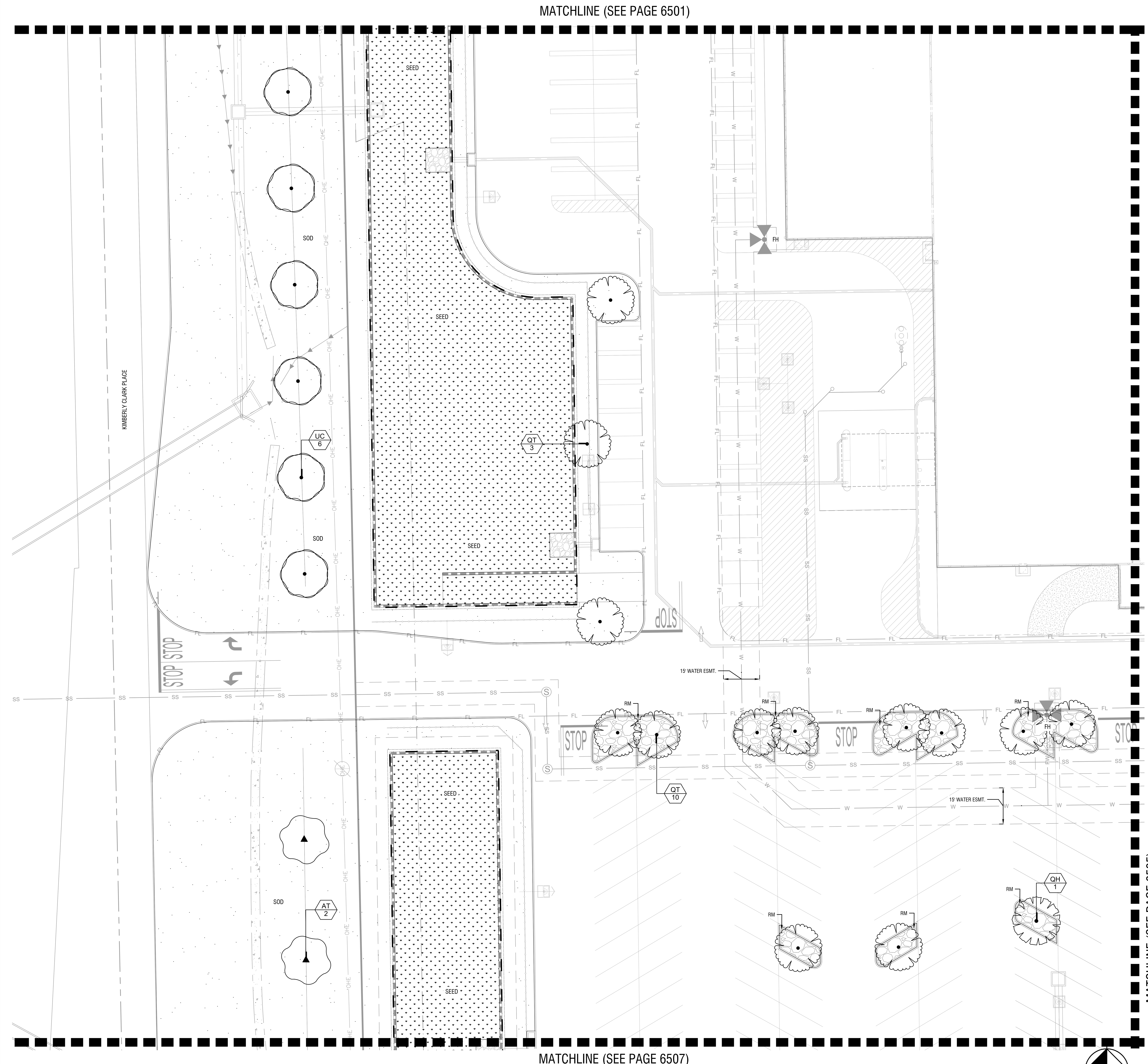

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No. | REVISIONS | DATE | BY

Kimley»Horn

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BIXBY RETAIL STORE NWC 151ST ST. SOUTH & SOUTH YALE AVENUE

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SHEET NUMBER
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Plotted By: Willis, Elijah March 03, 2026 10:43:52am K:\SNA_Civil\065563082 - WM 90306-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plansheet\LP 1.01.dwg
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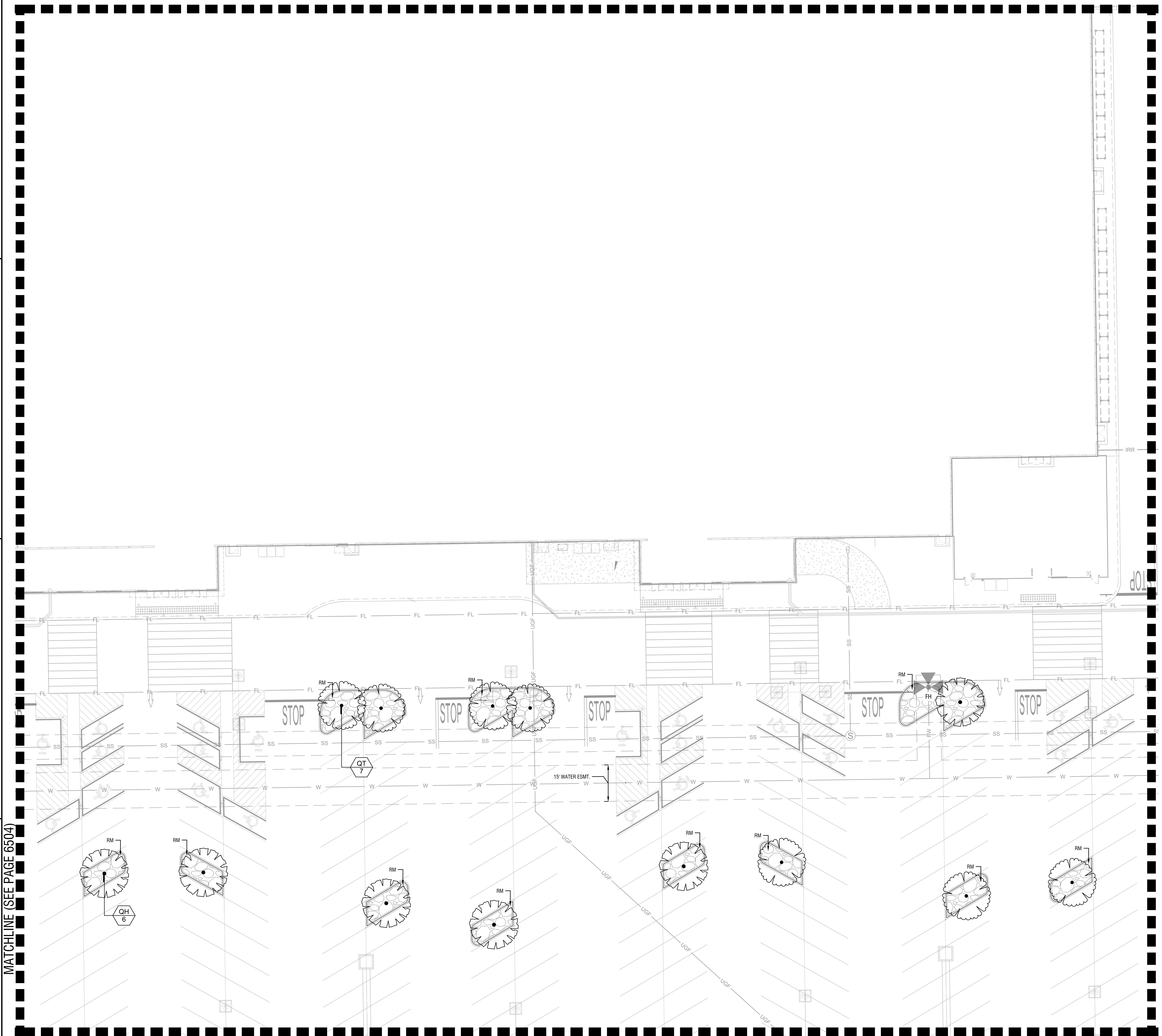
065363241

MATCHLINE (SEE PAGE 6502)



MATCHLINE (SEE PAGE 6508)

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No.	REVISIONS	DATE	BY

Kimley»Horn

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KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

LANDSCAPE PLAN

BIXBY RETAIL STORE
NWC 151ST ST. SOUTH & SOUTH YALE AVENUE

BIXBY OKLAHOMA

SHEET NUMBER
6505

Plotted By: Willis, Elijah March 03, 2026 10:44:01am K:\SNA_Civil\065563082 - WM 90306-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plansheet\LP 1.01.dwg
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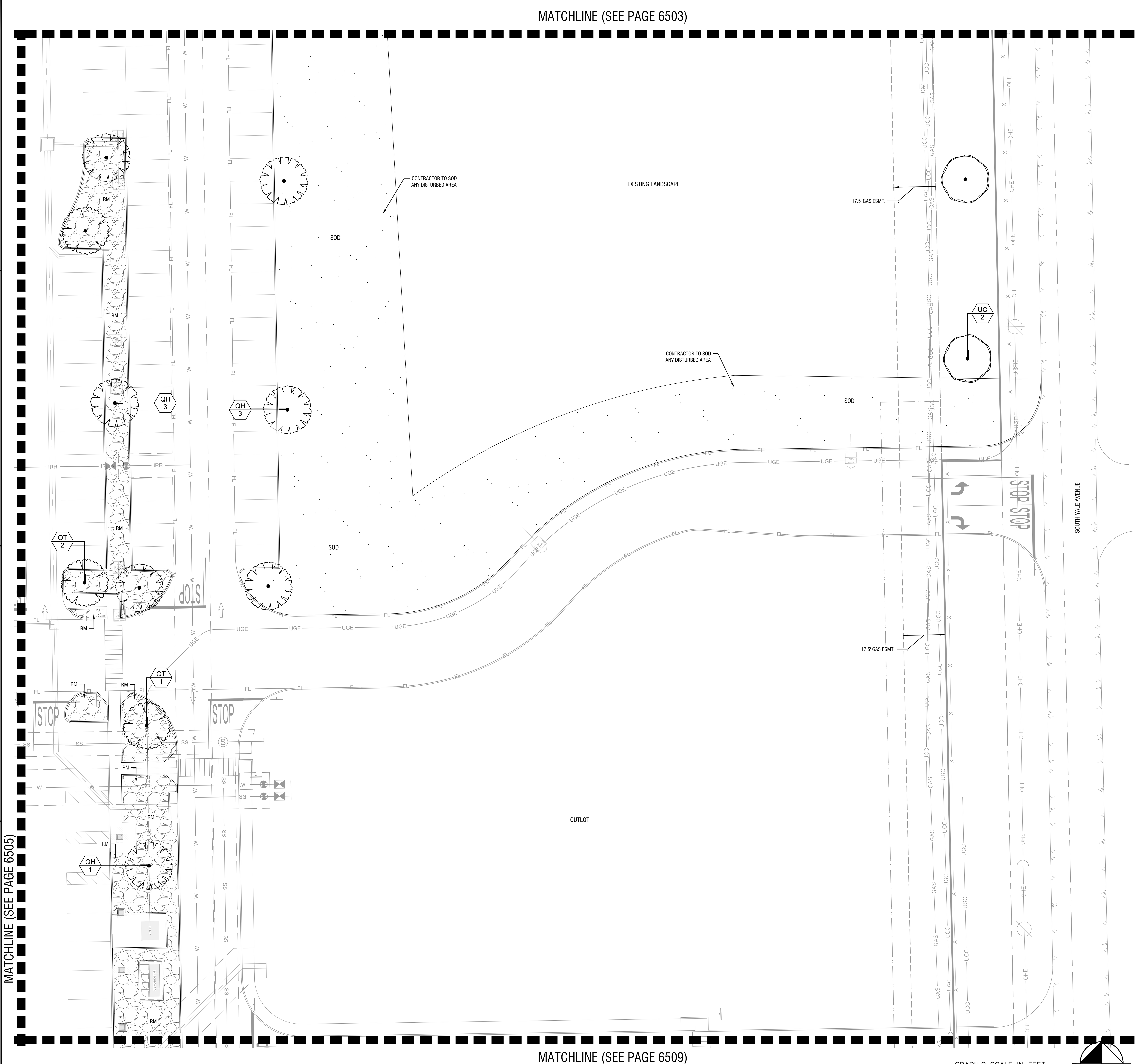

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	RM	TBD	Rock Mulch	2" - 4" color to match, 6" depth.
	SOD	TBD	Cynodon Dactylon/Common Bermuda	Solid sod, rolled tight with Sand filled joints, weed & disease free
	SEED	TBD	Dam Slope Mix	Native American Seed Mix #2808
	NO MOW LINE			Contractor shall not mow within delineated area. Contractor shall mow only to the top of bank, top of side slope, or the perimeter fence

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Not less than fifteen percent (15%) of the street yard shall be established and maintained as landscaped area.(151 STREET SOUTH)	15%	100%
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Within the lot, a landscaped area shall be established and maintained which is not less than seven and one-half feet (7½') in width and which extends along the entirety of the abutting street right-of-way, except at vehicular access points. For lots abutting arterial streets, a landscaped area shall be established which is not less than ten feet (10') in width and which extends along the entirety of the abutting arterial right-of-way.	YES	YES
Within a lot used for office, commercial, industrial or multi-family residential purposes, off street parking shall be separated from an abutting residential district or residential development area (as in a PUD) by a landscaped area of not less than ten feet (10') in width. The tree planting requirements in this landscaped area will be equal to those of a typical street yard.	YES	YES
For lots abutting Memorial Drive (Highway 64), or 151 Street (Highway 67), a landscaped area shall be established and maintained which is not less than fifteen feet (15') in width and which extends along the entirety of the abutting arterial, except at vehicular access points.	YES	YES
Parking Area Requirements	REQUIRED	PROVIDED
For lots greater than two and one-half (2½) acres in size, no parking space shall be located more than seventy five feet (75') from a landscaped area containing at least one hundred (100) square feet with a minimum width or diameter of seven feet (7'). A landscaped area by definition must contain at least one tree with all areas of two hundred (200) square feet or more containing at least two (2) trees.	Main 730 spaces = 77 Trees Fuel 11 Spaces = 2Trees	Main 730 spaces = 77 Trees Fuel 11 Spaces = 2Trees
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KHA PROJECT 065563082
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DESIGNED BY: SG
DRAWN BY: BC
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LANDSCAPE PLAN

BIXBY RETAIL STORE NWC 151ST ST. SOUTH & SOUTH YALE AVENUE

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SHEET NUMBER
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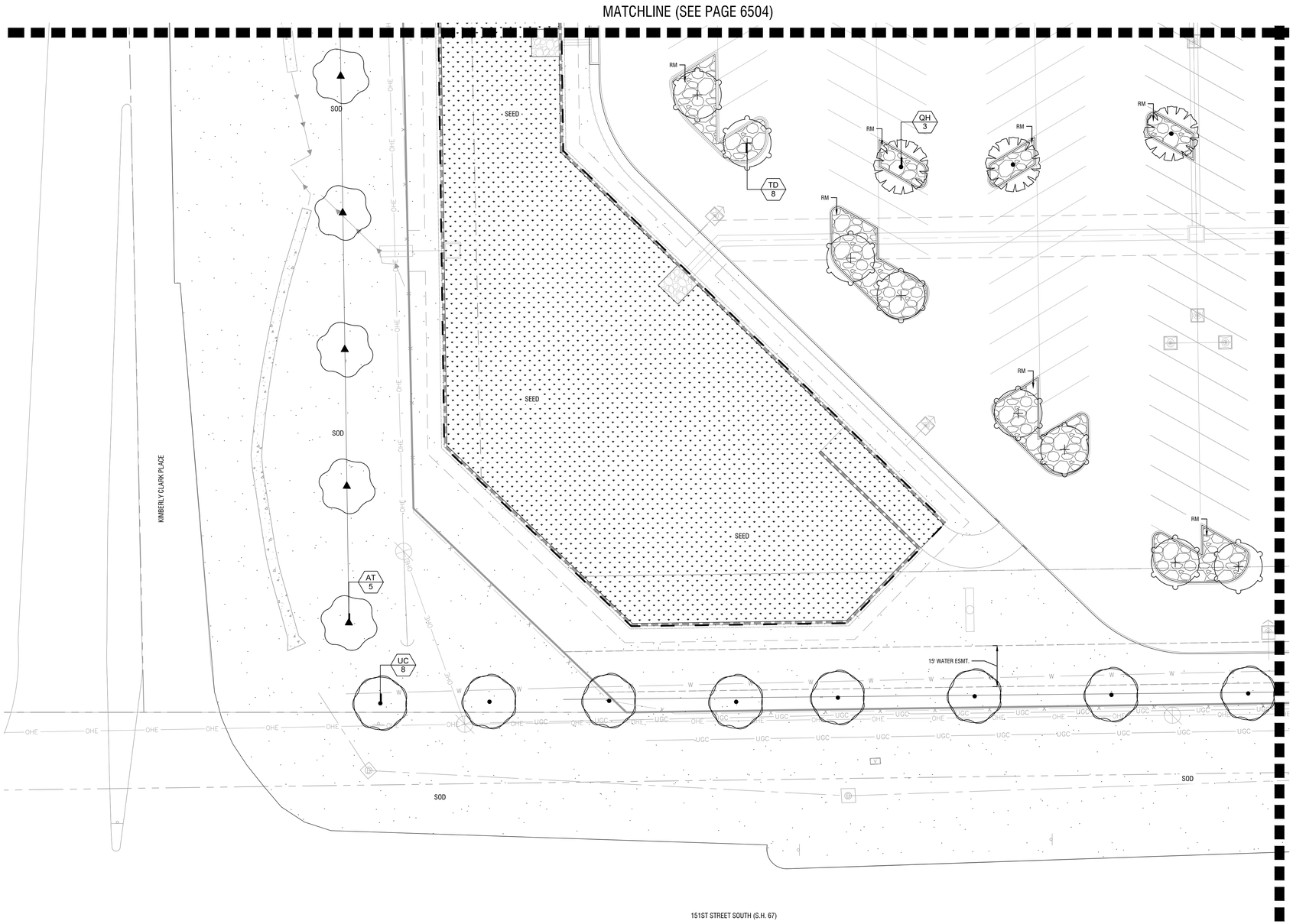

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LANDSCAPE PLAN

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SHEET NUMBER
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06356.3241
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Matthew Mathis, Elijah March 03, 2026 10:44:21am K:\SNA_Civil\065563082 - WM 90356-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plantsheet\LP 1.01.dwg
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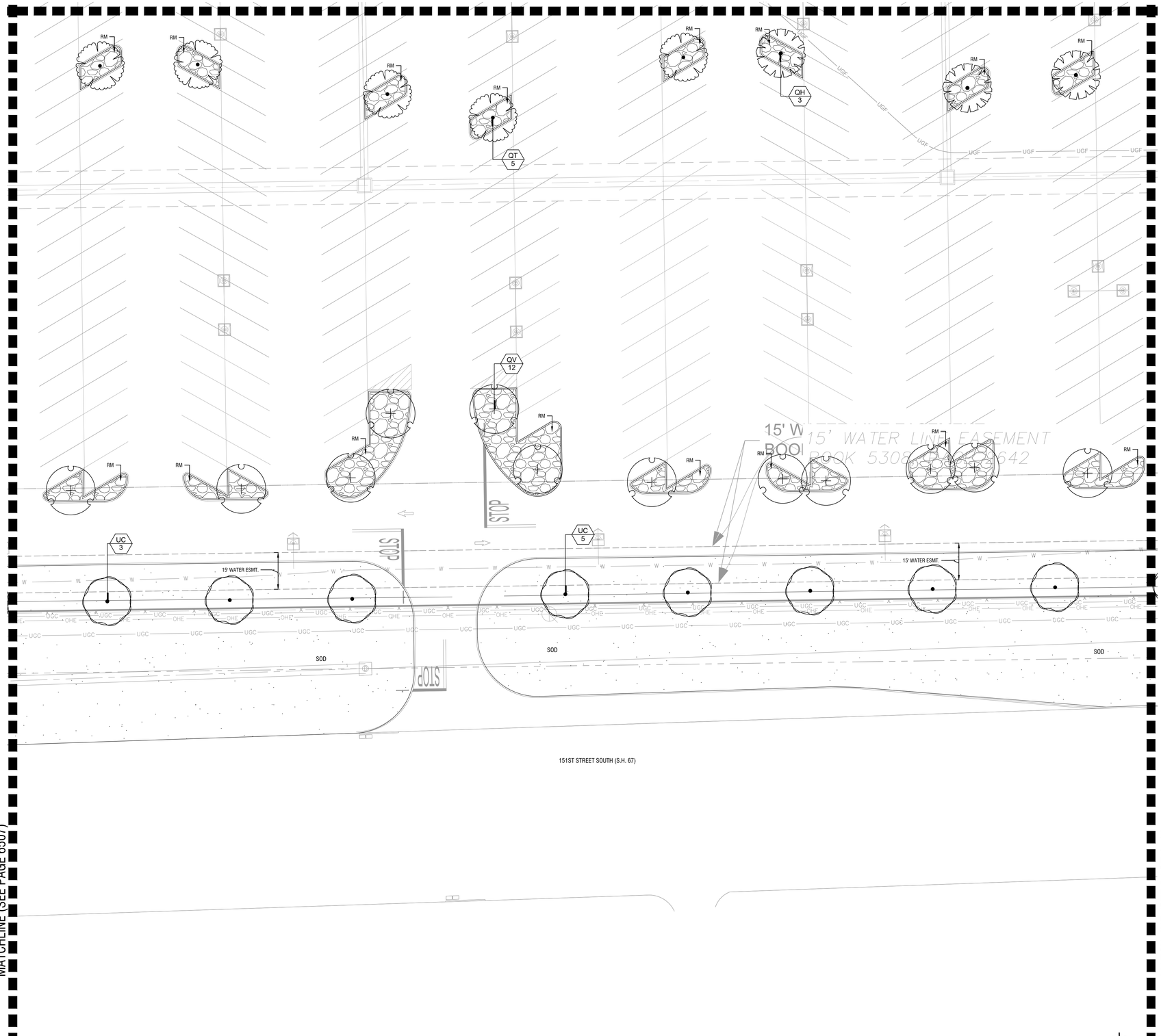

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NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

GRAPHIC SCALE IN FEET
0 10 20 40

NORTH

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
TREES					
	AT	10	Acer truncatum / Shantung Maple	3" cal, 14` ht, 5`-6` spr	Full, Straight, Single Leader
	QH	29	Quercus muehlenbergii / Chinkapin Oak	3" cal, 14` ht, 5`-6` spr	Full, Straight, Single Leader
	QT	28	Quercus texana / Texas Red Oak	3" cal, 16` ht, 6` spr	Full, Straight, Single Leader
	QV	15	Quercus virginiana / Southern Live Oak	3" cal, 16` ht, 6` spr	Full, Straight, Single Leader
	TD	8	Taxodium distichum / Bald Cypress	3" cal, 14` ht, 5` spr	Full, Straight, Single Leader
	UC	37	Ulmus crassifolia / Cedar Elm	3" cal, 14` ht, 6` spr	Full, Straight, Single Leader

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS
MISC				
	RM	TBD	Rock Mulch	2" - 4" color to match, 6" depth.
	SOD	TBD	Cynodon Dactylon/Common Bermuda	Solid sod, rolled tight with Sand filled joints, weed & disease free
	SEED	TBD	Dam Slope Mix	Native American Seed Mix #2808
	NO MOW LINE			Contractor shall not mow within delineated area. Contractor shall mow only to the top of bank, top of side slope, or the perimeter fence

City of Bixby , OK Landscpe Ordinances

Frontage and Perimeter Requirements	REQUIRED	PROVIDED
Not less than fifteen percent (15%) of the street yard shall be established and maintained as landscaped area.(151 STREET SOUTH)	15%	100%
Not less than fifteen percent (15%) of the street yard shall be established and maintained as landscaped area.(KIMBERLY CLARK PLACE)	15%	100%
Within the lot, a landscaped area shall be established and maintained which is not less than seven and one-half feet (7½) in width and which extends along the entirety of the abutting street right-of-way, except at vehicular access points. For lots abutting arterial streets, a landscaped area shall be established which is not less than ten feet (10') in width and which extends along the entirety of the abutting arterial right-of-way.	YES	YES
Within a lot used for office, commercial, industrial or multi-family residential purposes, off street parking shall be separated from an abutting residential district or residential development area (as in a PUD) by a landscaped area of not less than ten feet (10') in width. The tree planting requirements in this landscaped area will be equal to those of a typical street yard.	YES	YES
For lots abutting Memorial Drive (Highway 64), or 151 Street (Highway 67), a landscaped area shall be established and maintained which is not less than fifteen feet (15') in width and which extends along the entirety of the abutting arterial, except at vehicular access points.	YES	YES
Parking Area Requirements	REQUIRED	PROVIDED
For lots greater than two and one-half (2½) acres in size, no parking space shall be located more than seventy five feet (75') from a landscaped area containing at least one hundred (100) square feet with a minimum width or diameter of seven feet (7'). A landscaped area by definition must contain at least one tree with all areas of two hundred (200) square feet or more containing at least two (2) trees.	Main 730 spaces = 77 Trees Fuel 11 Spaces = 2Trees	Main 730 spaces = 77 Trees Fuel 11 Spaces = 2Trees
Tree Requirements	REQUIRED	PROVIDED
One tree for each one thousand (1,000) square feet, or fraction thereof, of street yard. (151 STREET SOUTH) 18,371/1,000= 19 TREES	19 TREES	24 TREES
One tree for each one thousand (1,000) square feet, or fraction thereof, of street yard. (KIMBERLY CLARK PLACE) 13,989/1,000= 14 TREES	18 TREES	18 TREES
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A minimum of one tree shall be planted for each fifty feet (50') of linear frontage (KIMBERLY CLARK PLACE) 859/50=18 TREES	18 TREES	18 TREES

LANDSCAPE NOTES:

1. ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. SEE 2900 SPECIFICATION.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
5. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
6. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
7. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
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12. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
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14. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
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No.	REVISIONS	DATE	BY

Kimley»Horn
© 2026 KIMLEY-HORN AND ASSOCIATES, INC.
10101 REUNION PLACE, SUITE 400, SAN ANTONIO, TX 78216
PHONE: 210-541-1988 FAX: 210-541-1980
WWW.KIMLEY-HORN.COM TBPE FIRM NO. F928

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley»Horn
P.L.A. LEAH M. CAMPBELL
L.A. No. 2900 Date 3/3/26

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

LANDSCAPE PLAN

BIXBY RETAIL STORE
NWC 151ST ST. SOUTH & SOUTH YALE AVENUE

BIXBY OKLAHOMA

SHEET NUMBER
6508

05/14/2024 Campbell, Leah March 03, 2026 10:44:31am K:\SWA_Civil\065563082 - JKM 90306-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plansheet\LP 1.01.dwg
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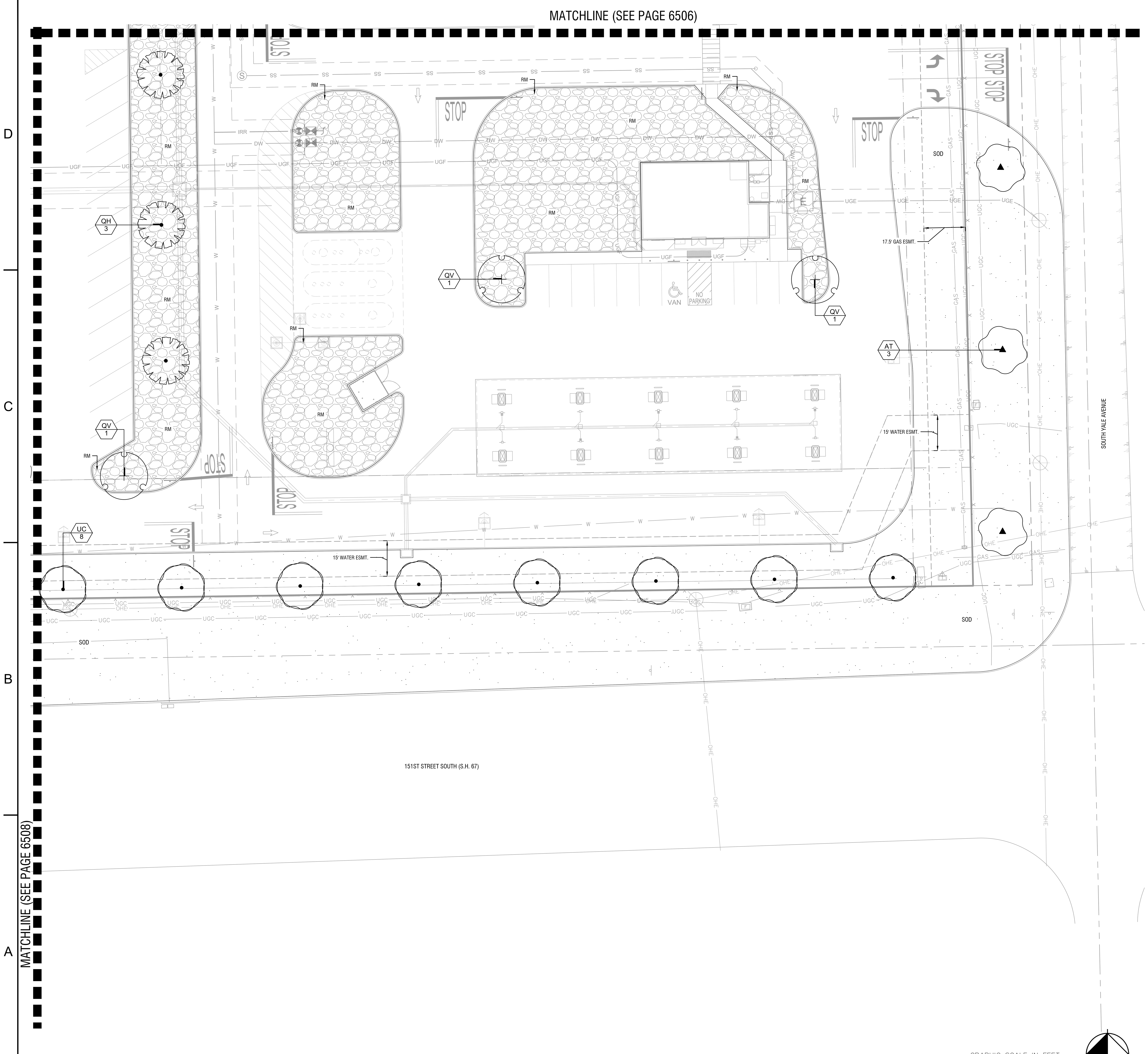

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No.	REVISIONS	DATE	BY

Kimley»Horn
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P.L.A. LEAH M. CAMPBELL
L.A. No. 2900 Date 3/3/26

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

LANDSCAPE PLAN

BIXBY RETAIL STORE NWC 151ST ST. SOUTH & SOUTH YALE AVENUE

BIXBY OKLAHOMA

SHEET NUMBER
6509

Plotted By: Willis, Elijah March 03, 2026 10:44:41am K:\SNA_Civil\065563082 - WM 90306-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plansheet\LP 1.01.dwg
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05/14/2024
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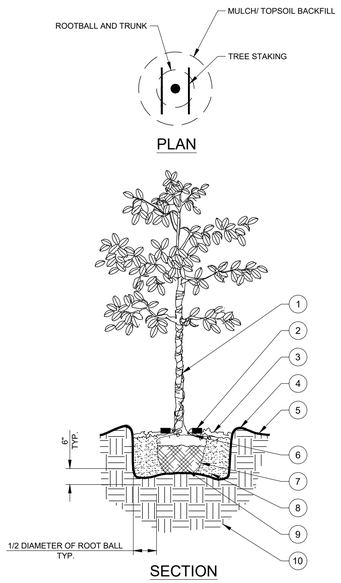


NOTES:

A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.

C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

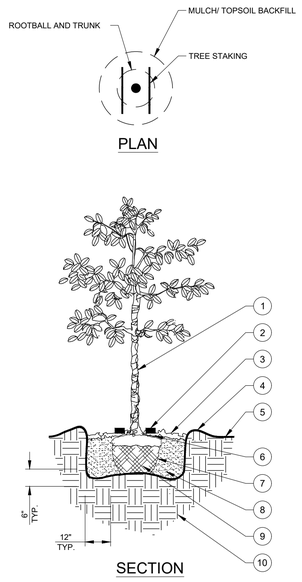
D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.

E. BRANCHING HEIGHT TO A.A.N. STANDARDS.

1. TREE WRAP.
2. **Tree Frog® RBK40pt** FOR UP TO 4" TREE CALIPER OR **Tree Frog® RBK60pt** FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
3. 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
4. 3" HIGH SOIL BERM TO HOLD WATER.
5. FINISHED GRADE (SEE GRADING PLAN).
6. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
7. B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
8. PREPARED PLANTING SOIL AS SPECIFIED.
9. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
10. UNDISTURBED SUBSOIL.

LARGE TREE PLANTING (14' OR GREATER)

NTS



NOTES:

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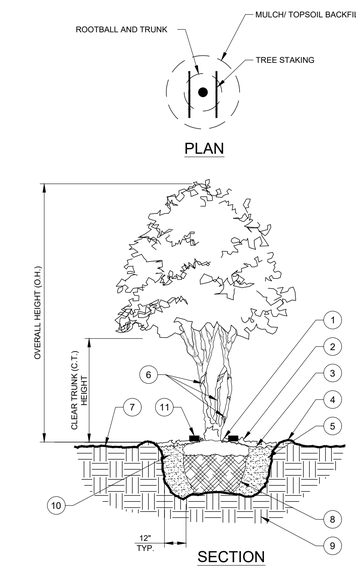
10. UNDISTURBED SUBSOIL.

SMALL TREE PLANTING (14' OR LESS)

NTS



NOTES:

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B. SET TREE AT ORIGINAL DEPTH. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.

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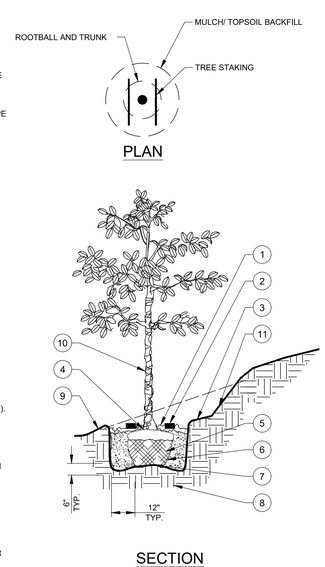
E. BRANCHING HEIGHT TO A.A.N. STANDARDS

1. BASE OF TREE SHALL BE PLANTED SLIGHTLY ABOVE (1" MIN.) ADJACENT FINISH GRADE. REMOVE ALL TWINE & STRAPS & CUT BURLAP FROM TOP 1/3 OF ROOT BALL. NO SYNTHETIC BURLAP WILL BE ACCEPTED.
2. 4" SHREDDED HARDWOOD MULCH OR APPROVED EQUAL.
3. DIAMETER OF TREE PIT TO BE TWICE THE DIAMETER OF ROOT BALL-ROUGHEN SIDES OF TREE PIT.
4. 3" HIGH SOIL BERM TO HOLD WATER.
5. TOPSOIL MIX BACKFILL.
6. TREE WRAP.
7. 4" MIN. OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
8. ROOT BALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOT BALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
9. UNDISTURBED SUBSOIL.
10. PREPARE PLANTING SOIL AS SPECIFIED.
11. **Tree Frog® RBK40pt** FOR UP TO 4" TREE CALIPER OR **Tree Frog® RBK60pt** FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.

MULTI-TRUNK TREE PLANTING

NTS



NOTES:

A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.

C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

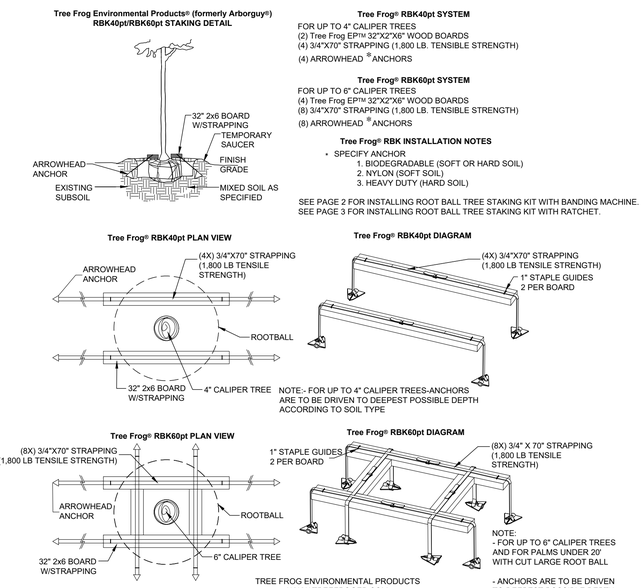
D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.

E. BRANCHING HEIGHT TO A.A.N. STANDARDS.

1. 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
2. **Tree Frog® RBK40pt** FOR UP TO 4" TREE CALIPER OR **Tree Frog® RBK60pt** FOR GREATER THAN 4" AND UP TO 6" TREE CALIPER. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
3. BACKFILL WITH TOPSOIL IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.
4. TOP OF ROOT BALL MIN. 1" ABOVE FINISHED GRADE.
5. B&B OR CONTAINED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS).
6. PREPARE PLANTING SOIL AS SPECIFIED.
7. ROOT BALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOT BALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
8. UNDISTURBED SUBSOIL.
9. 3" HIGH SOIL BERM TO HOLD WATER.
10. TREE WRAP.
11. CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

TREE PLANTING ON SLOPE

NTS



"TREE FROG" TREE STAKING

NTS

NOTE:
- FOR AREAS WITH STRONG PREVAILING WINDS CONTACT LANDSCAPE ARCHITECT TO UTILIZE ABOVE GROUND STAKING.

No.	REVISIONS	DATE	BY

Kimley»Horn
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Not for construction or permit purposes.
Kimley»Horn
P.L.A. LEAH M. CAMPBELL
L.A. No. 2900 Date 3/3/26

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

TREE DETAILS

BIXBY RETAIL STORE
NWC 151ST ST. SOUTH & SOUTH YALE AVENUE
BIXBY OKLAHOMA

SHEET NUMBER
6520

05/14/2024 06356363241
Plotted by: Campbell, Elijah March 03, 2026 10:45:00am K:\SNA_Civil\065563082 - NW 96306-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plantsheet\LP 3.01.dwg
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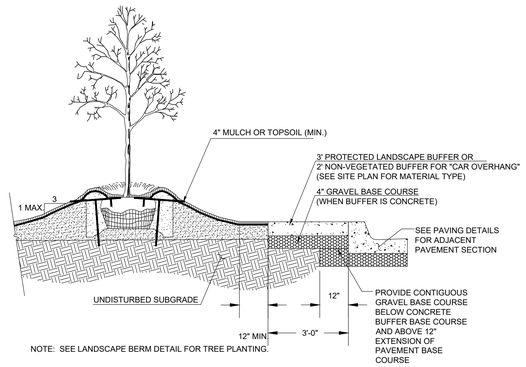
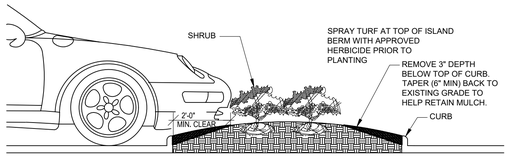


NOTE: SEE LANDSCAPE BERM DETAIL FOR TREE PLANTING.

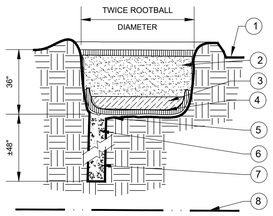
LANDSCAPE BUFFER

NTS



MULCH TAPER DETAIL

NTS

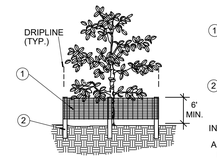


1. FINISH GRADE
2. BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED.
3. 12"- CLEAN SAND, COMPACTED. ADJUST LAYER THICKNESS SO TOP OF ROOTBALL IS AT EAST 1" ABOVE FINISHED GRADE.
4. FILTER CLOTH
5. SLOPE BOTTOM TO DRAIN
6. 18"- AUGERED HOLE PENETRATE THROUGH OCCLUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7' TO ASSURE PROPER PERCOLATION.
7. BACKFILL WITH 1/2" - 3/4" GRAVEL.
8. WATER TABLE

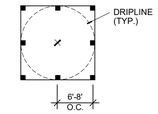
FOR A PARKING ISLAND PLANTING & TREE GRATE PLANTERS SITUATIONS, CONTRACTOR TO BACKFILL ENTIRE LENGTH OF PLANTING AREA TO WITHIN 6" OF BACK OF CURB OR EDGE OF PAVEMENT.

POOR DRAINAGE CONDITION

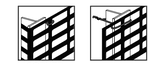
NTS SECTION



ELEVATION



PLAN VIEW



CORNER CONNECTION CONNECTION

1. 6'H "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
2. 8' TALL METAL "T" POSTS OR 2" x 2" X 8' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.

INSTALLATION NOTES:

A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.

B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/4 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 8' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.

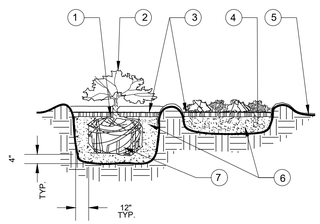
C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).

D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

TREE/SHRUB PROTECTOR

NTS BARRIER DETAIL



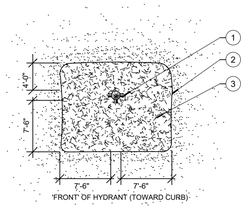
SECTION

PLAN

1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
2. WHEN USED IN MASSES- PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT
3. 4" MINIMUM OF HARDWOOD BARK MULCH COMPACTED OR AS SPECIFIED.
4. EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
5. 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
6. PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
7. SCARIFY ROOTBALL SIDES AND BOTTOM.

SHRUB/ GROUNDCOVER PLANTING

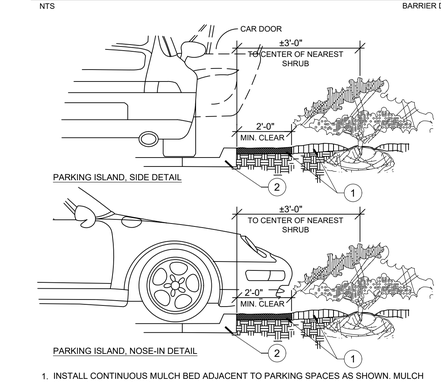
NTS



1. FIRE HYDRANT
2. NO PLANT MATERIAL SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.
3. PROVIDE A MULCH, 4" DEPTH MIN., SURROUNDING AREA INDICATED.

FIRE HYDRANT CLEAR ZONE

NTS PLAN



PARKING ISLAND, SIDE DETAIL

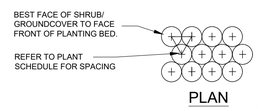
PARKING ISLAND, NOSE-IN DETAIL

1. INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 4" DEEP.

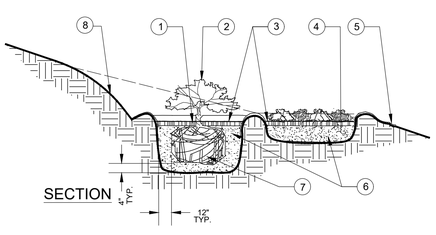
   NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE
2. CURB OR PARKING LOT EDGE, BY OTHERS

PARKING SPACE/CURB PLANTING

NTS SECTION



PLAN

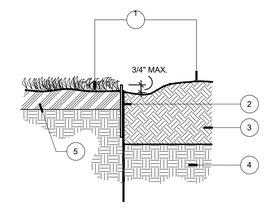


SECTION

1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
2. WHEN USED IN MASSES- PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT
3. 4" MINIMUM OF SHREDDED HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
4. EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
5. 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
6. PREPARED PLANTING SOIL MIX AS SPECIFIED. NOTE: WHEN GROUND- COVERS AND SHRUBS USED IN MASSES ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
7. SCARIFY ROOTBALL SIDES AND BOTTOM.
8. CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

SHRUB/ GROUNDCOVER PLANTING ON SLOPE

NTS



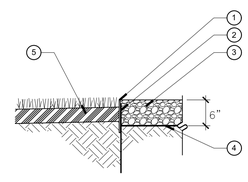
MULCH DETAIL FOR TREE AND SHRUB PLANTINGS

NTS SECTION

1. DIFFERENT PLANTING TREATMENTS OR DECOMPOSED GRANITE.
2. METAL EDGING
3. BED SOIL, 12" MINIMUM DEPTH. REF: NOTES AND/OR SPECS FOR MIX. & DEPTH.
4. NATIVE SOIL
5. 4" TOPSOIL. REF: NOTES AND/OR SPECS FOR MIX. & DEPTH.

STEEL EDGING

N.T.S.



1. GRADE LEVEL WITH TOP OF STEEL EDGING
2. STEEL EDGING, SEE DETAIL
3. 6" ROCK/GRAVEL
4. WEED BLOCK/ FILTER FABRIC PINNED AT 24" O.C. EACH WAY
5. 4" TOPSOIL. REF: NOTES AND/OR SPECS FOR MIX. & DEPTH.

ROCK MULCH

N.T.S.

No.	REVISIONS	DATE	BY

Kimley»Horn

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10101 RENLIN PLACE, SUITE 400, SAN ANTONIO, TX 78216
PHONE: 210-541-1186 FAX: 210-541-9850
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Kimley»Horn
P.L.A. LEAH M. CAMPBELL
L.A. No. 2900 Date 3/3/26

KHA PROJECT 065563082
DATE 3/3/2026
SCALE AS SHOWN
DESIGNED BY: SG
DRAWN BY: BC
CHECKED BY: BE

PLANTING DETAILS

BIXBY RETAIL STORE
NWC 151ST ST. SOUTH & SOUTH YALE AVENUE
BIXBY OKLAHOMA

SHEET NUMBER
6521

05/14/2024 06:36:32 41
K:\SNA_Civil\065563082 - KM 90306-1000 Bixby, OK\Landscape\DESIGN\01 Permit-Code\Plansheet\LP 3.01.dwg March 03, 2026 10:45:06am Elijah Williams
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Sheet Index

COVER SHEET C1
CONSTRUCTION NOTES & EROSION CONTROL DETAILS C2
EROSION CONTROL PLAN C3
GRADING PLAN C4
DRAINAGE AREA MAP & STORM SEWER PLAN C5
PAVING PLAN C6
UTILITY PLAN C7
FIRE CODE COMPLIANCE C8

Legend

A/C	AIR CONDITIONER UNIT/PAD
#GAI	# GRATE AREA INLET
AMH	ACCESS MANHOLE
B/L	BUILDING SETBACK LINE
B/W	BARBED WIRE FENCE
BC	BOTTOM OF CURB
BM	BENCHMARK
BOP	BEGINNING OF PROJECT
C/L	CHAIN LINK FENCE
CCI	CONCRETE CURB INLET
CICI	CAST IRON CURB INLET
CONC.	CONCRETE
CPED	CABLE/TV PEDESTAL
CY	CUBIC YARDS
EOP	END OF PROJECT
ELEC	ELECTRIC
EPED	ELECTRIC PEDESTAL
ESMT	EASEMENT
EX	EXISTING
F/E	FENCE EASEMENT
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FLT	THROAT FLOWLINE
FP	FLAG POLE
GLT	GROUND LIGHT
GM	GAS METER
GRSR	GAS RISER
GUY	DOWN GUY
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
IPF	IRON PIN FOUND
LF	LINEAR FEET
LNA	LIMITS OF NO ACCESS
LP	LIGHT POLE
MA/E	MUTUAL ACCESS EASEMENT
MB	MAILBOX
OD/E	OVERLAND DRAINAGE ESMT
OE	OVERHEAD ELECTRIC
OL	ORNAMENTAL LIGHT
PG	PROPOSED GRADE
PP	POWER POLE
RW/E	RESTRICTED WL EASEMENT
RCP	REINFORCED CONC. PIPE
RET. WALL	RETAINING WALL
S/W	SIDEWALK
SD	STORM DRAIN
SDMH	STORMWATER MANHOLE
SF	SQUARE FEET
SGAI	SINGLE GRATE AREA INLET
SPHD	SPRINKLER HEAD
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSLH	SANITARY SEWER LAMPHOLE
SSMH	SANITARY SEWER MANHOLE
SY	SQUARE YARD
TC	TOP OF CURB
TG	TOP OF GRATE
TP	TOP OF PAVING
TPED	TELEPHONE PEDESTAL
TR	TOP OF RIM
TS	TRAFFIC SIGN
TW	TOP OF WALL
U/E	UTILITY EASEMENT
UG	UNDERGROUND GAS LINE
UTMH	UTILITY MANHOLE
W/ DIP	WITH UNDERGROUND RISER
WL	WATERLINE
WLMH	WATERLINE MANHOLE
WM	WATER METER
WRSR	WATER SPIGOT
WV	WATER VALVE

Disclaimer

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4/8/2026

Grading, Drainage, Erosion Control, Paving & Utility Plans

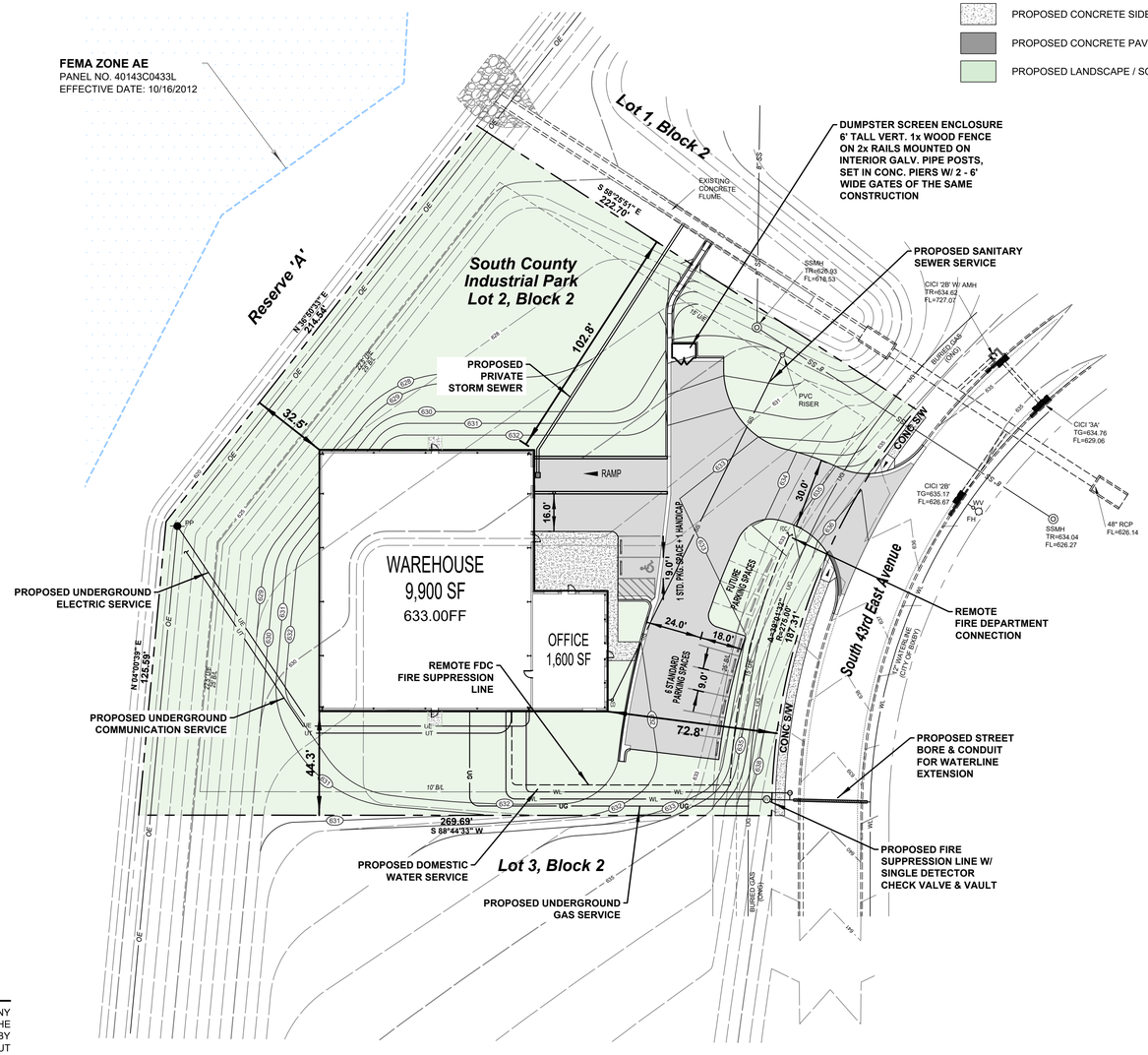
BXPUD-12 - Major Amendment C

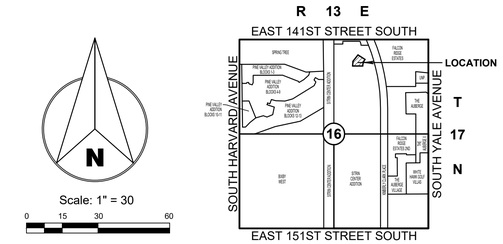
South County Industrial Park
Lot 2 Block 2

A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, BEING A RE-PLAT OF PART OF SITRIN CENTER ADDITION (PLAT NO. 2993), AN ADDITION TO THE NORTHEAST QUARTER (NE/4) OF SECTION SIXTEEN (16), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.

Sheet Legend

- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVING
- PROPOSED LANDSCAPE / SOD





Location Map

SCALE: 1"=2000'

SURVEYOR'S NOTES

BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83).

TOPOGRAPHIC INFORMATION SHOWN HEREON IS RELATIVE TO NAVD 1988 DATUM USING ADS CONTROL STATION #535, ELEVATION = 659.385' AS THE PRIMARY BENCHMARK. SITE BENCHMARK AS SHOWN HEREON. CONTOUR INTERVAL IS 1'.

SET 3/8" IRON PIN W/ GREEN "FRITZ CA5848" CAP OR MAG NAIL W/ "FRITZ CA5848" WASHER AT ALL CORNERS UNLESS NOTED AND SHOWN OTHERWISE HEREON.

WE HAVE EXAMINED A MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, CITY OF BIXBY, OKLAHOMA, COMMUNITY PANEL NO. 40143C0429L- OCTOBER 16, 2012, WHICH INDICATES THE SURVEYED PROPERTY TO BE WITHIN SHADED ZONE X (AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN), ZONE AE (AREAS DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN) AND THE FLOODWAY WITH A BASE FLOOD ELEVATION OF VARYING FROM 619' TO 624.6' AS SHOWN HEREON.

LAST SITE VISIT: MAY 1, 2023.

Owner / Developer

SOUTH COUNTY INDUSTRIAL PARK, LLC
802 WEST 91st STREET
TULSA, OK 74132
PHONE: (918) 284-7552
MR. JAMES ROBERTS

Surveyor

FRITZ LAND SURVEYING, LLC
524 EAST MAIN STREET
JENKS, OKLAHOMA 74037
PHONE: (918) 528-5121
EMAIL: fritzlandsurveying@gmail.com
C.A. # 5848 EXPIRES: 6-30-2026

Engineer

ENGINEERED BY DESIGN, PLLC
10700 MYERS LANE
CHOCTAW, OKLAHOMA 73020
PHONE: (405) 234-0980
EMAIL: ahale@engineeredbydesign.pro
C.A. # 7655 EXPIRES 6-30-2028

Site Summary

NET LOT AREA:	64,892.62 SF (1.490 AC)
PROPOSED BUILDING AREA:	11,500 SF
FLOOR AREA RATIO (0.50 MAX):	0.24
PROPOSED BUILDING HEIGHT:	35'-0" MAX.
PROPOSED BUILDING CONSTRUCTION:	TYPE II-B

Impervious Calculations

NET LAND AREA:	64,892.62 SF (1.490 AC)
TOTAL DISTURBED AREA:	1.10 AC
** EXISTING IMPERVIOUS AREA:	0 SF
** PROPOSED IMPERVIOUS AREA:	24,081 SF
INCREASED IMPERVIOUS AREA:	24,081 SF

** INSIDE PROPERTY BOUNDARY

Parking Summary

IL - Light Industrial Zoning District

Use Unit 23 - Warehousing and Wholesaling

PROPOSED BUILDING AREA:	9,900 SF
REQUIRED PARKING SPACES (1 PER 5,000 SF):	**2**

Use Unit 11 - Offices and Studios

PROPOSED BUILDING AREA:	1,600 SF
REQUIRED PARKING SPACES (1 PER 300 SF):	**6**
TOTAL REQUIRED PARKING SPACES	**8**
TOTAL STANDARD PARKING SPACES PROVIDED:	7
TOTAL HANDICAP PARKING SPACES PROVIDED:	1
TOTAL PARKING SPACES PROVIDED:	**8**

BEFORE YOU DIG! CALL 811

EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN. CALL 811 BEFORE YOU DIG!

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH THE CITY OF BIXBY ENGINEERING STANDARD SPECIFICATIONS, INCLUDING O.D.O.T. 2019 EDITION AND APPLICABLE SUPPLEMENTS.

ENGINEERED BY DESIGN
Engineered by Design, PLLC
10700 Myers Lane, Choctaw, OK 73020
Ph: 405-234-0980
CA# 7655 - Expires 6/30/2028

REGISTERED PROFESSIONAL ENGINEER
5/22/26
AARON S. HALE
19309
OKLAHOMA

BIXBY WAREHOUSE
SOUTH 43RD EAST AVENUE

C1
SITE PLAN

GH2 ARCHITECTS
GH2.COM

GH2 PROJECT NUMBER:
20260050

ISSUE DATE:
06/8/2026

ISSUE:
PHASE

OTHER ISSUE DATES:

NO.	DESCRIPTION	DATE

SHEET NAME:
SITE PLAN

SHEET NUMBER:
C1

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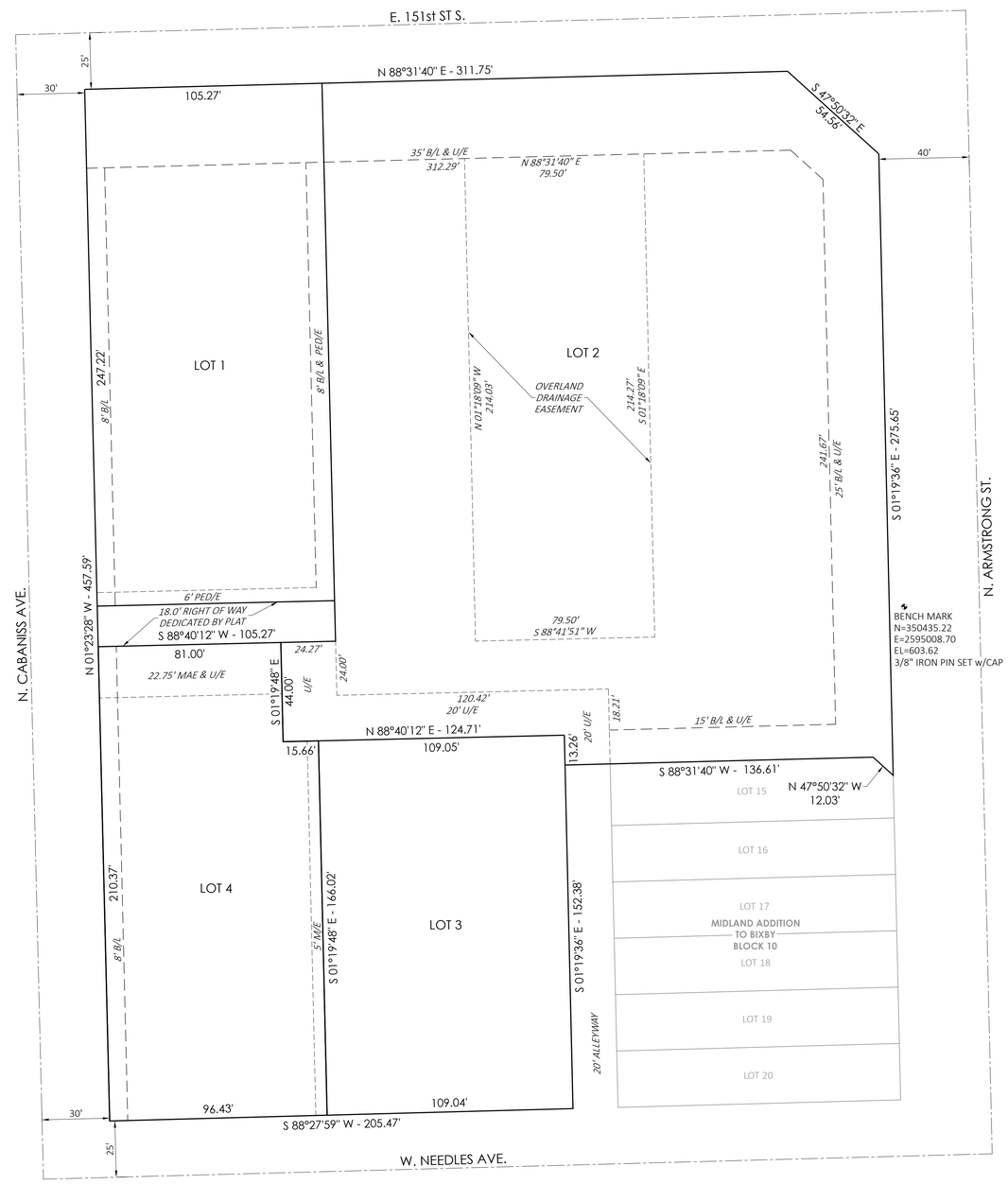
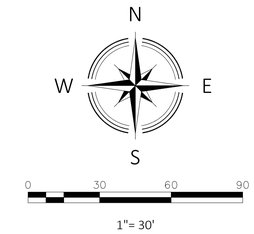
TULSA COUNTY

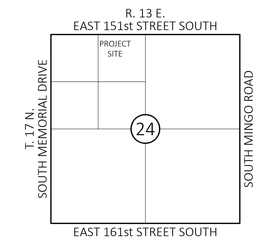
PLAT NO.

SPARTAN SQUARE

A RESUBDIVISION OF LOTS 1 THRU 14, BLOCK 10 AND ALL OF BLOCK 5 AND VACATED ALLEY'S ADJACENT THERETO AND VACATED RAILROAD RIGHT OF WAY ALL IN MIDLAND ADDITION TO BIXBY, TULSA COUNTY, STATE OF OKLAHOMA







LOCATION MAP

FLOODPLAIN CERTIFICATION

THE CONTENTS OF THE FULLY URBANIZED FLOOD PLAIN ARE CONTAINED WITHIN THE DRAINAGE EASEMENTS AS SHOWN.

LOT AREA

LOT 1	=	26,038.86 SQUARE FEET
LOT 2	=	74,013.32 SQUARE FEET
LOT 3	=	18,083.63 SQUARE FEET
LOT 4	=	19,604.59 SQUARE FEET

LEGEND

B/L = BUILDING LINE
PED/E = PEDESTRIAN EASEMENT
MAE = MUTUAL ACCESS EASEMENT
U/E = UTILITY EASEMENT
M/E = MAINTENANCE EASEMENT

BEARING BASIS

THE GRID BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE 3501, NAD 83 (1993).

MONUMENTATION

ALL LOT CORNERS ARE TO BE MONUMENTED WITH A 3/8" IRON PIN WITH PLASTIC CAP UPON COMPLETION OF THE INFRASTRUCTURE CONSTRUCTION.

BENCHMARK

NO. 1
3/8" IRON PIN SET w/CAP
N=350435.22
E=2595008.70
ELEVATION=603.62 (NAVD 1988)

OWNER

CITY OF BIXBY
111 NORTH CABANISS AVENUE
BIXBY, OKLAHOMA 74008
(918) 366-4430

SURVEYOR

HARDEN & ASSOCIATES
SURVEYING AND MAPPING, PC
5807 SOUTH GARNETT ROAD, SUITE K,
TULSA, OKLAHOMA 74146
(918) 234-4859
CERTIFICATE OF AUTHORIZATION NO. 4656
EXPIRES JUNE 30, 2027

SPARTAN SQUARE, TULSA COUNTY
PRELIMINARY PLAT, JULY 9, 2026
SHEET 1 OF 2

SPARTAN SQUARE

A RESUBDIVISION OF LOTS 1 THRU 14, BLOCK 10 AND ALL OF BLOCK 5 AND VACATED ALLEY'S ADJACENT THERETO AND VACATED RAILROAD RIGHT OF WAY ALL IN MIDLAND ADDITION TO BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

DEED OF DEDICATION AND COVENANTS
SPARTAN SQUARE
CITY OF BIXBY, OKLAHOMA

KNOW ALL MEN BY THESE PRESENTS
THE UNDERSIGNED OWNER OF THE PROPERTY DESCRIBED HEREIN DOES HEREBY PLAT THE PROPERTY AS SPARTAN SQUARE, AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA, AND DEDICATES THE STREETS, EASEMENTS, AND OTHER PUBLIC IMPROVEMENTS SHOWN HEREON FOR THE PURPOSES STATED HEREIN.

LOTS 1 THRU 14, BLOCK 10 AND ALL OF BLOCK 5 AND VACATED ALLEY'S ADJACENT THERETO AND VACATED RAILROAD RIGHT OF WAY ALL IN MIDLAND ADDITION TO BIXBY, TULSA COUNTY STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.

SAID TRACT CONTAINING 137,740.40 SQUARE FEET, OR 3.16 ACRES.

AND DOES HEREBY CERTIFY THAT OWNER/DEVELOPER HAS CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED, DIVIDED, MAPPED, DEDICATED AND ACCESS RIGHTS RESERVED AS REPRESENTED ON THE PLAT AND SUBDIVIDED INTO ONE (1) BLOCK, FOUR (4) LOTS AND HAS DESIGNATED THE SAME AS "SPARTAN SQUARE", AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA.

SECTION I: PUBLIC STREETS AND EASEMENTS

THE OWNER HEREBY DEDICATES TO THE PUBLIC, AND FOR ACCEPTANCE BY THE CITY OF BIXBY:
- ALL PUBLIC STREET RIGHTS-OF-WAY
- UTILITY EASEMENTS
- DRAINAGE EASEMENTS
- SIDEWALK EASEMENTS
- PUBLIC ACCESS EASEMENTS
- FIRE LANE EASEMENTS
- WATER EASEMENTS
- SEWER EASEMENTS
- STORM SEWER EASEMENTS

AS SHOWN UPON THE FINAL PLAT.
THESE EASEMENTS ARE DEDICATED FOR THE CONSTRUCTION, OPERATION, REPAIR, REPLACEMENT, INSPECTION, RELOCATION, AND MAINTENANCE OF PUBLIC IMPROVEMENTS AND UTILITIES.

SECTION II: UTILITY EASEMENTS

THE OWNER GRANTS PERPETUAL UTILITY EASEMENTS FOR:
- WATER
- SANITARY SEWER
- STORM SEWER
- ELECTRIC
- GAS
- TELECOMMUNICATIONS
- FIBER
- CABLE TELEVISION

UTILITY PROVIDERS SHALL HAVE THE PERPETUAL RIGHT OF INGRESS AND EGRESS TO CONSTRUCT, INSPECT, REPAIR, REPLACE, RELOCATE AND MAINTAIN FACILITIES.
NO PERMANENT STRUCTURES SHALL BE PLACED WITHIN UTILITY EASEMENTS WITHOUT APPROVAL OF THE CITY.

SECTION III: DRAINAGE EASEMENTS

DRAINAGE EASEMENTS ARE RESERVED FOR THE CONVEYANCE OF STORM WATER.
NO GRADING, FILLING, FENCING, LANDSCAPING, RETAINING WALLS, STRUCTURES OR OTHER IMPROVEMENTS SHALL OBSTRUCT DRAINAGE UNLESS APPROVED BY THE CITY ENGINEER.
OWNERS SHALL MAINTAIN DRAINAGE IMPROVEMENTS UNLESS SPECIFICALLY ACCEPTED BY THE CITY.

SECTION IV: SURFACE DRAINAGE

SURFACE RUNOFF SHALL FOLLOW THE DRAINAGE PATTERN ESTABLISHED BY THE APPROVED ENGINEERING PLANS.
LOT OWNERS SHALL NOT ALTER DRAINAGE PATTERNS IN A MANNER THAT ADVERSELY IMPACTS ADJOINING PROPERTIES.

SECTION V: MUTUAL ACCESS

ALL LOTS WITHIN SPARTAN SQUARE SHALL HAVE RECIPROCAL RIGHTS OF VEHICULAR AND PEDESTRIAN ACCESS OVER ALL PRIVATE DRIVES SHOWN UPON THE FINAL PLAT.
CROSS-ACCESS SHALL BE PERPETUAL AND SHALL RUN WITH THE LAND.
NO LOT OWNER MAY BLOCK OR RESTRICT ACCESS WITHOUT APPROVAL OF THE CITY.

SECTION VI: SHARED PARKING

PARKING AREAS SHOWN UPON THE APPROVED SITE PLAN SHALL SERVE THE DEVELOPMENT AS A UNIFIED PARKING SYSTEM.
PARKING SHALL BE SHARED AMONG ALL USES WITHIN SPARTAN SQUARE.
NO OWNER SHALL RESERVE OR RESTRICT PARKING SPACES EXCEPT FOR ADA SPACES, EMERGENCY ACCESS, LOADING ZONES, OR AS OTHERWISE APPROVED BY THE CITY.

SECTION VII: PRIVATE IMPROVEMENTS

UNLESS SPECIFICALLY ACCEPTED BY THE CITY OF BIXBY, THE FOLLOWING IMPROVEMENTS SHALL REMAIN PRIVATE:
- PARKING LOTS
- INTERNAL DRIVE AISLES
- LANDSCAPING
- IRRIGATION
- MONUMENT SIGNS
- DECORATIVE LIGHTING
- DECORATIVE PAVING
- DECORATIVE WALLS
- FENCING
- SCREENING
- PLAZAS
- OUTDOOR GATHERING AREAS

MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR OWNERS' ASSOCIATION.

SECTION VIII: MAINTENANCE OF COMMON AREAS

ALL COMMON AREAS, RESERVE AREAS, LANDSCAPE AREAS, PARKING AREAS, PRIVATE DRIVES, SIDEWALKS, DETENTION FACILITIES, SCREENING, LIGHTING AND OTHER COMMON IMPROVEMENTS SHALL BE MAINTAINED BY THE OWNER OR PROPERTY OWNERS' ASSOCIATION.
MAINTENANCE SHALL INCLUDE:
- MOWING
- IRRIGATION
- TREE REPLACEMENT
- PAVEMENT MAINTENANCE
- STRIPING
- LIGHTING
- DRAINAGE FACILITIES
- SNOW AND ICE REMOVAL (IF APPLICABLE)

THE CITY SHALL HAVE NO MAINTENANCE RESPONSIBILITY UNLESS SPECIFICALLY ACCEPTED.

SECTION IX: FIRE LANES

FIRE LANES SHOWN UPON THE PLAT SHALL REMAIN UNOBSTRUCTED.
PARKING WITHIN DESIGNATED FIRE LANES IS PROHIBITED.
THE CITY AND FIRE DEPARTMENT SHALL HAVE PERPETUAL ACCESS FOR EMERGENCY PURPOSES.

SECTION X: PUD RESTRICTIONS

THIS SUBDIVISION SHALL BE DEVELOPED IN SUBSTANTIAL CONFORMANCE WITH:
MAJOR AMENDMENT NO. 1
PLANNED UNIT DEVELOPMENT BXPUD-22.02 MA.01
INCLUDING ALL APPROVED DEVELOPMENT STANDARDS, ARCHITECTURAL STANDARDS, PERMITTED USES, LANDSCAPING REQUIREMENTS, LIGHTING REQUIREMENTS, SIGNAGE STANDARDS, AND ANY CONDITIONS OF APPROVAL.
ANY AMENDMENT TO THE APPROVED PUD SHALL GOVERN OVER CONFLICTING PROVISIONS HEREIN.

SECTION XI: DEVELOPMENT STANDARDS

DEVELOPMENT SHALL COMPLY WITH:
- APPROVED FINAL PLAT
- APPROVED SITE PLANS
- APPROVED LANDSCAPE PLANS
- APPROVED DRAINAGE PLANS
- APPROVED CONSTRUCTION PLANS
- APPROVED UTILITY PLANS

ALL APPLICABLE CITY ORDINANCES SHALL APPLY UNLESS SPECIFICALLY MODIFIED BY THE APPROVED PUD.

SECTION XII: FUTURE DEVELOPMENT

THE DEVELOPMENT MAY OCCUR IN PHASES.
FUTURE BUILDINGS, LOTS, RESERVE AREAS, AND COMMON FACILITIES MAY BE CONSTRUCTED AS APPROVED BY THE CITY.
APPROVAL OF THIS PLAT SHALL NOT CONSTITUTE APPROVAL OF FUTURE BUILDING PERMITS OR SITE PLANS.

SECTION XIII: CITY ACCESS

THE CITY OF BIXBY, ITS EMPLOYEES AND CONTRACTORS SHALL HAVE THE RIGHT TO ENTER EASEMENTS DEDICATED HEREON FOR INSPECTION, MAINTENANCE, REPAIR OR REPLACEMENT OF PUBLIC IMPROVEMENTS.

SECTION XIV: ENFORCEMENT

THESE COVENANTS SHALL RUN WITH THE LAND.
THE CITY OF BIXBY MAY ENFORCE ANY PROVISION CONTAINED HEREIN IN ADDITION TO ANY ENFORCEMENT AVAILABLE UNDER THE CITY'S CODE OF ORDINANCES.
FAILURE TO ENFORCE ANY PROVISION SHALL NOT CONSTITUTE A WAIVER.

SECTION XV: AMENDMENT

THESE COVENANTS MAY BE AMENDED ONLY BY:
- THE OWNER (WHILE UNSOLD),
- ANY REQUIRED PROPERTY OWNERS' ASSOCIATION,
- AND APPROVAL BY THE CITY OF BIXBY,

WHEN SUCH AMENDMENT AFFECTS PUBLIC DEDICATIONS OR OBLIGATIONS ACCEPTED BY THE CITY.

SECTION XVI: SEVERABILITY

IF ANY PORTION OF THESE COVENANTS IS DECLARED INVALID, THE REMAINING PROVISIONS SHALL REMAIN IN FULL FORCE AND EFFECT.

SECTION XVII: ACCEPTANCE

ACCEPTANCE BY THE CITY COUNCIL OF THE CITY OF BIXBY SHALL CONSTITUTE ACCEPTANCE ONLY OF THE PUBLIC DEDICATIONS SHOWN HEREON.
ACCEPTANCE SHALL NOT CONSTITUTE ACCEPTANCE OF ANY PRIVATE IMPROVEMENTS UNLESS SPECIFICALLY STATED.

IN WITNESS WHEREOF, "THE CITY OF BIXBY" HAS EXECUTED THIS INSTRUMENT ON THIS _____ DAY OF _____, 2026.

CITY OF BIXBY
BY:
CITY MANAGER

STATE OF OKLAHOMA)
) SS
COUNTY OF TULSA)

BEFORE, ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS_____DAY OF _____, 2026, PERSONALLY APPEARED _____TO ME KNOWN TO BE THE IDENTICAL PERON WHO SUBSCRIBED THE NAME OF THE MAKER THEREOF TO THE FORGOING INSTRUMENT, AS ITS MANAGER, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED AS THE FREE AND VOLUNTARY ACT AND DEED SUCH LIMITED LIABILITY COMPANY FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THE DAY AN YEAR LAST ABOVE WRITTEN.

_____ _____
MY COMMISSION EXPIRES: NOTARY PUBLIC

CERTIFICATE OF SURVEY

I, NATHANIEL J. REED, A REGISTERED LAND SURVEYOR IN THE STATE OF OKLAHOMA, HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT SAID PLAT DESIGNATED HEREIN AS SPARTAN SQUARE, AN ADDITION TO TULSA COUNTY, STATE OF OKLAHOMA, IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____ , 2026.

BY: _____
NATHANIEL J. REED
REGISTERED LAND SURVEYOR
OKLAHOMA No. 1744

STATE OF OKLAHOMA)
) SS
COUNTY OF TULSA)

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TULSA COUNTY

PLAT NO.

SPARTAN SQUARE

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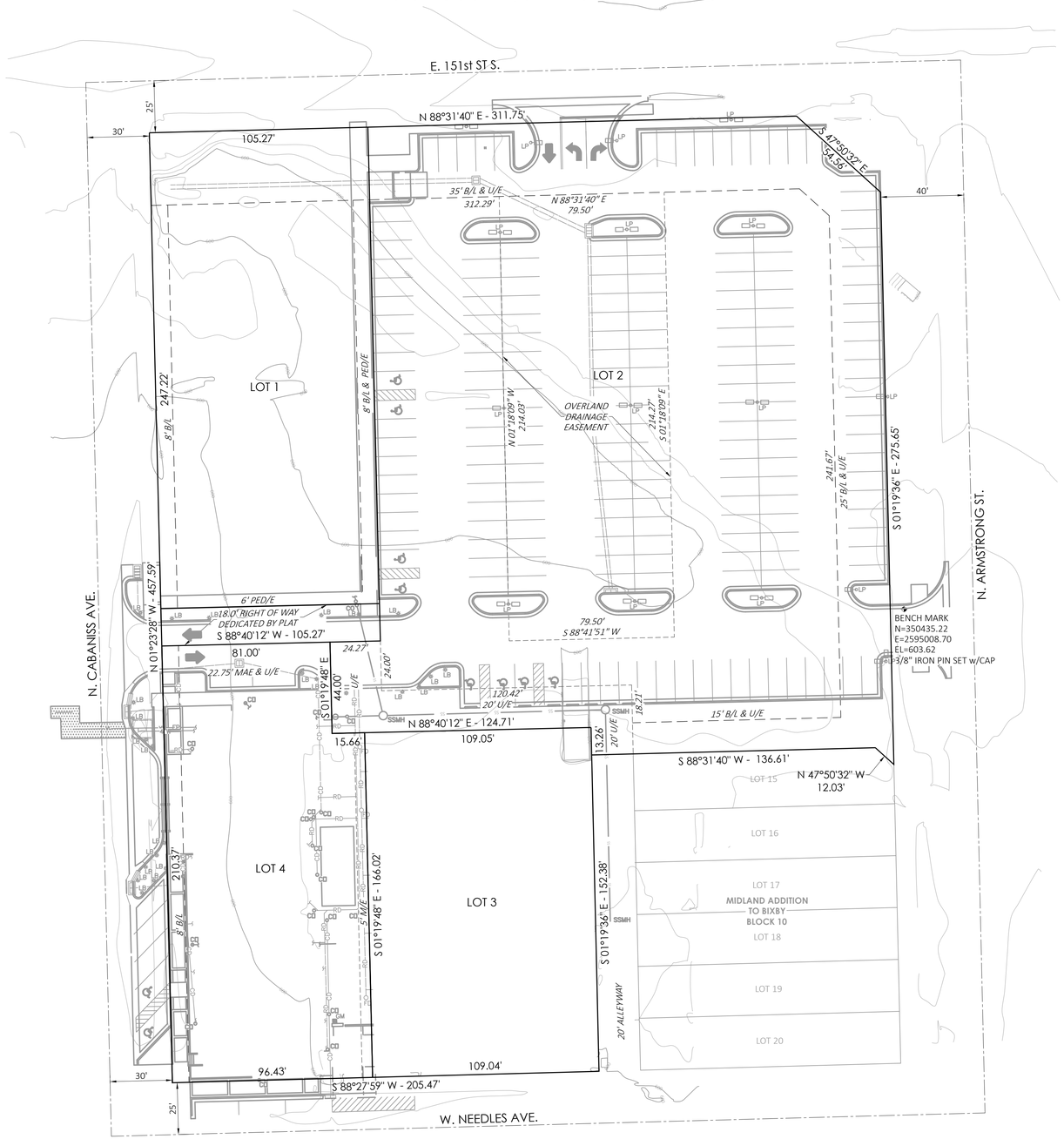

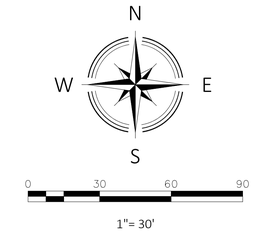

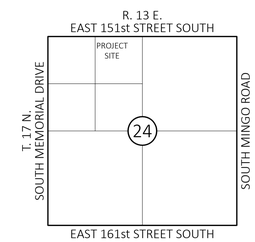

LOCATION MAP

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(918) 366-4430

SURVEYOR

HARDEN & ASSOCIATES
SURVEYING AND MAPPING, PC
5807 SOUTH GARNETT ROAD, SUITE K,
TULSA, OKLAHOMA 74146
(918) 234-4859
CERTIFICATE OF AUTHORIZATION NO. 4656
EXPIRES JUNE 30, 2027

SPARTAN SQUARE, TULSA COUNTY
PRELIMINARY SITE PLAN, JULY 9, 2026
SHEET 1 OF 1

Conditional Final Plat

BXPUD-22.05

THE PRESERVE

Blocks 6-15

A TRACT OF LAND THAT IS ALL OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4)
AND A PART OF THE EAST HALF OF THE SOUTHWEST QUARTER (E/2 SW/4),
ALL IN SECTION TWENTY-SIX (26), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN MERIDIAN,
A SUBDIVISION WITHIN THE CITY IF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

COVER SHEET

OWNER:
PPM 171 Development, LLC
CONTACT: BRIAN HUMPHREY, MANAGER
EMAIL: BRRBUYERS@GMAIL.COM
3015 East Skelly Drive, Suite 2065-H
Tulsa, Oklahoma 74105
Phone: (918) 808-3489

SURVEYOR/ENGINEER:
Tanner Consulting, L.L.C.
DAN E. TANNER, P.L.S. NO. 1435
OK CA NO. 2661, EXPIRES 6/30/2027
EMAIL: DAN@TANNERBAITSHOP.COM
5323 South Lewis Avenue
Tulsa, Oklahoma 74105
Phone: (918) 745-9929

Lot Area & Address Table (South)

AREA LABEL	AREA(SQFT)	ADDRESS
BLOCK 6 LOT 1	9,122	00000 STREET SOUTH
BLOCK 6 LOT 2	8,099	00000 STREET SOUTH
BLOCK 6 LOT 3	8,099	00000 STREET SOUTH
BLOCK 6 LOT 4	8,099	00000 STREET SOUTH
BLOCK 6 LOT 5	8,099	00000 STREET SOUTH
BLOCK 6 LOT 6	8,099	00000 STREET SOUTH
BLOCK 6 LOT 7	7,968	00000 STREET SOUTH
BLOCK 6 LOT 8	7,620	00000 STREET SOUTH
BLOCK 6 LOT 9	7,619	00000 STREET SOUTH
BLOCK 6 LOT 10	8,249	00000 STREET SOUTH
BLOCK 6 LOT 11	12,949	00000 STREET SOUTH
BLOCK 6 LOT 12	8,981	00000 STREET SOUTH
BLOCK 6 LOT 13	7,386	00000 STREET SOUTH
BLOCK 6 LOT 14	7,500	00000 STREET SOUTH
BLOCK 6 LOT 15	7,500	00000 STREET SOUTH
BLOCK 6 LOT 16	7,500	00000 STREET SOUTH
BLOCK 6 LOT 17	7,500	00000 STREET SOUTH
BLOCK 6 LOT 18	7,500	00000 STREET SOUTH
BLOCK 6 LOT 19	8,423	00000 STREET SOUTH
BLOCK 7 LOT 1	8,400	00000 STREET SOUTH
BLOCK 7 LOT 2	7,200	00000 STREET SOUTH
BLOCK 7 LOT 3	7,200	00000 STREET SOUTH
BLOCK 7 LOT 4	7,200	00000 STREET SOUTH
BLOCK 7 LOT 5	7,661	00000 STREET SOUTH
BLOCK 7 LOT 6	8,239	00000 STREET SOUTH
BLOCK 7 LOT 7	7,200	00000 STREET SOUTH
BLOCK 7 LOT 8	7,800	00000 STREET SOUTH
BLOCK 8 LOT 1	7,200	00000 STREET SOUTH
BLOCK 8 LOT 2	7,200	00000 STREET SOUTH
BLOCK 8 LOT 3	7,200	00000 STREET SOUTH
BLOCK 8 LOT 4	7,200	00000 STREET SOUTH
BLOCK 8 LOT 5	7,200	00000 STREET SOUTH
BLOCK 8 LOT 6	8,142	00000 STREET SOUTH
BLOCK 8 LOT 7	17,556	00000 STREET SOUTH
BLOCK 8 LOT 8	13,780	00000 STREET SOUTH
BLOCK 8 LOT 9	10,228	00000 STREET SOUTH
BLOCK 8 LOT 10	10,022	00000 STREET SOUTH
BLOCK 8 LOT 11	10,162	00000 STREET SOUTH
BLOCK 8 LOT 12	9,800	00000 STREET SOUTH
BLOCK 8 LOT 13	9,800	00000 STREET SOUTH
BLOCK 8 LOT 14	9,800	00000 STREET SOUTH
BLOCK 9 LOT 1	9,800	00000 STREET SOUTH
BLOCK 9 LOT 2	10,997	00000 STREET SOUTH
BLOCK 9 LOT 3	12,905	00000 STREET SOUTH
BLOCK 9 LOT 4	18,229	00000 STREET SOUTH
BLOCK 9 LOT 5	14,824	00000 STREET SOUTH
BLOCK 9 LOT 6	12,529	00000 STREET SOUTH
BLOCK 9 LOT 7	10,150	00000 STREET SOUTH
BLOCK 9 LOT 8	10,150	00000 STREET SOUTH
BLOCK 9 LOT 9	10,150	00000 STREET SOUTH
BLOCK 9 LOT 10	10,150	00000 STREET SOUTH
BLOCK 9 LOT 11	12,206	00000 STREET SOUTH
BLOCK 10 LOT 1	17,163	00000 STREET SOUTH
BLOCK 10 LOT 2	10,066	00000 STREET SOUTH
BLOCK 10 LOT 3	10,995	00000 STREET SOUTH
BLOCK 10 LOT 4	9,800	00000 STREET SOUTH
BLOCK 10 LOT 5	9,711	00000 STREET SOUTH
BLOCK 10 LOT 6	13,016	00000 STREET SOUTH
BLOCK 10 LOT 7	18,178	00000 STREET SOUTH
BLOCK 11 LOT 1	12,654	00000 STREET SOUTH
BLOCK 11 LOT 2	9,728	00000 STREET SOUTH
BLOCK 11 LOT 3	9,582	00000 STREET SOUTH
BLOCK 11 LOT 4	9,596	00000 STREET SOUTH
BLOCK 11 LOT 5	11,023	00000 STREET SOUTH
BLOCK 11 LOT 6	10,905	00000 STREET SOUTH
BLOCK 11 LOT 7	9,622	00000 STREET SOUTH
BLOCK 11 LOT 8	10,092	00000 STREET SOUTH
BLOCK 11 LOT 9	11,922	00000 STREET SOUTH
BLOCK 12 LOT 1	11,498	00000 STREET SOUTH
BLOCK 12 LOT 2	13,298	00000 STREET SOUTH
BLOCK 12 LOT 3	13,800	00000 STREET SOUTH
BLOCK 12 LOT 4	13,539	00000 STREET SOUTH
BLOCK 12 LOT 5	14,445	00000 STREET SOUTH
BLOCK 12 LOT 6	10,937	00000 STREET SOUTH
BLOCK 12 LOT 7	13,728	00000 STREET SOUTH
BLOCK 12 LOT 8	11,424	00000 STREET SOUTH
BLOCK 12 LOT 9	9,417	00000 STREET SOUTH
BLOCK 12 LOT 10	10,855	00000 STREET SOUTH
BLOCK 12 LOT 11	11,324	00000 STREET SOUTH
BLOCK 12 LOT 12	9,567	00000 STREET SOUTH
BLOCK 12 LOT 13	9,569	00000 STREET SOUTH
BLOCK 12 LOT 14	9,492	00000 STREET SOUTH
BLOCK 12 LOT 15	9,921	00000 STREET SOUTH
BLOCK 12 LOT 16	10,350	00000 STREET SOUTH
BLOCK 12 LOT 17	11,071	00000 STREET SOUTH
BLOCK 12 LOT 18	10,596	00000 STREET SOUTH
BLOCK 12 LOT 19	9,800	00000 STREET SOUTH
BLOCK 12 LOT 20	9,800	00000 STREET SOUTH
BLOCK 12 LOT 21	9,800	00000 STREET SOUTH
BLOCK 12 LOT 22	9,800	00000 STREET SOUTH
BLOCK 12 LOT 23	11,201	00000 STREET SOUTH
BLOCK 12 LOT 24	17,550	00000 STREET SOUTH
BLOCK 12 LOT 25	17,089	00000 STREET SOUTH
BLOCK 12 LOT 26	19,441	00000 STREET SOUTH
BLOCK 12 LOT 27	17,870	00000 STREET SOUTH
BLOCK 12 LOT 28	20,145	00000 STREET SOUTH
BLOCK 12 LOT 29	13,207	00000 STREET SOUTH
BLOCK 12 LOT 30	12,770	00000 STREET SOUTH
BLOCK 12 LOT 31	21,108	00000 STREET SOUTH
BLOCK 12 LOT 32	15,865	00000 STREET SOUTH
BLOCK 12 LOT 33	19,617	00000 STREET SOUTH
BLOCK 12 LOT 34	16,221	00000 STREET SOUTH
BLOCK 12 LOT 35	16,882	00000 STREET SOUTH
BLOCK 12 LOT 36	13,164	00000 STREET SOUTH
BLOCK 12 LOT 37	13,608	00000 STREET SOUTH
BLOCK 15 LOT 1	412,058	00000 STREET SOUTH

Lot Area & Address Table (North)

AREA LABEL	AREA(SQFT)	ADDRESS
BLOCK 13 LOT 1	12,870	00000 STREET SOUTH
BLOCK 13 LOT 2	14,293	00000 STREET SOUTH
BLOCK 13 LOT 3	14,461	00000 STREET SOUTH
BLOCK 13 LOT 4	15,679	00000 STREET SOUTH
BLOCK 13 LOT 5	16,117	00000 STREET SOUTH
BLOCK 13 LOT 6	16,876	00000 STREET SOUTH
BLOCK 13 LOT 7	19,477	00000 STREET SOUTH
BLOCK 13 LOT 8	17,389	00000 STREET SOUTH
BLOCK 13 LOT 9	12,996	00000 STREET SOUTH
BLOCK 13 LOT 10	14,703	00000 STREET SOUTH
BLOCK 13 LOT 11	16,353	00000 STREET SOUTH
BLOCK 13 LOT 12	27,297	00000 STREET SOUTH
BLOCK 13 LOT 13	13,426	00000 STREET SOUTH
BLOCK 13 LOT 14	17,984	00000 STREET SOUTH
BLOCK 13 LOT 15	13,756	00000 STREET SOUTH
BLOCK 13 LOT 16	15,743	00000 STREET SOUTH
BLOCK 13 LOT 17	22,232	00000 STREET SOUTH
BLOCK 13 LOT 18	35,076	00000 STREET SOUTH
BLOCK 13 LOT 19	25,839	00000 STREET SOUTH
BLOCK 14 LOT 1	20,520	00000 STREET SOUTH
BLOCK 14 LOT 2	13,963	00000 STREET SOUTH
BLOCK 14 LOT 3	13,573	00000 STREET SOUTH
BLOCK 14 LOT 4	17,141	00000 STREET SOUTH
BLOCK 14 LOT 5	18,505	00000 STREET SOUTH
BLOCK 14 LOT 6	12,855	00000 STREET SOUTH
BLOCK 14 LOT 7	12,005	00000 STREET SOUTH
BLOCK 14 LOT 8	12,014	00000 STREET SOUTH

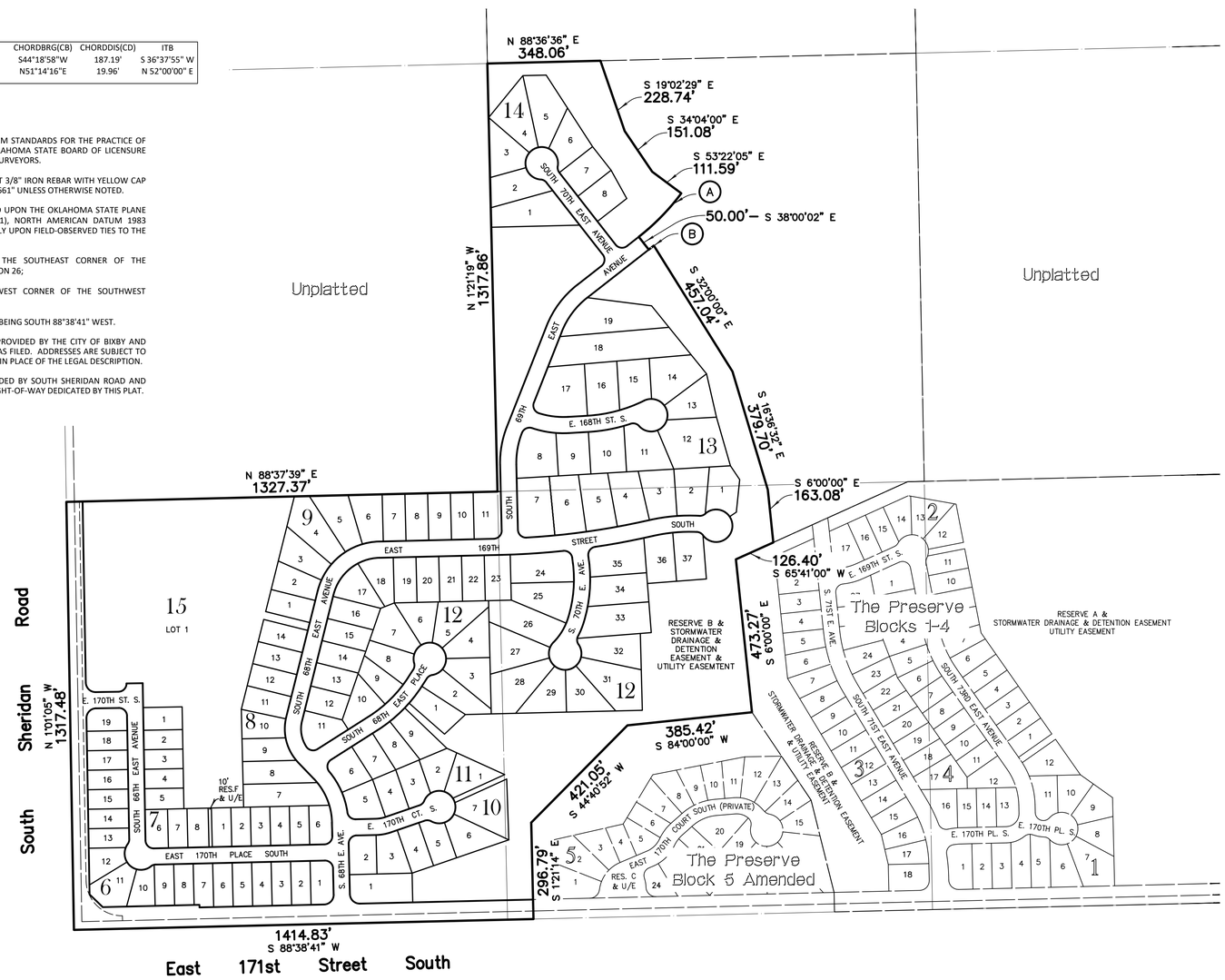
Boundary Curve Table

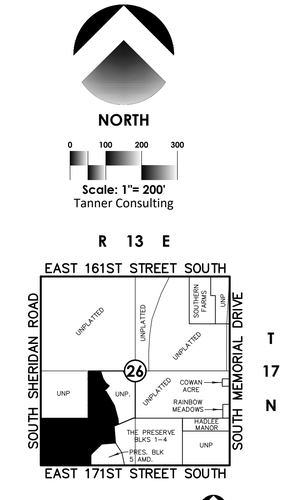
CURVE	LENGTH(L)	RADIUS(R)	DELTA(Δ)	CHORDBRG(CB)	CHORDDIS(CD)	ITB
A	187.76'	700.00'	15°22'05"	S44°18'58"W	187.19'	S 36°37'55" W
B	19.96'	750.00'	1°31'28"	N51°14'16"E	19.96'	N 52°00'00" E

Notes:

1. THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
2. ALL PROPERTY CORNERS ARE FOUND OR SET 3/8" IRON REBAR WITH YELLOW CAP STAMPED "TANNER 1435" OR "TANNER CA2661" UNLESS OTHERWISE NOTED.
3. THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83); SAID BEARINGS ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING MONUMENTS:
   (a) FOUND ALUMINUM ODOT CAP AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER (SW/4) OF SECTION 26;
   (b) FOUND BRASS CAP AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER (SW/4) OF SECTION 26;

   THE BEARING BETWEEN SAID MONUMENTS BEING SOUTH 88°38'41" WEST.
4. ADDRESSES SHOWN ON THIS PLAT WERE PROVIDED BY THE CITY OF BIXBY AND WERE ACCURATE AT THE TIME THE PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION.
5. ACCESS AT THE TIME OF PLAT WAS PROVIDED BY SOUTH SHERIDAN ROAD AND EAST 171ST STREET SOUTH BY VIRTUE OF RIGHT-OF-WAY DEDICATED BY THIS PLAT.





Location Map
Scale: 1"= 2000'
NORTH

SUBDIVISION CONTAINS:

ONE HUNDRED THIRTY THREE (133) LOTS
IN TEN (10) BLOCKS
WITH FOUR (4) RESERVES AREAS

GROSS SUBDIVISION AREA: 73.006 ACRES

LEGEND

B/L	BUILDING LINE
B/U	BUILDING LINE & UTILITY EASEMENT
BK PG	BOOK & PAGE
CB	CHORD BEARING
CD	CHORD DISTANCE
CL	CENTERLINE
Δ	DELTA ANGLE
DOC	DOCUMENT
ESMT	EASEMENT
GOV'T	GOVERNMENT
ITB	INITIAL TANGENT BEARING
LNA	LIMITS OF NO ACCESS
ODE	OVERLAND DRAINAGE EASEMENT
RES.	RESERVE
R/W	RIGHT-OF-WAY
SD&DE	STORMWATER DRAINAGE AND DETENTION EASEMENT
U/E	UTILITY EASEMENT
RW/E	RURAL WATER DISTRICT EASEMENT
1234	ADDRESS ASSIGNED
○	FOUND MONUMENT
●	SET MONUMENT (SEE NOTE 2)

DATE OF PREPARATION: July 7, 2026

Conditional Final Plat

BXPUD-22.05

THE PRESERVE

Blocks 6-15

A TRACT OF LAND THAT IS ALL OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4)
AND A PART OF THE EAST HALF OF THE SOUTHWEST QUARTER (E/2 SW/4),
ALL IN SECTION TWENTY-SIX (26), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN MERIDIAN,
A SUBDIVISION WITHIN THE CITY IF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

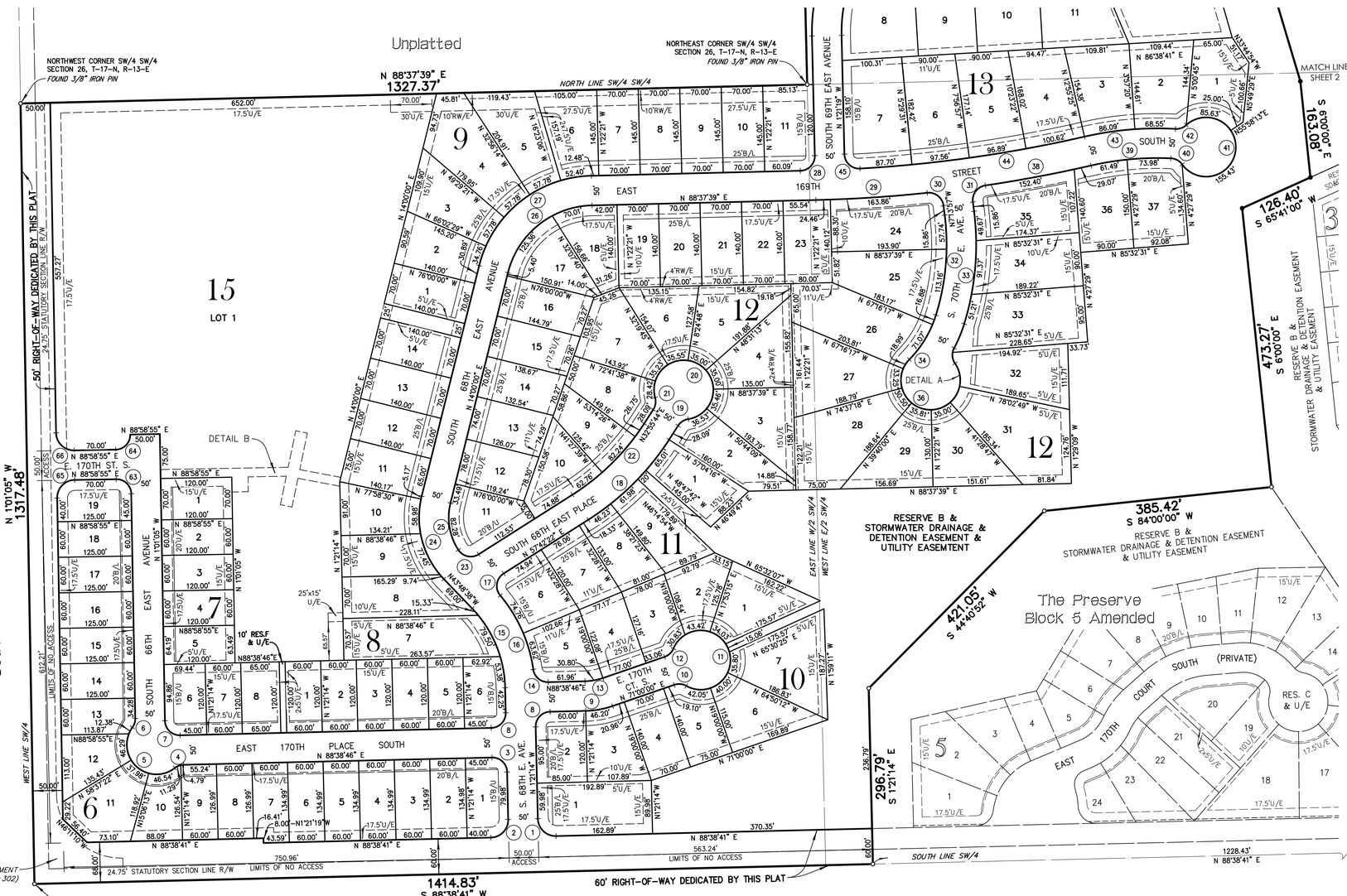
SOUTH PART

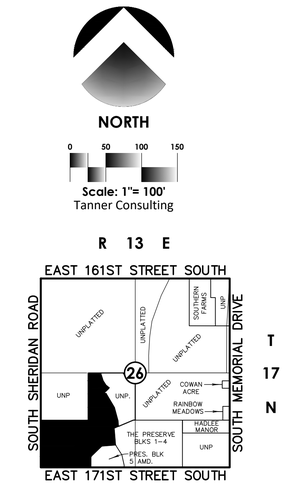
OWNER:
PPM 171 Development, LLC
CONTACT: BRIAN HUMPHREY, MANAGER
EMAIL: BRRBUYERS@GMAIL.COM
3015 East Skelly Drive, Suite 2065-H
Tulsa, Oklahoma 74105
Phone: (918) 808-3489

SURVEYOR/ENGINEER:
Tanner Consulting, L.L.C.
DAN E. TANNER, P.L.S. NO. 1435
OK CA NO. 2661, EXPIRES 6/30/2027
EMAIL: DAN@TANNERBAITSHOP.COM
5323 South Lewis Avenue
Tulsa, Oklahoma 74105
Phone: (918) 745-9929

Curve Table

CURVE	LENGTH(L)	RADIUS(R)	DELTA(Δ)	CHORDBRG(CB)	CHORDDIS(CD)
1	47.12'	30.00'	90°00'05"	N46°21'16"W	42.43'
2	47.12'	30.00'	89°59'55"	N43°38'44"E	42.43'
3	39.27'	25.00'	90°00'00"	N46°21'14"W	35.36'
4	16.09'	25.00'	36°52'12"	N70°12'40"E	15.81'
5	143.18'	50.00'	164°04'32"	N46°11'10"W	99.04'
6	16.09'	25.00'	36°52'12"	N17°25'00"E	15.81'
7	39.42'	25.00'	90°20'09"	N46°11'10"W	35.46'
8	39.27'	25.00'	90°00'00"	N43°38'46"E	35.36'
9	46.20'	150.00'	17°38'46"	N79°49'23"E	46.01'
10	21.03'	25.00'	48°11'23"	N84°54'19"W	20.41'
11	241.19'	50.00'	276°22'46"	N19°00'00"W	66.67'
12	21.03'	25.00'	48°11'23"	N46°54'19"E	20.41'
13	30.80'	100.00'	17°38'46"	N79°49'23"E	30.68'
14	36.29'	25.00'	83°09'41"	N49°46'24"W	33.18'
15	148.20'	200.00'	42°27'24"	N22°34'56"W	144.83'
16	138.38'	250.00'	31°42'53"	N24°03'00"W	136.62'
17	42.52'	25.00'	97°26'15"	N8°48'41"E	37.57'
18	193.22'	450.00'	24°36'04"	N45°13'47"E	191.74'
19	21.03'	25.00'	48°11'23"	N57°01'26"E	20.41'
20	241.19'	50.00'	276°22'46"	N57°04'16"W	66.67'
21	21.03'	25.00'	48°11'23"	N8°50'03"E	20.41'
22	173.05'	400.00'	24°47'16"	N45°19'22"E	171.70'
23	38.98'	25.00'	89°19'34"	N77°48'24"W	35.15'
24	151.35'	150.00'	57°48'38"	N14°54'19"W	145.01'
25	82.28'	100.00'	47°08'37"	N9°34'19"W	79.98'
26	195.37'	150.00'	74°37'39"	N51°18'49"E	181.85'
27	260.50'	200.00'	74°37'39"	N51°18'49"E	242.47'
28	39.26'	25.00'	89°58'58"	N43°38'10"E	35.35'
29	188.31'	2325.00'	4°38'26"	N86°18'26"E	188.26'
30	38.74'	25.00'	88°46'51"	N51°37'22"W	34.98'
31	38.74'	25.00'	88°46'51"	N37°09'29"E	34.98'
32	170.90'	400.00'	24°28'45"	N5°00'26"E	169.60'
33	192.26'	450.00'	24°28'45"	N5°00'26"E	190.80'
34	87.96'	185.00'	27°14'25"	N30°52'01"E	87.13'
35	44.27'	235.00'	10°47'37"	N22°38'37"E	44.20'
36	225.99'	50.00'	258°57'37"	N84°59'35"W	77.18'
37	27.28'	25.00'	62°30'49"	N3°12'59"W	25.94'
38	181.47'	2325.00'	4°28'20"	N79°18'45"E	181.43'
39	135.47'	500.00'	15°31'25"	N84°50'18"E	135.06'
40	22.46'	25.00'	51°28'43"	N61°39'38"W	21.71'
41	241.06'	50.00'	276°14'00"	N5°57'43"E	66.76'
42	19.78'	25.00'	45°20'24"	N70°30'55"E	19.27'
43	154.63'	550.00'	16°06'32"	N85°07'51"E	154.13'
44	382.78'	2275.00'	9°38'25"	N81°53'47"E	382.33'
45	40.11'	25.00'	91°55'41"	N47°19'09"W	35.95'
63	39.27'	25.00'	90°00'00"	N46°01'05"W	35.36'
64	39.27'	25.00'	90°00'00"	N43°58'55"E	35.36'
65	47.12'	30.00'	90°00'00"	N43°58'55"E	42.43'
66	47.12'	30.00'	90°00'00"	N46°01'05"W	42.43'





Location Map
Scale: 1"= 2000'
NORTH

SUBDIVISION CONTAINS:

ONE HUNDRED THIRTY THREE (133) LOTS
IN TEN (10) BLOCKS
WITH FOUR (4) RESERVES AREAS

GROSS SUBDIVISION AREA: 73.006 ACRES

LEGEND

B/L	BUILDING LINE
B/U	BUILDING LINE & UTILITY EASEMENT
BK PG	BOOK & PAGE
CB	CHORD BEARING
CD	CHORD DISTANCE
CL	CENTERLINE
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1234	ADDRESS ASSIGNED
o	FOUND MONUMENT
●	SET MONUMENT (SEE NOTE 2)

DATE OF PREPARATION: July 7, 2026

Conditional Final Plat

BXPUD-22.05

THE PRESERVE

Blocks 6-15

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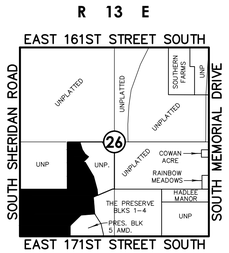

Location Map
Scale: 1"= 2000'
NORTH

OWNER:
PPM 171 Development, LLC
CONTACT: BRIAN HUMPHREY, MANAGER
EMAIL: BRRBUYERS@GMAIL.COM
3015 East Skelly Drive, Suite 2065-H
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DAN E. TANNER, P.L.S. NO. 1435
OK CA NO. 2661, EXPIRES 6/30/2027
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5323 South Lewis Avenue
Tulsa, Oklahoma 74105
Phone: (918) 745-9929

NORTH
0 50 100 150
Scale: 1"= 100'
Tanner Consulting

Boundary Curve Table

CURVE	LENGTH(L)	RADIUS(R)	DELTA(Δ)	CHORDBRG(CB)	CHORDDIS(CD)	ITB
A	187.76'	700.00'	15°22'05"	S44°18'58"W	187.19'	S 36°37'55" W
B	19.96'	750.00'	1°31'28"	N51°14'16"E	19.96'	N 52°00'00" E

Curve Table

CURVE	LENGTH(L)	RADIUS(R)	DELTA(Δ)	CHORDBRG(CB)	CHORDDIS(CD)
46	99.63'	250.00'	22°49'58"	N10°03'40"E	98.97'
47	119.67'	300.00'	22°51'19"	N10°04'21"E	118.88'
48	38.09'	25.00'	87°17'23"	N65°01'16"E	34.51'
49	115.30'	300.00'	22°01'17"	N82°20'40"W	114.59'
50	132.30'	500.00'	15°09'36"	N79°03'53"E	131.91'
51	29.07'	25.00'	66°37'12"	N75°12'19"W	27.46'
52	222.12'	50.00'	254°32'02"	N10°50'16"E	79.58'
53	181.22'	450.00'	23°04'26"	N75°06'28"E	180.00'
54	90.58'	250.00'	20°45'36"	N82°58'31"W	90.09'
55	41.06'	25.00'	94°05'43"	N25°32'51"W	36.60'
56	133.08'	250.00'	30°30'00"	N36°45'00"E	131.52'
57	159.70'	300.00'	30°30'00"	N36°45'00"E	157.82'
58	39.27'	25.00'	90°00'00"	N7°00'00"E	35.36'
59	39.27'	25.00'	90°00'00"	N83°00'00"W	35.36'
60	21.03'	25.00'	48°11'23"	N62°05'41"W	20.41'
61	241.19'	50.00'	276°22'46"	N52°00'00"E	66.67'
62	21.03'	25.00'	48°11'23"	N13°54'19"W	20.41'

NORTH PART

LEGEND

B/L	BUILDING LINE
B/U	BUILDING LINE & UTILITY EASEMENT
BK PG	BOOK & PAGE
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SUBDIVISION CONTAINS:

ONE HUNDRED THIRTY THREE (133) LOTS
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GROSS SUBDIVISION AREA: 73.006 ACRES

DATE OF PREPARATION: July 7, 2026

Conditional Final Plat

BXPUD-22.05

THE PRESERVE

Blocks 6-15

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AND A PART OF THE EAST HALF OF THE SOUTHWEST QUARTER (E/2 SW/4),
ALL IN SECTION TWENTY-SIX (26), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN MERIDIAN,
A SUBDIVISION WITHIN THE CITY IF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

DEED OF DEDICATION & RESTRICTIVE COVENANTS

KNOW ALL PERSONS BY THESE PRESENTS:

THAT PPM 171 DEVELOPMENT, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, HEREINAFTER REFERRED TO AS THE "OWNER/DEVELOPER", IS THE OWNER OF THE FOLLOWING DESCRIBED LAND IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA:

A TRACT OF LAND THAT IS A PART OF THE SOUTHWEST QUARTER (SW/4) OF SECTION TWENTY-SIX (26), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SW/4; THENCE NORTH 1°01'05" WEST AND ALONG THE WEST LINE OF SAID SW/4, FOR A DISTANCE OF 1,317.48 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4); THENCE NORTH 88°37'39" EAST AND ALONG THE NORTH LINE OF SAID SW/4 SW/4, FOR A DISTANCE OF 1,327.37 FEET TO THE NORTHEAST CORNER OF THE SW/4 SW/4, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE/4 SW/4); THENCE NORTH 1°21'19" WEST AND ALONG THE WEST LINE OF SAID NE/4 SW/4, FOR A DISTANCE OF 1,317.86 FEET TO THE NORTHWEST CORNER OF THE NE/4 SW/4; THENCE NORTH 88°36'36" EAST AND ALONG THE NORTH LINE OF THE NE/4 SW/4, FOR A DISTANCE OF 348.06 FEET; THENCE SOUTH 19°02'29" EAST FOR A DISTANCE OF 228.74 FEET; THENCE SOUTH 34°04'00" EAST FOR A DISTANCE OF 151.08 FEET; THENCE SOUTH 53°22'05" EAST FOR A DISTANCE OF 111.59 FEET; THENCE ALONG A 700.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT, HAVING AN INITIAL TANGENT BEARING OF SOUTH 36°37'55" WEST, A CENTRAL ANGLE OF 15°22'05", WITH A CHORD BEARING AND DISTANCE OF SOUTH 44°18'58" WEST FOR 187.19 FEET, FOR AN ARC DISTANCE OF 187.76 FEET; THENCE SOUTH 38°00'02" EAST FOR A DISTANCE OF 50.00 FEET; THENCE ALONG A 750.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, HAVING AN INITIAL TANGENT BEARING OF NORTH 52°00'00" EAST, A CENTRAL ANGLE OF 1°31'28", WITH A CHORD BEARING AND DISTANCE OF NORTH 51°14'16" EAST FOR 19.96 FEET, FOR AN ARC DISTANCE OF 19.96 FEET; THENCE SOUTH 32°00'00" EAST FOR A DISTANCE OF 457.04 FEET; THENCE SOUTH 16°36'32" EAST FOR A DISTANCE OF 379.70 FEET; THENCE SOUTH 6°00'00" EAST FOR A DISTANCE OF 163.08 FEET TO A POINT ON THE NORTHERLY LINE OF "THE PRESERVE BLOCKS 1-4", A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF (PLAT NO. 7196); THENCE SOUTH 65°41'00" WEST AND ALONG SAID NORTHERLY LINE, FOR A DISTANCE OF 126.40 FEET TO THE NORTHWEST CORNER OF SAID "THE PRESERVE BLOCKS 1-4"; THENCE SOUTH 6°00'00" EAST AND ALONG THE WESTERLY LINE OF "THE PRESERVE BLOCKS 1-4", FOR A DISTANCE OF 473.27 FEET TO A POINT ON THE NORTHERLY LINE OF "THE PRESERVE BLOCK 5 AMENDED", A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF (PLAT NO. 7211); THENCE SOUTH 84°00'00" WEST AND ALONG SAID NORTHERLY LINE, FOR A DISTANCE OF 385.42 FEET; THENCE SOUTH 44°40'52" WEST AND CONTINUING ALONG THE NORTHERLY LINE OF "THE PRESERVE BLOCK 5 AMENDED", FOR A DISTANCE OF 421.05 FEET TO THE WESTERNMOST NORTHWEST CORNER OF "THE PRESERVE BLOCK 5 AMENDED"; THENCE SOUTH 1°21'14" EAST AND ALONG THE WEST LINE OF "THE PRESERVE BLOCK 5 AMENDED", FOR A DISTANCE OF 296.79 FEET TO A POINT ON THE SOUTH LINE OF THE SW/4; THENCE SOUTH 88°38'41" WEST AND ALONG SAID SOUTH LINE, FOR A DISTANCE OF 1,414.83 FEET TO THE POINT OF BEGINNING;

SAID TRACT CONTAINING 3,180,132 SQUARE FEET OR 73.006 ACRES.

THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83); SAID BEARINGS ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING MONUMENTS:

(1) ALUMINUM ODOT CAP FOUND AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER (SW/4) OF SECTION 26;
(2) BRASS CAP FOUND AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER (SW/4) OF SECTION 26;

THE BEARING BETWEEN SAID MONUMENTS BEING SOUTH 88°38'41" WEST.

PPM 171 DEVELOPMENT, LLC HAS CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED, STAKED, PLATTED, GRANTED, DONATED, CONVEYED, DEDICATED, ACCESS RIGHTS RESERVED, AND SUBDIVIDED INTO LOTS, BLOCKS, RESERVE AREAS, AND STREETS, AND HAS DESIGNATED THE SAME AS "THE PRESERVE BLOCKS 6-15", A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA (THE "SUBDIVISION").

SECTION I - PUBLIC STREETS, EASEMENTS, AND UTILITIES

A. STREETS AND GENERAL UTILITY EASEMENTS

THE OWNER/DEVELOPER HEREBY GRANTS, DONATES, CONVEYS, AND DEDICATES TO THE PUBLIC THE STREETS AS DEPICTED ON THE ACCOMPANYING PLAT AND FURTHER DEDICATES TO THE PUBLIC THE UTILITY EASEMENTS AS DEPICTED ON THE ACCOMPANYING PLAT AS "UTILITY EASEMENT" OR "U/E" FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, SANITARY SEWERS, COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, AND WATERLINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO, OVER, AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES AFORESAID, TOGETHER WITH SIMILAR EASEMENT RIGHTS WITHIN THE PUBLIC STREETS, PROVIDED HOWEVER, OWNER/DEVELOPER HEREBY RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY, REPAIR, REPLACE, AND REMOVE WATERLINES AND SEWER LINES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING, REPAIRING, REPLACING, AND REMOVING OVER, ACROSS, AND ALONG ALL OF THE UTILITY EASEMENTS DEPICTED ON THE PLAT, FOR THE PURPOSE OF FURNISHING WATER AND SEWER SERVICES TO THE AREA INCLUDED IN THE PLAT. OWNER/DEVELOPER HEREBY IMPOSES A RESTRICTIVE COVENANT, WHICH COVENANT SHALL BE BINDING ON EACH LOT OWNER AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, AND BY THE SUPPLIER OF ANY AFFECTED UTILITY SERVICE THAT, WITHIN THE STREETS AND UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, NO BUILDING, STRUCTURE, OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION THAT INTERFERES WITH THE ABOVE SET FORTH USES AND PURPOSES OF A STREET OR UTILITY EASEMENT SHALL BE PLACED, ERECTED, INSTALLED, OR MAINTAINED, PROVIDED HOWEVER, NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT PROPERLY-PERMITTED DRIVES, PARKING AREAS, CURBING, LANDSCAPING, AND CUSTOMARY SCREENING FENCES AND WALLS.

B. UNDERGROUND SERVICE

1. OVERHEAD POLES FOR THE SUPPLY OF ELECTRIC AND COMMUNICATION SERVICE MAY BE LOCATED IN THE RIGHTS-OF-WAY OF SOUTH SHERIDAN ROAD AND EAST 171ST STREET SOUTH AS GRANTED, DONATED, CONVEYED, AND DEDICATED BY THIS PLAT AND WITHIN THE PERIMETER UTILITY EASEMENTS OF THE SUBDIVISION. STREET LIGHT POLES OR STANDARDS SHALL BE SERVED BY UNDERGROUND CABLE AND, EXCEPT AS PROVIDED IN THE IMMEDIATELY-PRECEDING SENTENCE, ALL ELECTRIC, COMMUNICATION, AND GAS LINES SHALL BE LOCATED UNDERGROUND IN THE EASEMENT-WAYS RESERVED FOR GENERAL UTILITY SERVICES AND IN THE RIGHTS-OF-WAY OF THE PUBLIC STREETS AS DEPICTED ON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN THE UTILITY EASEMENTS.

2. UNDERGROUND SERVICE CABLES AND GAS SERVICE LINES TO ALL STRUCTURES LOCATED WITHIN THE SUBDIVISION MAY BE RUN FROM THE NEAREST SERVICE PEDESTAL, TRANSFORMER, OR GAS MAIN TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURES MAY BE LOCATED UPON THE LOT OR RESERVE AREA, PROVIDED THAT, UPON THE INSTALLATION OF A SERVICE CABLE OR SERVICE LINE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, EFFECTIVE, AND EXCLUSIVE RIGHT-OF-WAY EASEMENT ON THE LOT OR RESERVE AREA, COVERING A 5 FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE OR LINE, EXTENDING FROM THE SERVICE PEDESTAL, TRANSFORMER, OR GAS MAIN TO THE SERVICE ENTRANCE ON THE STRUCTURE.

3. THE SUPPLIERS OF ELECTRIC, COMMUNICATION, AND GAS SERVICES, THROUGH THEIR AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS WITH THEIR EQUIPMENT TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING, OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, COMMUNICATION, OR GAS FACILITIES INSTALLED BY THE SUPPLIER OF THE UTILITY SERVICE.

4. THE OWNER OF EACH LOT OR RESERVE AREA SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UTILITY SERVICE FACILITIES LOCATED ON SUCH OWNER'S LOT OR RESERVE AREA AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE ELECTRIC, COMMUNICATION, OR GAS FACILITIES. THE LOT OR RESERVE AREA OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE LOT OR RESERVE AREA OWNER OR SUCH OWNER'S AGENTS OR CONTRACTORS.

5. THE COVENANTS SET FORTH IN THIS SUBSECTION B. SHALL BE ENFORCEABLE BY THE SUPPLIERS OF ELECTRIC, COMMUNICATION, AND GAS SERVICE AND EACH LOT AND RESERVE AREA OWNER AGREES TO BE BOUND HEREBY.

C. WATER, SANITARY SEWER, AND STORM SEWER SERVICE

1. THE OWNER OF EACH LOT AND RESERVE AREA SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS, PUBLIC SANITARY SEWER FACILITIES, AND PUBLIC STORM SEWER FACILITIES LOCATED ON THEIR LOT OR RESERVE AREA AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH SAID MAINS, OR FACILITIES. WITHIN THE UTILITY EASEMENT AREAS DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF GRADE FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER MAIN, PUBLIC SANITARY SEWER FACILITY, OR PUBLIC STORM SEWER FACILITY, OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH SUCH MAINS OR FACILITIES, SHALL BE PROHIBITED. WITHIN THE UTILITY EASEMENTS, IF THE GROUND ELEVATIONS ARE ALTERED BY THE LOT OR RESERVE AREA OWNER FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATERMAIN, PUBLIC SANITARY SEWER FACILITY, OR PUBLIC STORM SEWER FACILITY, ALL GROUND LEVEL APPURTENANCES, INCLUDING VALVE BOXES, FIRE HYDRANTS, STORM SEWER INLETS, AND MANHOLES SHALL BE ADJUSTED TO THE ALTERED GROUND ELEVATIONS BY THE OWNER OF THE LOT OR RESERVE AREA OR, AT ITS ELECTION, THE CITY OF BIXBY, OKLAHOMA, MAY MAKE SUCH ADJUSTMENT AT SUCH OWNER'S EXPENSE.

2. THE CITY OF BIXBY, OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER MAINS, PUBLIC SANITARY SEWER FACILITIES, AND PUBLIC STORM SEWER FACILITIES, BUT THE OWNER OF EACH LOT OR RESERVE AREA SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE LOT OR RESERVE AREA OWNER OR SUCH OWNER'S AGENTS OR CONTRACTORS.

3. THE CITY OF BIXBY, OR ITS SUCCESSORS, THROUGH ITS PROPER AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS WITH ITS EQUIPMENT TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING, OR REPLACING ANY PORTION OF THE UNDERGROUND WATER, SANITARY SEWER, OR STORM SEWER FACILITIES.

4. ALL WATER, SANITARY SEWER, AND STORM SEWER FACILITIES SHALL BE MAINTAINED IN GOOD REPAIR BY THE UTILITY CONTRACTOR FOR THE TERM OF AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE MAINTENANCE BOND OF WHICH THE CITY OF BIXBY IS THE BENEFICIARY. IF ANY REPAIR ISSUES ARISE DURING SAID TERM, THE OWNER/DEVELOPER SHALL ASSIST THE CITY OF BIXBY IN COORDINATION AND FACILITATION WITH THE APPROPRIATE CONTRACTOR.

5. THE COVENANTS SET FORTH IN THIS SUBSECTION C. CONCERNING WATER, SANITARY SEWER, AND STORM SEWER FACILITIES SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OR ITS SUCCESSORS, AND EACH LOT AND RESERVE AREA OWNER AGREES TO BE BOUND HEREBY.

D. SURFACE DRAINAGE

EXCEPT FOR STORMWATER DETENTION FACILITIES CONSTRUCTED WITHIN STORMWATER DRAINAGE AND DETENTION EASEMENTS, EACH LOT AND RESERVE AREA OWNER WITHIN THE SUBDIVISION SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE STORM AND SURFACE WATERS FROM LOTS, RESERVE AREAS, AND DRAINAGE AREAS OF HIGHER ELEVATION AND FROM ADJACENT STREETS AND EASEMENTS, AND NO LOT OR RESERVE AREA OWNER SHALL CONSTRUCT OR PERMIT TO BE CONSTRUCTED ANY FENCING OR OTHER OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF STORM AND SURFACE WATERS OVER AND ACROSS SAID OWNER'S LOT OR RESERVE AREA. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY ANY AFFECTED LOT OR RESERVE AREA OWNER, THE PROPERTY OWNERS' ASSOCIATION DEFINED HEREINAFTER IN SECTION IV, AND THE CITY OF BIXBY, OKLAHOMA.

E. PAVING AND LANDSCAPING WITHIN EASEMENTS

THE OWNER OF THE LOT AFFECTED SHALL BE RESPONSIBLE FOR THE REPAIR OF DAMAGE TO PROPERLY-PERMITTED LANDSCAPING AND PAVING OCCASIONED BY NECESSARY MAINTENANCE OF UNDERGROUND WATER, SEWER, STORM SEWER, NATURAL GAS, COMMUNICATION, OR ELECTRIC FACILITIES WITHIN THE UTILITY EASEMENT AREAS DEPICTED UPON THE ACCOMPANYING PLAT, PROVIDED HOWEVER, THE CITY OF BIXBY, OKLAHOMA, OR THE SUPPLIER OF THE UTILITY SERVICE, SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

F. LIMITS OF NO ACCESS

THE OWNER/DEVELOPER HEREBY RELINQUISHES RIGHTS OF VEHICULAR INGRESS OR EGRESS FROM ANY PORTION OF THE PROPERTY ADJACENT TO EAST 171ST STREET SOUTH AND ANY OTHER STREET WITHIN THE BOUNDS DESIGNATED AS “LIMITS OF NO ACCESS” OR "LNA" ON THE ACCOMPANYING PLAT, WHICH “LIMITS OF NO ACCESS” MAY BE AMENDED OR RELEASED BY THE CITY OF BIXBY PLANNING COMMISSION, AND WITH THE APPROVAL OF THE CITY OF BIXBY, OKLAHOMA, OR THEIR RESPECTIVE SUCCESSORS, OR AS OTHERWISE PROVIDED BY THE STATUTES AND LAWS OF THE STATE OF OKLAHOMA PERTAINING THERETO, AND THE LIMITS OF NO ACCESS ABOVE ESTABLISHED SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OR ITS SUCCESSORS.

G. STORMWATER DRAINAGE AND DETENTION EASEMENT

1. THE OWNER/DEVELOPER HEREBY DEDICATES TO THE PUBLIC PERPETUAL EASEMENTS ON, OVER, AND ACROSS LOTS AND RESERVE AREAS AS DESIGNATED AND SHOWN ON THE ACCOMPANYING PLAT AS "STORMWATER DRAINAGE & DETENTION EASEMENT" FOR THE PURPOSES OF PERMITTING THE OVERLAND AND UNDERGROUND FLOW, CONVEYANCE, DETENTION, RETENTION, AND DISCHARGE OF STORMWATER RUNOFF FROM THE VARIOUS LOTS AND AREAS WITHIN THE SUBDIVISION AND FROM PROPERTIES NOT INCLUDED WITHIN THE SUBDIVISION.

2. STORMWATER DETENTION, RETENTION, AND OTHER DRAINAGE FACILITIES LOCATED WITHIN THE STORMWATER DRAINAGE AND DETENTION EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS APPROVED BY THE CITY OF BIXBY, OKLAHOMA.

3. EXCEPT FOR PERMITTED STORMWATER DETENTION, RETENTION, AND OTHER DRAINAGE FACILITIES, NO FENCE, WALL, BUILDING, OR OTHER OBSTRUCTION SHALL BE PLACED OR MAINTAINED IN THE STORMWATER DRAINAGE AND DETENTION EASEMENTS, NOR SHALL THERE BE ANY ALTERATION OF GRADE IN SAID EASEMENT AREAS UNLESS APPROVED BY THE CITY OF BIXBY, OKLAHOMA.

4. STORMWATER DETENTION, RETENTION, AND OTHER DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE OWNER OF THE LOT OR RESERVE AREA AS SUBJECT TO THE STORMWATER DRAINAGE AND DETENTION EASEMENT TO THE EXTENT NECESSARY TO ACHIEVE THE INTENDED STORMWATER DRAINAGE, RETENTION, AND DETENTION FUNCTIONS, INCLUDING REPAIR OF APPURTENANCES AND REMOVAL OF OBSTRUCTIONS AND SILTATION, AND THE ASSOCIATION SHALL MAINTAIN SAID FACILITIES IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:

A) GRASS AREAS SHALL BE MOWED (IN SEASON) AT REGULAR INTERVALS OF FOUR (4) WEEKS, OR LESS.
B) CONCRETE APPURTENANCES SHALL BE MAINTAINED IN GOOD CONDITION AND REPLACED IF DAMAGED.
C) THE STORMWATER DETENTION EASEMENTS SHALL BE KEPT FREE OF DEBRIS.
D) CLEANING OF SILTATION AND VEGETATION FROM CONCRETE CHANNELS SHALL BE PERFORMED TWICE YEARLY.

5. LANDSCAPING, APPROVED BY THE CITY OF BIXBY, OKLAHOMA, SHALL BE ALLOWED WITHIN THE STORMWATER DRAINAGE AND DETENTION EASEMENT.

6. IN THE EVENT THE OWNER OF LOT OR RESERVE AREA AS SUBJECT TO THE STORMWATER DRAINAGE AND DETENTION EASEMENT SHOULD FAIL TO PROPERLY MAINTAIN THE STORMWATER DETENTION, RETENTION, AND OTHER DRAINAGE FACILITIES OR, IN THE EVENT OF THE PLACEMENT OF AN OBSTRUCTION, THE ALTERATION OF GRADE, OR THE ACCUMULATION OF SILTATION WITHIN THE STORMWATER DRAINAGE AND DETENTION EASEMENT, THE CITY OF BIXBY, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR, MAY ENTER THE EASEMENT AREA AND PERFORM MAINTENANCE NECESSARY TO ACHIEVE THE INTENDED DRAINAGE FUNCTIONS AND MAY REMOVE ANY OBSTRUCTION, INCLUDING SILTATION, OR CORRECT ANY ALTERATION OF GRADE, AND THE COSTS THEREOF SHALL BE PAID BY THE LOT OR RESERVE AREA OWNER, AS SUBJECT TO THE EASEMENT. IN THE EVENT SUCH OWNER SHOULD FAIL TO PAY THE COSTS OF MAINTENANCE, AFTER COMPLETION OF THE MAINTENANCE AND RECEIPT OF A STATEMENT OF COSTS, THE CITY OF BIXBY, OKLAHOMA, MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS WITH THE TULSA COUNTY CLERK, AND THEREAFTER THE COSTS SHALL BE A LIEN AGAINST THE LOT OR RESERVE AREA, OR AS, DETERMINED BY THE CITY OF BIXBY, OKLAHOMA, AGAINST EACH LOT WITHIN THE JURISDICTION OF THE PROPERTY OWNERS' ASSOCIATION (AS DEFINED BELOW). A LIEN ESTABLISHED AS ABOVE PROVIDED MAY BE FORECLOSED BY THE CITY OF BIXBY, OKLAHOMA.

H. FENCE EASEMENTS

THE OWNER/DEVELOPER DOES HEREBY ESTABLISH FOR THE BENEFIT OF THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION, AND RESERVES FOR FUTURE GRANT AND CONVEYANCE TO THE PROPERTY OWNERS' ASSOCIATION (AS DEFINED BELOW), PERPETUAL, NON-EXCLUSIVE FENCE EASEMENTS OVER AND UPON THE AREAS DESIGNATED AS "FENCE EASEMENT” OR “F/E" AND SHOWN ON THE ACCOMPANYING PLAT. THE FENCE EASEMENTS ARE FOR THE LIMITED PURPOSES OF CONSTRUCTING AND MAINTAINING PERIMETER DECORATIVE FENCES AND ENTRY FEATURES INCLUDING BUT NOT LIMITED TO SIGNAGE, FENCES, WALLS, IRRIGATION SYSTEMS, LANDSCAPING, AND LIGHTING, AND FOR THE MAINTENANCE AND REPAIR OF THEREOF, TOGETHER WITH THE RIGHT OF ACCESS, INGRESS, AND EGRESS OVER, ACROSS, AND ALONG SUCH EASEMENTS AND OVER, ACROSS, AND ALONG ALL AREAS WHICH CONTAIN SUCH EASEMENTS FOR THE PURPOSES FOR WHICH THE ABOVE-MENTIONED RIGHTS ARE GRANTED. WITHIN THE FENCE EASEMENT AREAS, THE PROPERTY OWNERS' ASSOCIATION (AS DEFINED BELOW) SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR OF ALL FENCES AND WALLS AND ALL LANDSCAPING WITHIN THE PUBLIC STREET AREAS LOCATED OUTSIDE OF SUCH FENCES AND WALLS. THE RIGHTS HEREIN ESTABLISHED AND GRANTED SHALL BE SUBORDINATE TO THE RIGHTS ESTABLISHED AND GRANTED BY UTILITY EASEMENTS ELSEWHERE DEDICATED HEREIN.

I. RETAINING WALL EASEMENTS

THE OWNER/DEVELOPER DOES HEREBY ESTABLISH FOR THE BENEFIT OF THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION, AND RESERVES FOR FUTURE GRANT AND CONVEYANCE TO THE PROPERTY OWNERS' ASSOCIATION (AS DEFINED BELOW), A PERPETUAL, NON-EXCLUSIVE RETAINING WALL EASEMENTS OVER AND UPON THE AREAS DESIGNATED AS "RETAINING WALL EASEMENT" OR "RW/E" ON THE ACCOMPANYING PLAT FOR THE USE AND BENEFIT OF THE CITY OF BROKEN ARROW, OKLAHOMA, THE OWNERS OF LOTS WITHIN THE SUBDIVISION, AND SAID ASSOCIATION. THE RETAINING WALL EASEMENTS ARE FOR THE LIMITED PURPOSES OF CONSTRUCTING AND MAINTAINING RETAINING WALLS, SOMETIMES TOGETHER WITH PRIVACY WALLS OR FENCES, AND THE MAINTENANCE AND REPAIR THEREOF, TOGETHER WITH THE RIGHT OF ACCESS, INGRESS, AND EGRESS OVER, ACROSS, AND ALONG SUCH EASEMENTS AND OVER, ACROSS, ALL AREAS WHICH CONTAIN SUCH EASEMENTS FOR THE PURPOSES FOR WHICH THE ABOVE-MENTIONED RIGHTS ARE GRANTED. WITHIN THE RETAINING WALL EASEMENT AREAS, THE PROPERTY OWNERS' ASSOCIATION (AS DEFINED BELOW) SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR OF ALL WALLS AND FENCES. ANY PRIVACY FENCES OR WALLS WITHIN THE EASEMENT, ADJACENT TO OR INTEGRATED WITH A RETAINING WALL, SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF BIXBY, OKLAHOMA. THE RIGHTS HEREIN ESTABLISHED AND GRANTED SHALL BE SUBORDINATE TO THE RIGHTS ESTABLISHED AND GRANTED BY UTILITY EASEMENTS ELSEWHERE DEDICATED HEREIN.

SECTION II - RESERVE AREAS

A. PURPOSE

FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF LOTS WITHIN THE SUBDIVISION, ALL RESERVE AREAS ARE HEREBY ESTABLISHED FOR VARIOUS PURPOSES INCLUDING, BUT NOT NECESSARILY LIMITED TO: STORMWATER DRAINAGE AND DETENTION, OPEN SPACE, PARK AND OTHER NEIGHBORHOOD AMENITIES AND RELATED PARKING, ENTRY FEATURES, SIGNAGE, NEIGHBORHOOD PERIMETER FENCING, WALLS, AND RETAINING WALLS, LANDSCAPING, IRRIGATION, LIGHTING, OTHER USES AS MAY BE PERMITTED BY THE CITY OF BIXBY, OKLAHOMA, AND WHERE SPECIFICALLY DESIGNATED, FOR UTILITY EASEMENTS, AND ARE RESERVED FOR SUBSEQUENT CONVEYANCE TO THE PROPERTY OWNERS' ASSOCIATION, AS SET FORTH WITHIN SECTION IV HEREOF.

B. RESERVES B, G, AND H

RESERVES B, G, AND H ARE HEREBY ESTABLISHED BY GRANT OF THE OWNER/DEVELOPER FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION, THEIR GUESTS AND INVITEES, FOR THE PURPOSE OF PROVIDING FOR PRIVATE STORMWATER DRAINAGE AND DETENTION AND PRIVATE RECREATIONAL USES SUCH AS OPEN SPACE, PRIVATE PARK, UTILITIES, SIGNAGE, FENCES AND WALLS, INCLUDING BUT NOT LIMITED TO RETAINING WALLS, LANDSCAPING, IRRIGATION, LIGHTING, AND OTHER RECREATIONAL USES AND FACILITIES AS MAY BE PERMITTED BY THE CITY OF BIXBY, OKLAHOMA. RESERVES B, G, AND H, WHETHER OR NOT SO DESIGNATED ON THE ACCOMPANYING PLAT, ARE HEREBY DEDICATED AS BOTH A STORMWATER DRAINAGE AND DETENTION EASEMENTS AND UTILITY EASEMENTS, PROVIDED THAT THE DEVELOPER RESERVES THE RIGHT TO CONSTRUCT AND MAINTAIN PROPERLY-PERMITTED PRIVATE RECREATIONAL USES AND FACILITIES AS OUTLINED HEREINABOVE.

C. RESERVE F

RESERVE F IS HEREBY ESTABLISHED BY GRANT OF THE OWNER/DEVELOPER FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION, THEIR GUESTS AND INVITEES, FOR THE PURPOSE OF PROVIDING FOR PRIVATE RECREATIONAL USES SUCH AS OPEN SPACE, PRIVATE PARK, UTILITIES, SIGNAGE, FENCES AND WALLS, LANDSCAPING, IRRIGATION, LIGHTING, AND OTHER RECREATIONAL USES AND FACILITIES AS MAY BE PERMITTED BY THE CITY OF BIXBY, OKLAHOMA. RESERVE F, WHETHER OR NOT SO DESIGNATED ON THE ACCOMPANYING PLAT, IS HEREBY DEDICATED AS A UTILITY EASEMENT, PROVIDED THAT THE DEVELOPER RESERVES THE RIGHT TO CONSTRUCT AND MAINTAIN PROPERLY-PERMITTED PRIVATE RECREATIONAL USES AND FACILITIES AS OUTLINED HEREINABOVE.

D. ALL RESERVE AREAS

1. ALL COSTS AND EXPENSES ASSOCIATED WITH ALL RESERVE AREAS, INCLUDING MAINTENANCE OF IMPROVEMENTS AND RECREATIONAL FACILITIES THEREIN, SHALL BE THE RESPONSIBILITY OF THE OWNERS THEREOF, WHICH SHALL BE THE PROPERTY OWNERS' ASSOCIATION UPON CONVEYANCE OF THE RESERVE AREAS TO THE ASSOCIATION.

2. IN THE EVENT THE RESERVE AREA OWNER SHOULD FAIL TO PROPERLY MAINTAIN THE RESERVE AREA, THE CITY OF BIXBY, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR, MAY ENTER AND PERFORM NECESSARY MAINTENANCE AND THE COSTS THEREOF SHALL BE PAID BY THE OWNER OF THE RESERVE AREA. IN THE EVENT THE OWNER OF THE RESERVE AREA SHOULD FAIL TO PAY THE COSTS OF SAID MAINTENANCE AFTER COMPLETION OF THE MAINTENANCE BY AND RECEIPT OF A STATEMENT OF COSTS FROM THE CITY OF BIXBY, OKLAHOMA, THE CITY MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS, AND THEREAFTER THE COSTS SHALL BE A LIEN AS SPECIFICALLY PROVIDED HEREIN FOR THE RESERVE AREA, WHICH LIEN MAY BE FORECLOSED BY THE CITY OF BIXBY, OKLAHOMA.

3. EACH LOT AND RESERVE AREA OWNER OR RESIDENT AND MEMBER OF THE PROPERTY OWNERS' ASSOCIATION AGREES TO HOLD HARMLESS THE OWNER/DEVELOPER AND THE CITY OF BIXBY, AND THEIR RESPECTIVE AGENTS AND REPRESENTATIVES, FROM ALL CLAIMS, DEMANDS, LIABILITIES, OR DAMAGES ARISING IN CONNECTION WITH THE OWNERSHIP OR USE OF THE FACILITIES AND IMPROVEMENTS CONSTRUCTED OR SITUATED IN THE RESERVE AREAS AND FURTHER AGREES THAT NEITHER THE CITY OF BIXBY NOR THE OWNER/DEVELOPER SHALL BE LIABLE TO THE LOT OR RESERVE AREA OWNER OR RESIDENT OR MEMBER OF THE PROPERTY OWNERS' ASSOCIATION OR ANY GUEST, VISITOR, OR INVITEE THEREOF FOR ANY DAMAGE TO PERSON OR PROPERTY CAUSED BY ACTION, OMISSION, OR NEGLIGENCE OF ANY LOT OR RESERVE AREA OWNER OR RESIDENT OR MEMBER OF THE ASSOCIATION OR ANY GUEST, VISITOR, OR INVITEE THEREOF.

DATE OF PREPARATION: July 7, 2026

BXPUD-22.05

THE PRESERVE

Blocks 6-15

A TRACT OF LAND THAT IS ALL OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4)
AND A PART OF THE EAST HALF OF THE SOUTHWEST QUARTER (E/2 SW/4),
ALL IN SECTION TWENTY-SIX (26), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN MERIDIAN,
A SUBDIVISION WITHIN THE CITY IF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

DEED OF DEDICATION & RESTRICTIVE COVENANTS (CONTINUED)

SECTION III - PLANNED UNIT DEVELOPMENT RESTRICTIONS

WHEREAS, THE PRESERVE BLOCKS 6-15 WAS SUBMITTED AS PART OR A PLANNED UNIT DEVELOPMENT (DESIGNATED AS PUD NO. BXPUD-22.05) AS PROVIDED WITHIN TITLE 11 OF THE BIXBY, OKLAHOMA, CITY CODE (BIXBY ZONING CODE), AND

WHEREAS PUD NO. BXPUD-22.05 WAS AFFIRMATIVELY RECOMMENDED BY THE CITY OF BIXBY PLANNING COMMISSION ON JULY 18, 2022, AND APPROVED BY THE BIXBY CITY COUNCIL ON AUGUST 08, 2022, THE IMPLEMENTING ORDINANCE NO. 2401 WITH EMERGENCY CLAUSE ATTACHED BEING ADOPTED BY THE COUNCIL AUGUST 08, 2022, AND

WHEREAS, THE PLANNED UNIT DEVELOPMENT PROVISIONS OF THE BIXBY ZONING CODE REQUIRE THE ESTABLISHMENT OF COVENANTS OF RECORD INURING TO AND ENFORCEABLE BY THE CITY OF BIXBY, SUFFICIENT TO INSURE THE IMPLEMENTATION AND CONTINUED COMPLIANCE WITH THE APPROVED PLANNED UNIT DEVELOPMENT AND ANY AMENDMENTS THERETO, AND

WHEREAS, THE OWNER/DEVELOPER DESIRES TO ESTABLISH RESTRICTIONS FOR THE PURPOSE OF PROVIDING FOR AN ORDERLY DEVELOPMENT AND TO INSURE ADEQUATE RESTRICTIONS FOR THE MUTUAL BENEFIT OF THE OWNER/DEVELOPER, ITS SUCCESSORS AND ASSIGNS, AND THE CITY OF BIXBY, OKLAHOMA.

THEREFORE, THE OWNER/DEVELOPER DOES HEREBY IMPOSE THE FOLLOWING RESTRICTIONS AND COVENANTS WHICH SHALL BE COVENANTS RUNNING WITH THE LAND AND SHALL BE BINDING UPON THE OWNER/DEVELOPER, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE ENFORCEABLE AS HEREINAFTER SET FORTH.

A. DEVELOPMENT STANDARDS FOR DEVELOPMENT AREA A (ALL OF "THE PRESERVE BLOCKS 6-15" EXCEPTING BLOCK 15)

GROSS LAND AREA:	6,534,000 SF	150 AC
NET LAND AREA:	6,534,000 SF	150 AC

PERMITTED USES: USE UNIT 6 DETACHED SINGLE-FAMILY DWELLINGS AND CUSTOMARY ACCESSORY USES; USE UNIT 5 COMMON AREA FACILITIES SUCH AS NEIGHBORHOOD PARK, PLAYGROUND, AND RECREATIONAL OPEN SPACE.

MAXIMUM NUMBER OF LOTS:	375 [133 IN THIS PLAT]
MINIMUM LOT WIDTH †:	55 FT : 90 FT ††
MINIMUM LOT SIZE:	5,500 SF : 12,000 SF ††
MINIMUM LAND AREA PER DWELLING UNIT:	8,400 SF *
MAXIMUM BUILDING HEIGHT:	2 STORIES AND 35 FT **

OFF-STREET PARKING AND YARD COVERAGE: MINIMUM TWO (2) ENCLOSED OFF-STREET PARKING SPACES REQUIRED PER DWELLING UNIT. OFF-STREET PARKING SHALL NOT EXCEED 75% OF THE REQUIRED FRONT YARD WIDTH OR AREA.

MINIMUM LIVABILITY SPACE:	2,500 SF : 4,000 SF *** ††
MINIMUM YARD SETBACKS	
FRONT YARD:	20 FT : 25 FT ††
REAR YARD:	15 FT
SIDE YARD (INTERIOR):	5 FT
SIDE YARD ABUTTING A STREET:	10 FT : 20 FT ††

OTHER BULK AND AREA REQUIREMENTS: AS REQUIRED WITHIN THE RS-3 DISTRICT

MINIMUM DWELLING SIZE:	1,500 SF : 2,500 SF††
FIRST FLOOR EXTERIOR MATERIALS:	75% (SEE SECTION III.D.3.)

* MINIMUM LAND AREA PER DWELLING UNIT IS SATISFIED BY THE PROPORTION OF MAXIMUM NUMBER OF LOTS TO GROSS LAND AREA AS PROVIDED IN ZONING CODE SECTION 11-7I-5.A.1. LOTS ARE THEREFORE NOT SUBJECT TO THIS REQUIREMENT ON AN INDIVIDUAL BASIS.

** ARCHITECTURAL FEATURES MAY EXTEND A MAX. OF FIVE (5) FEET ABOVE MAXIMUM PERMITTED BUILDING HEIGHT.

*** LIVABILITY SPACE MAY BE LOCATED ON A LOT OR CONTAINED WITHIN COMMON OPEN SPACE OF THE DEVELOPMENT, AS PER SECTION 11-7I-5.C OF THE BIXBY ZONING CODE.

† DEFINED AS THE AVERAGE HORIZONTAL DISTANCE BETWEEN THE SIDE LOT LINES, WHICH IS AS IT IS PRESENTLY DEFINED IN THE BIXBY ZONING CODE.

†† SEE SECTION III.C. RESIDENTIAL LOT RATIOS AND SUPPLEMENTAL DEVELOPMENT STANDARDS.

B. DEVELOPMENT STANDARDS FOR DEVELOPMENT AREA B (ALL OF BLOCK 15)

DEVELOPMENT AREA B SHALL BE DEVELOPED IN ACCORDANCE WITH THE USE AND DEVELOPMENT STANDARDS OF THE UNDERLYING ZONING.

GROSS LAND AREA:	435,600 SF	10 AC
NET LAND AREA:	435,600 SF	10 AC

C. RESIDENTIAL LOT RATIOS AND SUPPLEMENTAL DEVELOPMENT STANDARDS

THE FOLLOWING RATIOS AND RESIDENTIAL BULK AND AREA DEVELOPMENT STANDARDS SHALL APPLY WITHIN DEVELOPMENT AREA A:

RESERVE LOTS:

MINIMUM LOT TYPE RATIO:	5% OF PUD
MAXIMUM LOT TYPE RATIO:	N/A
MINIMUM LOT WIDTH:	90 FT
MINIMUM LOT SIZE:	12,000 SF
MINIMUM LIVABILITY OPEN SPACE PER DWELLING:	4,000 SF *
MINIMUM YARD SETBACKS: **	
FRONT YARD:	25 FT
REAR YARD:	20 FT
SIDE YARD NOT ABUTTING A STREET:	5 FT
SIDE YARD ABUTTING A STREET:	
WHERE REAR YARD BACKS TO SIDE YARD	20 FT
WHERE REAR YARD BACKS TO REAR YARD	15 FT
GARAGE FACING SIDE STREET:	20 FT
MINIMUM DWELLING SIZE:	2,500 SF

* LIVABILITY SPACE MAY BE LOCATED ON A LOT OR CONTAINED WITHIN COMMON OPEN SPACE OF THE DEVELOPMENT, AS PER SECTION 11-7I-5.C OF THE BIXBY ZONING CODE.

** IN THE EVENT PRIVATE STREETS WITH REDUCED RIGHT-OF-WAY WIDTHS ARE PLATTED, SETBACKS FROM STREETS SHALL INCREASE 1 FOOT FOR EACH 2 FEET RIGHT-OF-WAY WIDTH IS REDUCED FROM 50 FEET.

ESTATE LOTS:

MINIMUM LOT TYPE RATIO:	15% OF PUD
MAXIMUM LOT TYPE RATIO:	N/A
MINIMUM LOT WIDTH:	70 FT
MINIMUM LOT SIZE:	9,500 SF
MINIMUM LIVABILITY OPEN SPACE PER DWELLING:	4,000 SF *
MINIMUM YARD SETBACKS: **	
FRONT YARD:	25 FT
REAR YARD:	20 FT
SIDE YARD NOT ABUTTING A STREET:	5 FT
SIDE YARD ABUTTING A STREET:	
WHERE REAR YARD BACKS TO SIDE YARD	20 FT
WHERE REAR YARD BACKS TO REAR YARD	15 FT
GARAGE FACING SIDE STREET:	20 FT
MINIMUM DWELLING SIZE:	2,200 SF

* LIVABILITY SPACE MAY BE LOCATED ON A LOT OR CONTAINED WITHIN COMMON OPEN SPACE OF THE DEVELOPMENT, AS PER SECTION 11-7I-5.C OF THE BIXBY ZONING CODE.

** IN THE EVENT PRIVATE STREETS WITH REDUCED RIGHT-OF-WAY WIDTHS ARE PLATTED, SETBACKS FROM STREETS SHALL INCREASE 1 FOOT FOR EACH 2 FEET RIGHT-OF-WAY WIDTH IS REDUCED FROM 50 FEET.

VILLAS LOTS:

MINIMUM LOT TYPE RATIO:	N/A
MAXIMUM LOT TYPE RATIO:	70% OF PUD
MINIMUM LOT WIDTH:	60 FT
MINIMUM LOT SIZE:	6,900 SF
MINIMUM LIVABILITY OPEN SPACE PER DWELLING:	4,000 SF *
MINIMUM YARD SETBACKS: **	
FRONT YARD:	20 FT
REAR YARD:	20 FT
SIDE YARD NOT ABUTTING A STREET:	5 FT
SIDE YARD ABUTTING A STREET:	
WHERE REAR YARD BACKS TO SIDE YARD:	15 FT
WHERE REAR YARD BACKS TO REAR YARD:	10 FT
GARAGE FACING SIDE STREET:	20 FT
MINIMUM DWELLING SIZE:	1,650 SF

* LIVABILITY SPACE MAY BE LOCATED ON A LOT OR CONTAINED WITHIN COMMON OPEN SPACE OF THE DEVELOPMENT, AS PER SECTION 11-7I-5.C OF THE BIXBY ZONING CODE.

** IN THE EVENT PRIVATE STREETS WITH REDUCED RIGHT-OF-WAY WIDTHS ARE PLATTED, SETBACKS FROM STREETS SHALL INCREASE 1 FOOT FOR EACH 2 FEET RIGHT-OF-WAY WIDTH IS REDUCED FROM 50 FEET.

GATED COTTAGE LOTS:

MINIMUM LOT TYPE RATIO:	N/A
MAXIMUM LOT TYPE RATIO:	15% OF PUD
MINIMUM LOT WIDTH:	55 FT
MINIMUM LOT SIZE:	5,500 SF
MINIMUM LIVABILITY OPEN SPACE PER DWELLING:	2,500 SF *
MINIMUM YARD SETBACKS:	
FRONT YARD:	20 FT
REAR YARD:	15 FT
SIDE YARD NOT ABUTTING A STREET:	5 FT
SIDE YARD ABUTTING A STREET:	
WHERE REAR YARD BACKS TO SIDE YARD:	15 FT (NO ATTACHED GARAGE SHALL FACE SIDE STREET)
WHERE REAR YARD BACKS TO REAR YARD:	10 FT (NO ATTACHED GARAGE SHALL FACE SIDE STREET)
MINIMUM DWELLING SIZE:	1,500 SF

* EACH LOT SHALL CONTAIN NOT LESS THAN 2,200 SF OF LIVABILITY OPEN SPACE. THE BALANCE REQUIRED OPEN SPACE SHALL BE ESTABLISHED BY PLAT WITHIN RESERVE AREAS WITH RESTRICTIVE COVENANTS PRESERVING THE AREAS AS PERPETUAL OPEN SPACE AND GUARANTEEING ACCESS TO ALL GATED COTTAGE LOTS .

NOTE: ALL GATED COTTAGE LOTS SHALL BE SERVED BY PRIVATE, GATED STREETS.

D. DEVELOPMENT STANDARDS FOR ALL DEVELOPMENT AREAS

1. ACCESS AND CIRCULATION

INTERNAL STREETS SERVING THE PRESERVE WILL BE MINOR RESIDENTIAL STREETS AND ARE PROPOSED TO BE PUBLIC, WITH THE EXCEPTION OF THE GATED COTTAGE LOTS, WHICH SHALL BE SERVED BY PRIVATE, GATED STREETS [AND PRIVATE STORM SEWERS]. AS PHASES DEVELOP, HOWEVER, ALL NEIGHBORHOODS WILL HAVE THE OPTION OF PRIVATE, GATED STREETS, PER THIS PUD. WHETHER PUBLIC OR PRIVATE, STREETS SHALL BE CONSTRUCTED TO MEET THE MINIMUM STANDARDS OF THE CITY OF BIXBY FOR MINOR PUBLIC STREETS; PROVIDED, HOWEVER, THE CITY OF BIXBY MAY APPROVE ALTERNATIVE STREET DESIGN STANDARDS THROUGH PLATTING INCLUDING, BUT NOT LIMITED TO, PRIVATE, GATED STREETS WITH REDUCED RIGHT-OF-WAY WIDTH AND NO SIDEWALKS, OR SIDEWALKS ON ONE SIDE OF THE STREET. ANY DIVIDED, BOULEVARD-STYLE STREETS SEPARATED BY PRIVATE LANDSCAPED ISLANDS MAY HAVE ONE-WAY LANES MEETING RIGHT-OF-WAY WIDTH REQUIREMENTS IN AGGREGATE AND SHALL OTHERWISE BE CONSTRUCTED TO MEET THE MINIMUM STANDARDS DETERMINED BY THE CITY OF BIXBY DURING THE PLATTING STAGE. ANY GATES SERVING PRIVATE STREETS OR DRIVES SHALL BE DESIGNED ACCORDING TO THE FIRE CODE ADOPTED BY THE CITY OF BIXBY AND BE APPROVED BY THE BIXBY FIRE MARSHAL DURING THE PLATTING STAGE.

EXCEPT AS OTHERWISE APPROVED AS OUTLINED ABOVE, SIDEWALKS, INCLUDING BOTH INTERNAL AND ALONG EXTERIOR STREET FRONTAGES, SHALL BE CONSTRUCTED BY THE DEVELOPER OR INDIVIDUAL LOT OWNERS IN ACCORDANCE WITH THE BIXBY SUBDIVISION REGULATIONS. SIDEWALKS SHALL BE A MINIMUM OF FOUR (4) FEET IN WIDTH, SHALL BE ADA COMPLIANT, AND SHALL BE APPROVED BY THE CITY ENGINEER. SIDEWALKS WHICH ARE PROPOSED OUTSIDE OF STREET RIGHT-OF-WAY SHALL BE PLACED IN A SIDEWALK EASEMENT.

2. SIGNS

RESIDENTIAL SUBDIVISION ENTRANCE SIGNAGE SHALL BE PERMITTED ALONG THE ARTERIAL STREET FRONTAGE AND SHALL COMPLY WITH STANDARDS FOR SAME AS PROVIDED IN THE BIXBY ZONING CODE. ENTRY SIGNAGE WILL BE INTEGRATED WITH THE LANDSCAPED ENTRIES AND CONTAINED WITHIN RESERVE AREAS OR EASEMENTS TO BE MAINTAINED BY THE [PROPERTY] OWNERS' ASSOCIATION. SIGNAGE SERVING RESIDENTIAL NEIGHBORHOOD AMENITIES, APPROPRIATE FOR PURPOSE AND NEIGHBORHOOD SCALE, SHALL BE PERMITTED WITHIN RESERVE AREAS CONTAINING NEIGHBORHOOD AMENITIES. RESIDENTIAL SIGNAGE SHALL OTHERWISE COMPLY WITH THE BIXBY ZONING CODE. ANY NONRESIDENTIAL SIGNAGE SHALL COMPLY WITH THE BIXBY ZONING CODE.

3. PLATTING AND SITE PLAN REQUIREMENTS

NO BUILDING PERMIT SHALL BE ISSUED UNTIL A SUBDIVISION PLAT HAS BEEN SUBMITTED TO AND RECOMMENDED UPON BY THE BIXBY PLANNING COMMISSION AND APPROVED BY THE COUNCIL OF THE CITY OF BIXBY, AND DULY FILED OF RECORD. THE REQUIRED SUBDIVISION PLAT SHALL INCLUDE COVENANTS OF RECORD IMPLEMENTING THE DEVELOPMENT STANDARDS OF THE APPROVED PUD AND THE CITY OF BIXBY SHALL BE A BENEFICIARY THEREOF. THE PLAT WILL ALSO SERVE AS THE SITE PLAN FOR ALL RESIDENTIAL LOTS CONTAINED WITHIN THE PLAT.

WHILE PROPERTY DESCRIPTIONS ARE PROVIDED FOR DEVELOPMENT AREAS A AND B, FINAL DEVELOPMENT AREA BOUNDARIES AND AREAS SHALL BE ESTABLISHED BY REQUIRED PUD SUBDIVISION PLATS, PROVIDED THAT THE MAXIMUM NUMBER OF DWELLING UNITS SHALL BE MAINTAINED.

AS USED WITHIN THIS PUD, MASONRY SHALL INCLUDE BRICK, NATURAL OR MANUFACTURED STONE, AND STUCCO. CEMENTITIOUS FIBER IS AN APPROVED ALTERNATIVE. MASONRY SHALL BE APPLIED TO A MINIMUM OF THREE (3) BUILDING SIDES AND TO THE FIRST-FLOOR TOP PLATE. MINIMUM MASONRY PERCENTAGES SHALL EXCLUDE WINDOWS, DOORS, AND BENEATH COVERED PATIOS AND PORCHES.

PHASE 1 OF DEVELOPMENT AREA A IS ESTIMATED TO INCLUDE APPROXIMATELY 253 LOTS.

WHEN FULLY PLATTED, NOT LESS THAN 15% OR 24 ACRES OF THE PRESERVE SHALL BE PRESERVED AS OPEN SPACE FOR THE ENJOYMENT OF THE RESIDENTS WITHIN DEVELOPMENT AREA A.

4. CITY DEPARTMENT REQUIREMENTS

STANDARD REQUIREMENTS OF THE CITY OF BIXBY FIRE MARSHAL, CITY ENGINEER, AND CITY ATTORNEY SHALL BE MET.

SECTION IV - PROPERTY OWNERS' ASSOCIATION

A. FORMATION OF PROPERTY OWNERS' ASSOCIATION

1. THE OWNER HAS FORMED OR SHALL CAUSE TO BE FORMED, IN ACCORDANCE WITH THE STATUTES OF THE STATE OF OKLAHOMA, AN ASSOCIATION OF ALL OWNERS OF LOTS WITHIN "THE PRESERVE BLOCKS 1-4", A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF (PLAT NO. 7196) AND WITHIN "THE PRESERVE BLOCK 5 AMENDED", A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF (PLAT NO. 7211), AND THIS SUBDIVISION (THE "PROPERTY OWNERS' ASSOCIATION" OR THE "ASSOCIATION"), A NOT-FOR-PROFIT CORPORATE ENTITY ESTABLISHED AND FORMED FOR THE GENERAL PURPOSES OF MAINTAINING PROPERTY AND FACILITIES INCLUDING BUT NOT LIMITED TO RESERVE AREAS, STORMWATER DRAINAGE AND DETENTION FACILITIES WITHIN STORMWATER DRAINAGE AND DETENTION EASEMENTS, ENTRY FEATURES, LANDSCAPING, AND OTHER COMMON AREAS AND IMPROVEMENTS THAT ARE OR FROM TIME TO TIME MAY BE FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF LOTS WITHIN THE SUBDIVISION, AS THE SAME MAY BE AGREED TO BY THE MEMBERS OF THE ASSOCIATION, AND FOR ENHANCING THE VALUE, DESIRABILITY, AND ATTRACTIVENESS OF THE SUBDIVISION AND OF ANY OTHER SUBDIVISION WHICH MAY SUBSEQUENTLY BE MERGED WITH OR ANNEXED TO THE GEOGRAPHIC JURISDICTION OF THE PROPERTY OWNERS' ASSOCIATION BY THE OWNER/DEVELOPER OR THE ASSOCIATION.

2. THE STORMWATER DRAINAGE AND DETENTION FACILITIES WITHIN RESERVES A AND B OF "THE PRESERVE BLOCKS 1-4" AND RESERVE B WITHIN "THE PRESERVE BLOCK 5 AMENDED" ADDITIONALLY SERVE "THE PRESERVE BLOCKS 6-15" AND ALSO THAT CERTAIN 22.876 ACRES ABUTTING TO THE NORTH AND EAST OF THIS SUBDIVISION AND TO BE PLATTED AS A LATER PHASE. THE STORMWATER DRAINAGE AND DETENTION FACILITIES AND AMENITIES TO BE LOCATED WITHIN SAID RESERVE A AND RESERVES B ARE INTENDED TO BE SHARED BETWEEN THE RESIDENTS OF ALL THREE (3) SUBDIVISIONS AND SAID LATER PHASE. SIMILARLY, THE STORMWATER DRAINAGE AND DETENTION FACILITIES WITHIN THAT PORTION OF LOT ONE (1), BLOCK SIXTEEN (16) AS DESIGNATED "STORMWATER DRAINAGE & DETENTION EASEMENT" OR "SDD/E" ON THE ACCOMPANYING PLAT OF THIS SUBDIVISION ADDITIONALLY SERVE THE BALANCE OF THIS SUBDIVISION. "THE PRESERVE BLOCK 5 AMENDED" IS SERVED BY GATED, PRIVATE STREETS. THE ASSESSMENTS MAY VARY BETWEEN ALL SPECIFIED EXISTING SUBDIVISIONS AND SAID LATER PHASE AND WILL BE SPECIFIED WITHIN THE PROPERTY OWNERS' ASSOCIATION'S BYLAWS OR OTHER INSTRUMENT PREPARED BY THE OWNER/DEVELOPER FOR THIS PURPOSE.

B. MEMBERSHIP

EVERY PERSON OR ENTITY WHO IS A RECORD OWNER OF THE FEE INTEREST OF A LOT SHALL BE A MEMBER OF THE ASSOCIATION. MEMBERSHIP SHALL BE APPURTENANT TO AND SHALL NOT BE SEPARATED FROM THE OWNERSHIP OF A LOT. BY DECLARATION OR OTHER SEPARATE INSTRUMENT FILED OF RECORD SUBSEQUENT TO THIS PLAT AND DEED OF DEDICATION AND RESTRICTIVE COVENANTS, OWNER/DEVELOPER MAY PROVIDE FOR THE DIVISION AND ALLOCATION OF CLASSES OF MEMBERS SUCH AS BETWEEN RESIDENTIAL AND NONRESIDENTIAL LOTS, THOSE LOTS DERIVING ACCESS VIA PRIVATE STREETS, OR BASED ON OTHER QUALITIES.

C. ASSESSMENT

EACH OWNER OF A LOT, BY ACCEPTANCE OF A DEED THEREFOR, COVENANTS AND AGREES TO PAY TO THE ASSOCIATION ANNUAL AND SPECIAL ASSESSMENTS FOR THE PURPOSE OF IMPROVEMENT AND MAINTENANCE OF RESERVE AREAS AND ANY OTHER PROPERTY AND FACILITIES THAT ARE OR FROM TIME TO TIME MAY BE FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF THE LOTS AS THE SAME MAY BE AGREED TO BY THE MEMBERS OF THE ASSOCIATION. ALL UNPAID ASSESSMENTS SHALL BE A LIEN UPON THE LOT(S) AGAINST WHICH IT IS MADE. BY DECLARATION OR OTHER SEPARATE INSTRUMENT FILED OF RECORD SUBSEQUENT TO THIS PLAT AND DEED OF DEDICATION AND RESTRICTIVE COVENANTS, OWNER/DEVELOPER MAY PROVIDE FOR THE DIVISION AND ALLOCATION OF MAINTENANCE RESPONSIBILITIES AND ASSESSMENT DUES SUCH AS BETWEEN RESIDENTIAL AND NONRESIDENTIAL LOTS, THOSE LOTS DERIVING ACCESS VIA PRIVATE STREETS, OR BASED ON OTHER QUALITIES.

D. ASSOCIATION TO BE BENEFICIARY

THE ASSOCIATION SHALL BE DEEMED A BENEFICIARY OF THE VARIOUS COVENANTS SET FORTH WITHIN THIS DEED OF DEDICATION TO THE SAME EXTENT AS ALL OTHER BENEFICIARIES THEREOF, INCLUDING THE OWNER/DEVELOPER, EACH LOT OWNER, THE CITY, AND THE SUPPLIER OF ANY UTILITY OR OTHER SERVICE WITHIN THE SUBDIVISION, ALL AS PROVIDED FOR WITHIN THIS DEED OF DEDICATION, AND SHALL HAVE THE RIGHT TO ENFORCE THESE COVENANTS AND AGREEMENTS.

E. EXPANSION RIGHTS OF THE ASSOCIATION

THE OWNER/DEVELOPER HEREBY RESERVES THE RIGHT TO ADD ADDITIONAL LAND TO THE PROPERTY OWNERS' ASSOCIATION TO SHARE IN BOTH USE AND COSTS OF STORMWATER DRAINAGE AND DETENTION FACILITIES LOCATED WITHIN RESERVE AREAS, AND OTHER COMMON AREAS OR IMPROVEMENTS THAT ARE OR FROM TIME TO TIME MAY BE FOR THE COMMON USE AND BENEFIT OF THE OWNERS WITHIN THE SUBDIVISION OR OTHER ADDITIONAL LANDS WHICH MAY BE ANNEXED TO OR MERGED WITH THE GEOGRAPHIC JURISDICTION OF THE ASSOCIATION. ADDITIONAL LAND CAN ONLY BE ADDED BY THE EXPRESS CONSENT OF THE ORIGINAL OWNER/DEVELOPER, UNTIL SUCH TIME AS THE OWNER/DEVELOPER RELINQUISHES THIS RIGHT TO THE PROPERTY OWNERS' ASSOCIATION BY INSTRUMENT DULY FILED OF RECORD. UPON ADDITION OF LAND AS PROVIDED HEREIN, THE OWNERS OF SUCH LAND SHALL BE PERMITTED ALL RIGHTS, PRIVILEGES, AND RESPONSIBILITIES OF THE PROPERTY OWNERS' ASSOCIATION.

SECTION V - ENFORCEMENT, DURATION, AMENDMENT OR TERMINATION, AND SEVERABILITY

A. ENFORCEMENT

THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE BINDING UPON THE OWNER/DEVELOPER, ITS SUCCESSORS AND ASSIGNS. WITHIN THE PROVISIONS OF SECTION I PUBLIC STREETS, EASEMENTS, AND UTILITIES, SECTION II RESERVE AREAS, AND SECTION III PLANNED UNIT DEVELOPMENT RESTRICTIONS ARE SET FORTH CERTAIN COVENANTS AND THE ENFORCEMENT RIGHTS PERTAINING THERETO, AND ADDITIONALLY THE COVENANTS WITHIN SECTIONS I, II, AND III, WHETHER OR NOT SPECIFICALLY THEREIN SO STATED, SHALL INURE TO THE BENEFIT OF AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA.

B. DURATION

THESE RESTRICTIONS, TO THE EXTENT PERMITTED BY APPLICABLE LAW, SHALL BE PERPETUAL BUT IN ANY EVENT SHALL BE IN FORCE AND EFFECT FOR A TERM OF NOT LESS THAN THIRTY (30) YEARS FROM THE DATE OF THE RECORDING OF THIS DEED OF DEDICATION UNLESS TERMINATED OR AMENDED AS HEREINAFTER PROVIDED.

C. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I PUBLIC STREETS, EASEMENTS, AND UTILITIES AND SECTION II RESERVE AREAS, AND SECTION V ENFORCEMENT, DURATION, AMENDMENT OR TERMINATION, AND SEVERABILITY MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE BIXBY PLANNING COMMISSION, OR ITS SUCCESSORS, AND THE CITY OF BIXBY, OKLAHOMA. THE COVENANTS CONTAINED IN SECTION III PLANNED UNIT DEVELOPMENT MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE BIXBY PLANNING COMMISSION OR ITS SUCCESSORS. NOTWITHSTANDING THE FOREGOING, THE COVENANTS CONTAINED WITHIN SECTION III PLANNED UNIT DEVELOPMENT RESTRICTIONS SHALL BE DEEMED AMENDED (WITHOUT NECESSITY OF EXECUTION OF AN AMENDING DOCUMENT) UPON APPROVAL OF A MINOR AMENDMENT TO PUD "BXPUD-22.05" BY THE BIXBY PLANNING COMMISSION AND RECORDING OF A CERTIFIED COPY OF THE MINUTES OF THE BIXBY PLANNING COMMISSION WITH THE TULSA COUNTY CLERK, OR UPON APPROVAL OF A MAJOR AMENDMENT TO PUD "BXPUD-22.05" UPON FILING OF RECORD AN ORDINANCE AND/OR OTHER VALID RECORD OF CITY OF BIXBY APPROVAL. THE COVENANTS CONTAINED WITHIN ANY OTHER SECTION OF THIS DEED OF DEDICATION MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER/DEVELOPER DURING SUCH PERIOD THAT THE OWNER/DEVELOPER IS THE RECORD OWNER OF AT LEAST 1 LOT, OR ALTERNATIVELY, BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNERS OF AT LEAST 60% OF THE LOTS WITHIN THE SUBDIVISION. IN THE EVENT OF ANY CONFLICT BETWEEN AN AMENDMENT OR TERMINATION PROPERLY EXECUTED BY THE OWNER/DEVELOPER (DURING ITS OWNERSHIP OF AT LEAST 1 LOT) AND ANY AMENDMENT OR TERMINATION PROPERLY EXECUTED BY THE OWNERS OF AT LEAST 60% OF THE LOTS, THE INSTRUMENT EXECUTED BY THE OWNER SHALL PREVAIL. THE PROVISIONS OF ANY INSTRUMENT AMENDING OR TERMINATING COVENANTS AS ABOVE SET FORTH SHALL BE EFFECTIVE FROM AND AFTER THE DATE IT IS PROPERLY RECORDED.

D. SEVERABILITY

INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN, OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OR ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

IN WITNESS WHEREOF, THE UNDERSIGNED OWNER HAS CAUSED THESE PRESENTS TO BE EXECUTED THIS ______ DAY OF ____________, 2026.

PPM 171 DEVELOPMENT, LLC
AN OKLAHOMA LIMITED LIABILITY COMPANY

BY:____
JOSHUA GLESENER, MANAGER

STATE OF OKLAHOMA)
) SS
COUNTY OF TULSA)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS ______ DAY OF ________________, 2026, PERSONALLY APPEARED JOSHUA GLESENER, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED THE NAME OF PPM 171 DEVELOPMENT, LLC TO THE FOREGOING INSTRUMENT, AS ITS MANAGER, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED AND AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID COMPANY FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THE DAY AND YEAR ABOVE WRITTEN.

03/08/2028 ____________________
MY COMMISSION EXPIRES: NOTARY PUBLIC

JENNIFER R. MILLER NOTARY PUBLIC #12002299 EXP 03/08/2028 STATE OF OKLAHOMA

CERTIFICATE OF SURVEY

I, DAN E. TANNER, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND HEREIN DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT DESIGNATED AS "THE PRESERVE BLOCKS 6-15", A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, IS A TRUE REPRESENTATION OF A SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES AND MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING.

WITNESS MY HAND AND SEAL THIS ______ DAY OF __________________, 2026.

LICENSED PROFESSIONAL LAND SURVEYOR Dan Edwin Tanner 1435 OKLAHOMA

BY:______________________________
DAN E. TANNER
LICENSED PROFESSIONAL LAND SURVEYOR
OKLAHOMA NO. 1435

STATE OF OKLAHOMA)
) SS
COUNTY OF TULSA)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS ______ DAY OF __________________, 2026, PERSONALLY APPEARED TO ME DAN E. TANNER KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS NAME TO THE FOREGOING CERTIFICATE AS LICENSED PROFESSIONAL LAND SURVEYOR, AS HIS FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THE DAY AND YEAR LAST ABOVE WRITTEN.

03/08/2028 ____________________
MY COMMISSION EXPIRES: NOTARY PUBLIC

JENNIFER R. MILLER NOTARY PUBLIC #12002299 EXP 03/08/2028 STATE OF OKLAHOMA

DATE OF PREPARATION: July 7, 2026