



Bixby Technical Advisory Committee Meeting Agenda

Bixby Municipal Building
Conference Room
113 W Dawes Avenue, Bixby, Oklahoma



Wednesday, March 4, 2026 | 10:00 A.M.

Call to Order

Introductions

Approval of Minutes

1. Review and approve the minutes for the TAC meeting held on January 7, 2026.

Items to be Discussed and Reviewed

1. Discussion and review of the Preliminary Plat (BXPT-26.01) for a commercial development known as The Boardwalk Storage, encompassing approximately 2.83 acres, with 1 lot within 1 block.
2. Discussion and review of a Site Plan for a proposed building addition at Woodlake Church, located at 10444 S Mingo Road, Bixby, Oklahoma 74008.
3. Discussion and review of a Site Plan for a proposed Taco Bell within the Spartan Creek commercial development located approximately 1/4 mile west of South Memorial Drive and north of East 151st Street South.

Adjournment

This Notice and Agenda were posted on the bulletin board on or before 10:00 a.m., March 3, 2026, at the Bixby Municipal Building located at 111 N Cabaniss Ave, Bixby, Oklahoma.

Respectfully submitted,

Gladys Gill
Assistant Planner

For Special Accommodations

Persons who require special accommodation to participate in this meeting should contact City Clerk, Shannon Duran: 111 N. Cabaniss Avenue, Bixby, Oklahoma, 74008, 918-366- 4430 or email City Clerk, Shannon Duran (sduran@bixbyok.gov), as far in advance as possible and preferably at least 48-hours before the date of the meeting. Persons using a Telecommunication Device for the Deaf may contact Oklahoma Relay at 1-800-722 0353, and voice calls should be made to 1-800-522-8506 to communicate via telephone with hearing telephone users and vice versa.



Bixby Technical Advisory Committee Meeting Minutes

Bixby Municipal Building
Conference Room
113 W Daves Avenue, Bixby, Oklahoma



Wednesday, January 7, 2026 | 10:00 A.M

Call to Order

The Technical Advisory Committee meeting was called to order at 10:04 a.m. by Gladys Gill, Assistant Planner, who presided over the meeting.

Introductions

All members present introduced themselves.

The following individuals were present:

Members Present

Gwen Plante, City of Bixby
Gladys Gill, City of Bixby
Donna Crawford, Consultant
Richard Gann, BTC
Alexis Johnston, City of Bixby
Erik Dye, City of Bixby

Members Present

Ryan King, City of Bixby
Lydia Wilson, BPS
Brett Ashlock, AT&T
Keith Melson, OG&E
Ron Wolfe, ECOEC
Sheri Clemente, ONG

Others Present

Russell Muzika, GEODECA
Jason Mohler, Olsson
Ryan McCarty, Select Design

Approval of Minutes

- 1. Review and approve the minutes for the TAC meeting held on December 3, 2025.**

Gladys Gill requested a motion to approve the minutes from the Technical Advisory Committee meeting held on December 3, 2025. Richard Gann from BTC made the motion to approve the minutes, and Ron Wolfe seconded the motion.

Aye: All

Nay: None

Motion Carried

Items to be Discussed and Reviewed

- 1. Discussion and review of the Preliminary Plat (BXPT-25.13) for a residential development known as Greyhawk Village, encompassing approximately 15.60 acres, with 50 lots divided into three (3) blocks with four (4) reserve areas.**

Staff noted the Preliminary Plat had been reviewed and that PUD consistency would be verified.

Engineering comments were provided directly to the applicant.

Utilities discussed existing fiber infrastructure near East 131st Street and potential conflicts if future drainage improvements occur.

The applicant confirmed the Village portion will be gated, while the adjoining Phase I development will have public streets.

Minor amendment items related to fencing and gates were noted for verification.

No additional comments or objections were raised. No action is required at this stage.

- 2. Discussion and review of the Preliminary Plat (BXPT-25.13 Phase I) for a residential development known as Greyhawk, Phase I, encompassing approximately 17.46 acres, with 61 lots divided into five (5) blocks with two (2) reserve areas.**

Engineering comments were provided to the applicant.

The applicant indicated they are approximately four weeks away from submitting full engineering plans.

Stormwater infrastructure was discussed, including confirmation that the storm sewer (not an open ditch) will be used for drainage in this phase.

No additional comments or objections were raised. No action is required at this stage.

- 3. Discussion and review of the Final Plat (BXPT-23.15 FP) for the development known as City West, encompassing approximately 16.0377 acres, with one (1) lot divided into one (1) block with three (3) reserve areas.**

Staff explained the Final Plat was previously approved by City Council but never recorded. The plat has since expired and is being resubmitted.

A right-of-way deed approved by Council was signed but not notarized, preventing filing with Tulsa County.

Staff confirmed the missing notarization will not delay plat approval and that the right-of-way will be referenced on the plat.

Resubmittal acknowledged, and no additional comments or objections were raised. No

action is required at this stage.

4. Discussion and review of the Final Plat (BXPT-25.06 FP) and Alley Closure/Vacation for a project known as the Bixby Performing Arts Center (PAC), encompassing approximately 2.2096 acres, with one (1) lot divided into one (1) block.

Staff advised that an alley closure ordinance would be presented to City Council.

Utilities confirmed existing infrastructure, including fiber and electrical facilities.

The electrical utility requested coordination on the placement of an easement to serve the facility.

Surveyor and staff discussed a historic railroad right-of-way conveyed to the City by quitclaim deed and whether future vacation action may be necessary.

Staff indicated the immediate action will be to close the alley, with future legal review to determine if additional action is required.

Resubmittal acknowledged, and no additional comments or objections were raised. No action is required at this stage.

5. Discussion and review of a Lot Split (BXLS-25.06) for Henson Square lot one (1), block one (1), located at 3350 E 151st Street S within the City of Bixby.

Proposed lot split to accommodate a future Casey's development. Staff advised that a mutual access easement agreement is required and must be recorded.

Applicant confirmed intent to file the mutual access easement and provide recorded documentation.

Utilities requested a 10–15-foot utility easement along the south property line to serve the Casey's site.

The applicant expressed no objection to dedicating the requested utility easement.

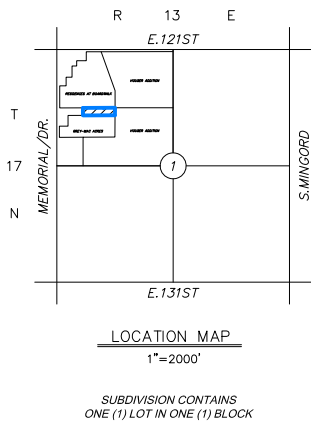
An addressing plan was discussed. The existing address to remain with Casey's; the new address to be issued for the remainder tract.

Lot split may proceed upon recording of the mutual access easement (MAE) and coordination of utility easements.

No additional comments or objections were raised. No action is required at this stage.

Adjournment

With no further business, the TAC meeting was adjourned at 10:33 a.m.



Proposed Plat of
The Boardwalk Storage
a Re-Plat of

A tract of land that is part of Lot One (1), Block One (1), of THE BOARDWALK ON MEMORIAL, a subdivision in the City of Bixby, Tulsa County, State of Oklahoma, according to the recorded Plat thereof, said tract of land being more particularly described as follows, to-wit: Starting at the Easternmost Southeast corner of said Lot One (1), said point shall also be the Point of Beginning of said tract of land; thence N89°59'21"W for 471.88 feet; thence N00°00'39"E for 170.00 feet; thence S89°59'21"E for 473.04 feet; thence S00°24'06"W for 170.00 feet to the Point of Beginning of said tract of land, and a tract of land east of said Lot One (1), Block one (1),

The East 256.23 feet of the North 170 feet of the North Half of the Southwest Quarter of the Northwest Quarter (NW2 SW4 NW4) of Section One (1), Township Seventeen (17) North, Range Thirteen (13) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof.

Containing 2.83 acres of land.

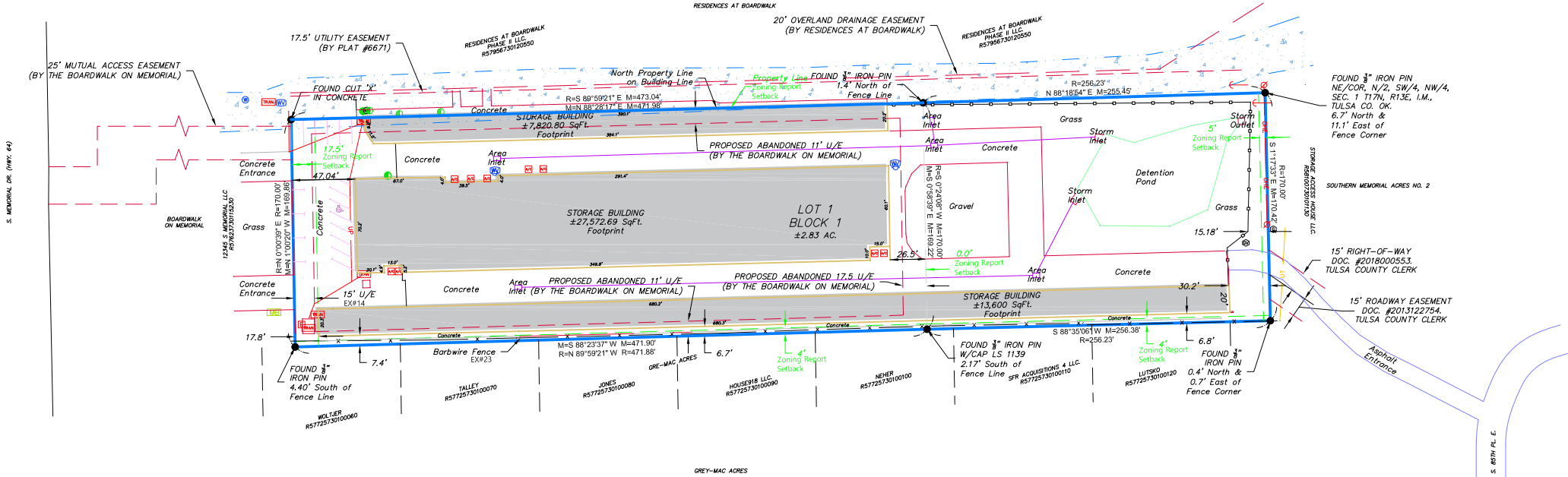
OWNER:
OV BIXBY, LLC
214-460-8442
SOUTHLAKE, TX 76092

SURVEYOR:
CARROLL SURVEYING AND MAPPING
208 W. CHOCTAW ST. MARLOW OKLAHOMA
918-773-5071
CA# 2706

ENGINEER:
STEPHENS ENGINEERING
P.O. BOX 6618 LONGVIEW, TX 75608
903-215-8990

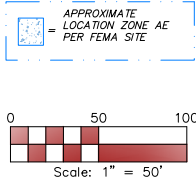
FLOOD ZONE:
THIS PROPERTY IS MAINLY LOCATED IN FLOOD ZONE "X" ACCORDING TO THE FEDERAL MANAGEMENT AGENCY INSURANCE RATE MAP, COMMUNITY PANEL NO. 40143C0432M, TULSA COUNTY, OKLAHOMA, WITH AN EFFECTIVE DATE OF SEPTEMBER 12TH, 2024. LOWR MAP: SOME OF THE NORTHERN PART OF THE PROPERTY IS LOCATED IN FLOOD ZONE "AE" ACCORDING TO THE FEDERAL MANAGEMENT AGENCY INSURANCE RATE MAP.

BASIS OF BEARING:
BEARINGS AND DISTANCES ARE GRID AND BASED ON THE OKLAHOMA NORTH COORDINATE SYSTEM. (NAD83)



Utilities Located by Oklahoma One Call System.
Ticket #: 22020714214501

LEGEND		LINE TYPE LEGEND	
⊙ POWER POLE	⊙ GAS METER	— W — WATER LINE	
⊙ U-GROUND ELECTRIC PEDESTAL	⊙ GAS VALVE	— GAS — GAS LINE	
⊙ LIGHT POLE	⊙ MAIL BOX	— SS — SANITARY SEWER LINE	
← OUY AND/OR	⊙ SIGN	— T — OVERHEAD COMM. LINE	
⊙ ELECTRIC METER	⊙ FIRE HYDRANT	— UT — TELEPHONE LINE	
⊙ ELECTRIC MANHOLE	⊙ WATER METER	— UP — BURIED ELECTRIC LINE	
⊙ ELEC. TRANSFORMER	⊙ WATER VALVE	— OHE — OVERHEAD POWERLINE	
⊙ SANITARY SEWER MANHOLE	⊙ SECTION CORNER	— X — BARBED WIRE FENCE	
⊙ SANITARY SEWER CLEANOUT	⊙ QUARTER CORNER	— P — PIPE FENCE	
⊙ STORM SEWER MANHOLE	⊙ BOUNDARY MONUMENT	— S — STOCKADE FENCE	
⊙ CLIMATE CONTROL UNIT	⊙ (1/2" P) IRON PIN WITH 1.5/8" 1777 Cap (unless noted)		
⊙ TELEPHONE MANHOLE			
⊙ TELEPHONE RISER	U/E UTILITY EASEMENT		



- Bearings and Distances are Grid and based on the Oklahoma North Coordinate System. (NAD83)
- All Angular and Distance Values SHOWN AS MEASURED on Survey Drawing unless otherwise noted

CARROLL SURVEYING & MAPPING

P.O. Box 525
208 W. Choctaw St.
Marlow, OK 73055

Telephone: (918) 773-5071
Email: brek@carrollsurveying.com
Certificate of Authorization #2706

• ALTA LAND SURVEYS • PHOTOGRAMMETRY
• TOPOGRAPHIC MAPPING • CONSTRUCTION STAKING

THE BOARDWALK STORAGE

THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA

A PARTIAL RE-PLAT OF THE BOARDWALK ON MEMORIAL

Party Chief: BE
Processed By: BE
Drawn By: BE
Checked By: JC
Date: 1/14/2026
Scale: 50'



WOODLAKE CHURCH YOUTH ADDITION

10444 South Mingo Road
Bixby, Oklahoma 74133

DESIGN-BUILDER: WARREN CONSTRUCTION SOLUTION, LLC

ARCHITECT: CJC ARCHITECTS, INC.

CONSULTING ENGINEER: GREEN ACORN LLC

STRUCTURAL ENGINEER: 360 ENGINEERING, LLC.

CIVIL ENGINEER: WALLACE DESIGN COLLECTIVE

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C104	TOPOGRAPHIC SURVEY 5
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D101	EXISTING ROOF MODIFICATION & EIFS REPAIR
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A111	REFLECTED CEILING PLAN PHASE 1
A121	ROOF PLAN PHASE 1
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A301	WALL SECTIONS
A302	WALL SECTIONS
A311	WALL DETAILS
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A411	INTERIOR ELEVATIONS & DETAILS
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A601	ROOM FINISH SCHEDULE AND DETAILS
A611	DOOR SCHEDULE, AND DETAILS
FP-101	FIRE PROTECTION PLAN
P-001	PLUMBING NOTES AND SCHEDULE
P-001	PLUMBING NOTES AND SCHEDULES
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M-601	MECHANICAL SCHEDULE
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E-002	ELECTRICAL SITE PLAN
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E-101	ELECTRICAL LIGHTING PLAN
E-151	CEILING COORDINATION PLAN
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E-301	ELECTRICAL ROOF PLAN
E-401	ENLARGED ELECTRICAL PLANS
E-501	ELECTRICAL DETAILS
E-601	ELECTRICAL SCHEDULES

CJC Architects, Inc.

1401 S Denver Ave, Suite B, Tulsa, OK 74119
918-582-7129
cjcarchitects.com



Revision Date	Revision
####	####
####	####
####	####
####	####

Project Title

**WOODLAKE
CHURCH**
Youth Addition

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title

COVER SHEET

Drawn	Project Number	2432
Checked		

user: jall	timestamp: 2/6/2026 - 3:31 PM
file: B:\Motoud - btm - cjcarchitects.com - BIMcloud Basic for Archicad 28\Woodlake Youth Addit	

Seal

Issue Date

2/6/2026

Sheet Number

G000

2/6/2026

GENERAL DEMOLITION NOTES:

- ALL CONCRETE AND ASPHALT NOTED FOR REMOVAL SHALL BE SAW CUT FULL DEPTH AND REMOVED OFF SITE.
- CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINTS.
- CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS OFF SITE.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ALL COST SHALL BE INCLUDED IN BASE BID.
- WITH PRIOR APPROVAL, CONTRACTOR MAY ESTABLISH AN ON-SITE STAGING AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING STAGING AREA TO ITS ORIGINAL CONDITION. SECURITY OF STAGING AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ON-SITE VEGETATION SHALL BE PROTECTED AS NOTED. IN DESIGNATED PROTECTION AREAS WHERE THE CONTRACTOR DOES NOT PROTECT VEGETATION AS NOTED, CONTRACTOR SHALL RESTORE VEGETATION TO EXISTING CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER, TO THE SATISFACTION OF THE ARCHITECT.
- CONTRACTOR SHALL PROTECT ALL ABOVE GROUND UTILITY FEATURES NOT BEING REMOVED INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVES, AND INLETS. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- TOPSOIL STOCKPILES AND DISTURBED PORTIONS OF THE SITE, WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED IMMEDIATELY WITH TEMPORARY SEED AND MULCH PER THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES, DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
- CONTRACTOR SHALL PROVIDE TEMPORARY UTILITY SERVICE IF REQUIRED.
- CONTRACTOR SHALL ENSURE CONSTRUCTION SITE HAS POSITIVE DRAINAGE THROUGHOUT THE DURATION OF CONSTRUCTION.
- PRIOR TO UTILITY DEMOLITION COORDINATE WITH AUTHORITY HAVING JURISDICTION.
- UTILITIES BEING REMOVED OR RELOCATED SHALL BE ISOLATED AND SERVICE DISCONNECTED PRIOR TO ANY DEMOLITION.
- NO UTILITY INTERRUPTIONS WILL BE ALLOWED WITHOUT CONSENT OF THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT A MINIMUM OF FOUR WORKING DAYS PRIOR TO THE REQUESTED SHUT DOWN.

LEGEND

REMOVE ASPHALT

REMOVE CONCRETE

REMOVE GRAVEL

REMOVE SAND PIT

REMOVE & SALVAGE RIVER ROCK

CONTRACTOR NOTE:

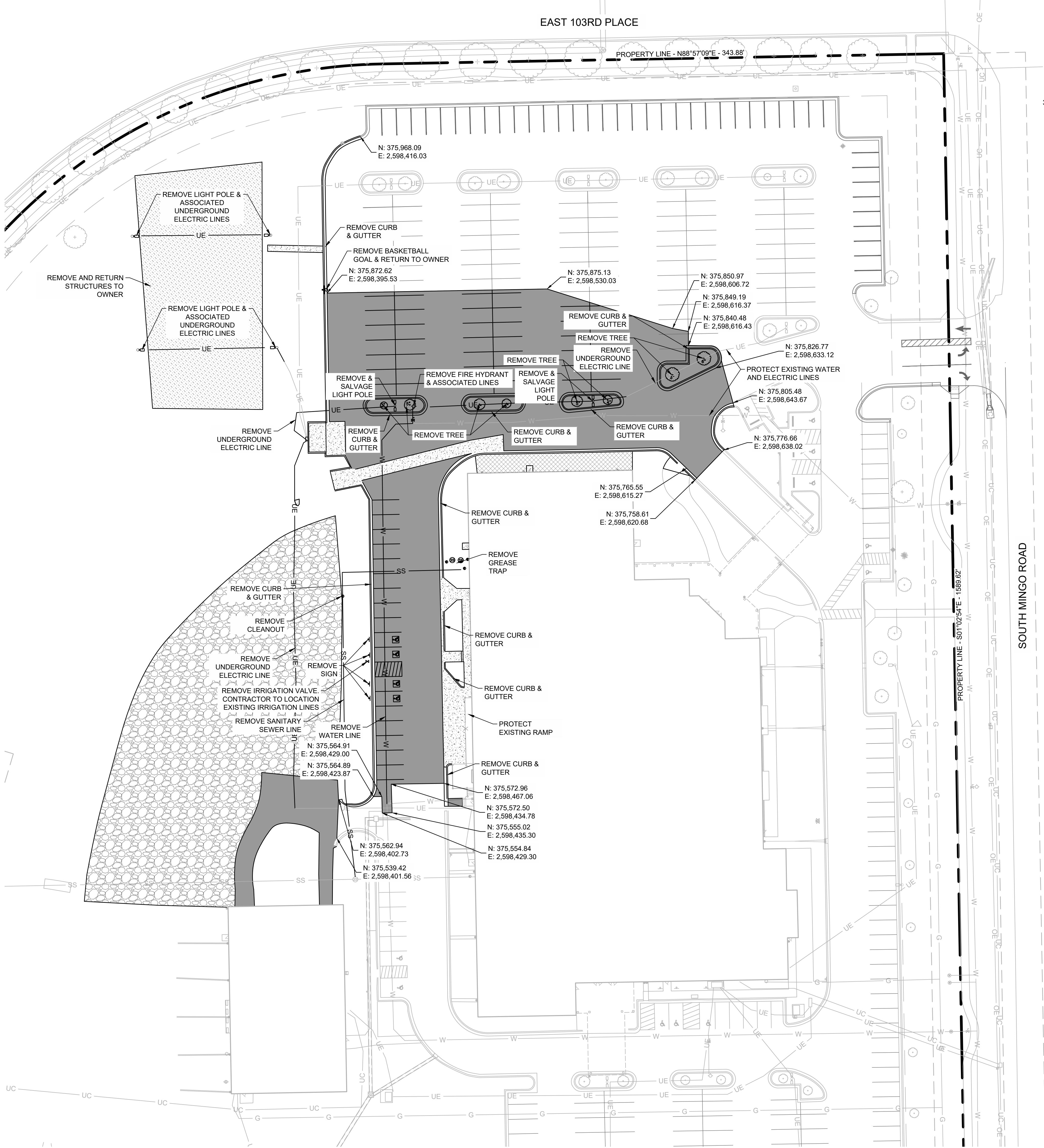
CONTRACTOR TO STRIP AND STOCK PILE THE MILLINGS.

811

Know what's below.
Call before you dig.

CAUTION
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



CJC Architects, Inc.

1401 S Denver Ave, Suite B, Tulsa, OK 74119
918-582-7129
cjarchitects.com

Revision Date	Revision

wallace design collective

wallace design collective, pc
structural-civil-landscape-survey
123 north martin luther king jr. blvd.
tulsa, oklahoma 74103
918.584.5858-800.364.5858
oklahoma ca 1460
exp: 6-30-27

Project Title

WOODLAKE CHURCH
Youth Addition

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title

DEMOLITION PLAN

Drawn

Project Number

2540432

Checked

Seal

Issue Date

02/06/2026

Sheet Number



C200

02/06/2026

GENERAL NOTES:

1. CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEPED ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES.
3. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
4. UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARDS, SPECIFICATIONS, AND REGULATIONS OF THE CITY OF BIXBY, OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY, AND STATE DEPARTMENT OF TRANSPORTATION, AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, LICENSE FEES, TAP FEES, ETC.
6. ALL ELEVATIONS IN PAVED AREAS ARE TOP OF FINISHED PAVEMENT UNLESS OTHERWISE NOTED.
7. RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM ENGINEER BEFORE ANY UTILITY RELOCATION.
8. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.

EXCAVATION NOTIFICATION

1. ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS).
2. CONTRACTORS TO CALL 811 (OR VISIT CALL811.COM) TO REQUEST UTILITY LOCATES. ONCE COMPLETION OF MARKINGS HAS BEEN CONFIRMED BY THE CONTRACTOR, NO AUTOMATED OR MECHANICAL EQUIPMENT SHOULD BE USED WITHIN TWO FEET ON EITHER SIDE OF THE MARKINGS (OR ANOTHER MORE STRINGENT TOLERANCE AS DIRECTED), AND EXISTING FACILITIES MUST BE EXPOSED BY HAND.
3. EXISTING UTILITY LOCATIONS SHOWN SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

UNANTICIPATED SOIL CONDITIONS

1. IF UNSUITABLE BEARING MATERIALS ARE ENCOUNTERED AT THE SPECIFIED SUBGRADE DEPTHS, THE CONTRACTOR SHALL NOTIFY THE OWNER. SOIL SUBGRADES WHICH ARE UNSTABLE DUE TO INADEQUATE CONSTRUCTION DEWATERING OR EXCESSIVE SUBGRADE DISTURBANCE ARE NOT DEEMED UNSUITABLE SOILS AND SHALL BE CORRECTED TO SUITABLE CONDITIONS AT THE CONTRACTORS EXPENSE.
2. FILL SOIL THAT IS NOT WITHIN +/- 2% OPTIMUM MOISTURE FOR COMPACTION OF THE PARTICULAR MATERIAL IN PLACE AS DETERMINED BY THE OWNER'S REPRESENTATIVE AND IS DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION OPERATIONS SO THAT PROPER COMPACTION CANNOT BE REACHED SHALL NOT BE CONSTRUED AS UNSUITABLE BEARING MATERIAL AND SHALL BE CORRECTED TO SUITABLE CONDITIONS AT THE CONTRACTORS EXPENSE.
3. THE CONTRACTOR SHALL FOLLOW A CONSTRUCTION PROCEDURE WHICH PERMITS VISUAL IDENTIFICATION OF FIRM NATURAL GROUND.
4. SURFACE RUNOFF: SURFACE WATER ON AND AROUND THE SITE SHALL BE COLLECTED INTO LOCAL SUMPS BY MEANS OF TRENCHES, PIPES, ETC., AND PUMPED INTO THE STORM WATER SYSTEM. USE APPROPRIATE FILTRATION OR SEDIMENTATION TO PREVENT PUMPING OF SUSPENDED SOLIDS INTO THE STORM SEWER. A PERMIT MUST BE OBTAINED FOR SUCH PUMPING.
5. DEWATERING OF TRENCHES AND EXCAVATIONS: TRENCHES AND EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER AT ALL TIMES. PUMPING IS TO BEGIN AS SOON AS WATER BEGINS TO ACCUMULATE AND IS TO CONTINUE UNTIL WATER IS REMOVED.

SITE ACCESSIBILITY

1. ALL FEATURES OF THIS PROJECT INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, CURB RAMPS, ACCESSIBLE PARKING, AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE APPLICABLE ACCESSIBILITY CODES (AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES; THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) PUBLISHED IN THE FEDERAL REGISTER AUGUST 2023; INTERNATIONAL BUILDING CODE (IBC); ICC A117.1; ETC.)
2. WHERE SPATIAL LIMITATIONS OR EXISTING FEATURES WITHIN THE LIMITS OF THE PROJECT PREVENT FULL COMPLIANCE WITH THESE GUIDELINES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER UPON DISCOVERY OF SUCH FEATURES. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ASPECT OF THE WORK WHICH IS NOT IN FULL COMPLIANCE WITH THESE GUIDELINES WITHOUT PRIOR, WRITTEN PERMISSION FROM THE ENGINEER. ANY WORK WHICH IS NOT PERFORMED WITHIN THESE GUIDELINES, FOR WHICH THE CONTRACTOR DOES NOT HAVE WRITTEN APPROVAL, SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
3. GENERAL SLOPE GUIDANCE:
 - 3.1. CROSS SLOPES SHALL NOT EXCEED 1:50 (2.0%). PREFERRED SLOPE IS 1.5%.
 - 3.2. RUNNING SLOPES SHALL NOT EXCEED 5% EXCEPT AT RAMPS. PREFERRED MAXIMUM SLOPE IS 4.5%.
 - 3.3. RAMP RUNNING SLOPES SHALL NOT EXCEED 1:12 (8.3%). PREFERRED MAXIMUM SLOPE IS 7.8%.
 - 3.4. SLOPES AT LANDINGS, ACCESSIBLE PARKING STALLS, AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION. PREFERRED MAXIMUM SLOPE IS 1.5%.
 - 3.5. EXCEPTIONS WITHIN THE PUBLIC RIGHT-OF-WAY: WHERE THE ESTABLISHED ADJACENT STREET GRADE EXCEEDS 5%, RUNNING SLOPES PARALLEL TO THE STREET SLOPES SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET. CURB RAMP RUNNING SLOPE CAN EXCEED 8.3% TO LIMIT THE RESULTING RAMP LENGTH TO 15 FEET.

GEOTECHNICAL

1. NONE PROVIDED.

SURVEY

1. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION ARE SHOWN PER THE FIELD SURVEY PERFORMED BY WALLACE DESIGN COLLECTIVE DATED 11/03/2025.

GENERAL SITE NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
4. REFER TO LANDSCAPE PLANS FOR GRASS, TREES, AND PLANTED MATERIALS.
5. ALL DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB UNLESS SHOWN OTHERWISE.
6. RADII = 5'-00" UNLESS OTHERWISE INDICATED.

SITE DATA:

LAND AREA SUMMARY

NET LAND AREA 1,076,368 SF (24.71 AC)

SITE DATA

ZONING AG

BUILDING DATA

BUILDING ADDITION: 11,368 SF
EXISTING BUILDING : 51,328 SF

IMPERVIOUS AREA

TOTAL SITE AREA: 1,076,368 SF (24.71 AC)
TOTAL DISTURBED AREA: 99,298 SF (2.28 AC)
EXISTING IMPERVIOUS AREA: 322,344 SF (7.45 AC)
PROPOSED IMPERVIOUS AREA: 372,869 SF (8.56 AC)
NET CHANGE: 50,525 SF

OFF-STREET PARKING REQUIREMENTS

EXISTING : 456 PARKING SPACES

REQUIRED:
1 SPACE PER 40 SF OF CHAPEL/SANCTUARY FLOOR AREA 211 PARKING SPACES
8,425 SF OF EXISTING WORSHIP AREA 143 PARKING SPACES
5,695 SF OF PROPOSED WORSHIP AREA

PROVIDED: 507 PARKING SPACES

ACCESSIBLE PARKING REQUIREMENTS

REQUIRED: 11 ACCESSIBLE SPACES

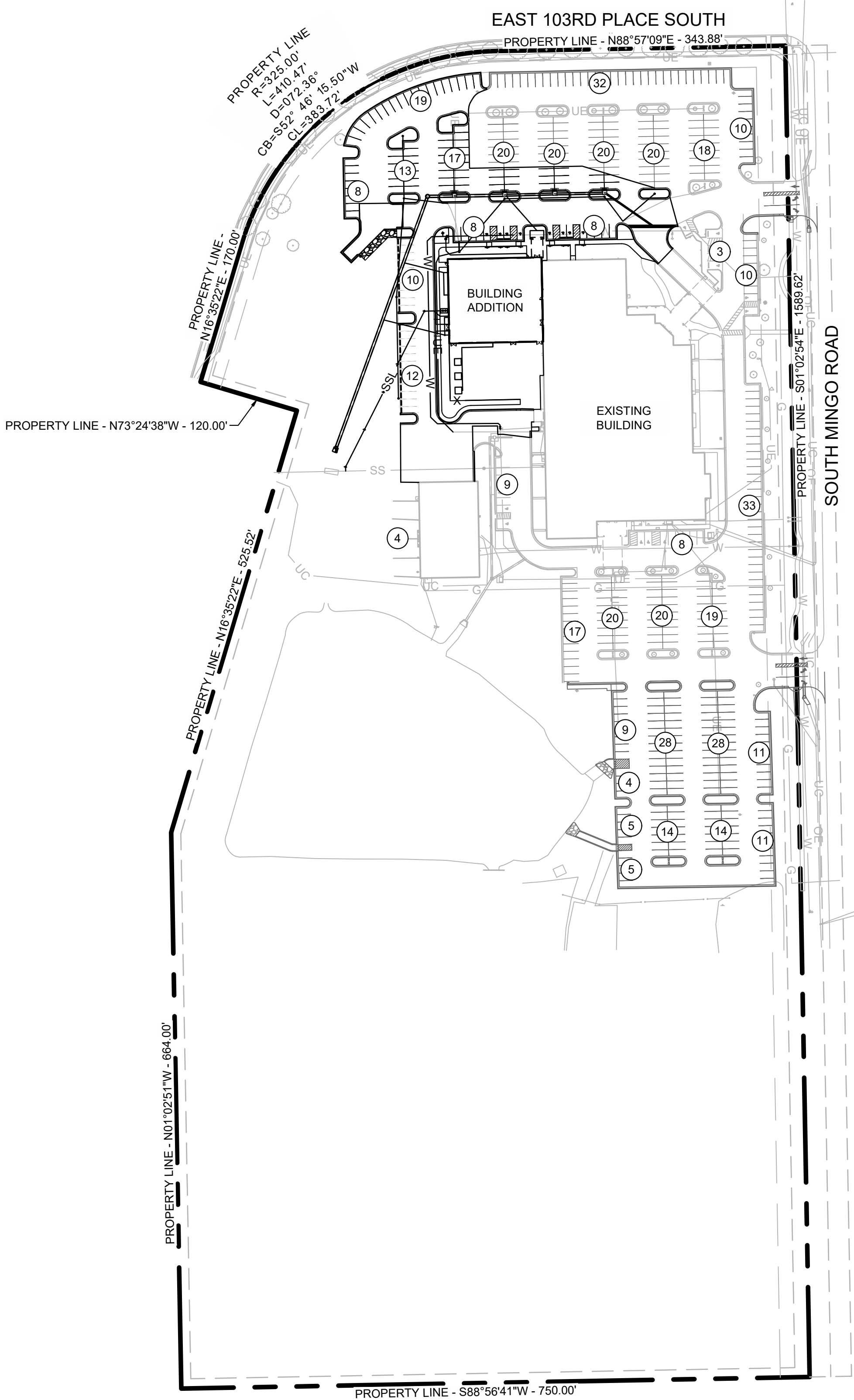
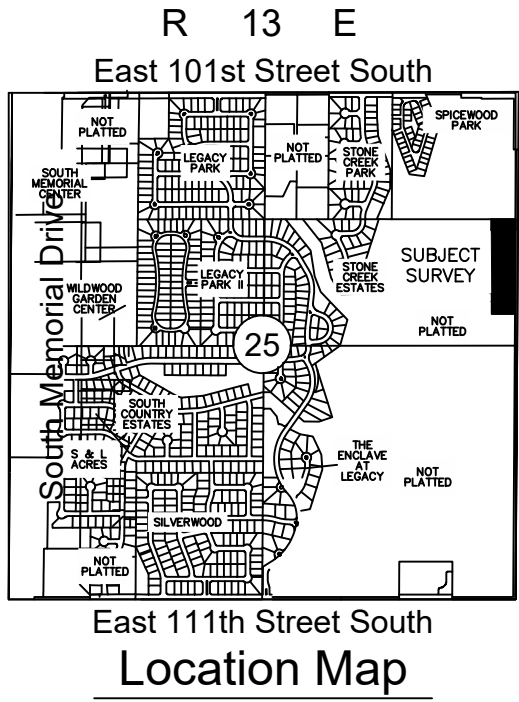
PROVIDED: 19 VISITOR ACCESSIBLE SPACES

PROPERTY DESCRIPTION

A PART OF THE NE/4 AND SE/4 OF SECTION 25, TOWNSHIP 18 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY OKLAHOMA.

CONTRACTOR NOTE:

AT OWNER'S REQUEST, CONTRACTOR SHALL MAKE REASONABLE EFFORT TO KEEP EXISTING PARKING SPACES OPEN AND AVAILABLE DURING CONSTRUCTION OF THE BUILDING ADDITION.



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Revision Date	Revision



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oklahoma.ca1460
exp. 6-30-27

Project Title

WOODLAKE CHURCH Youth Addition

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title

OVERALL SITE PLAN

Drawn Project Number 2540432

Checked

Seal Issue Date 02/06/2026

Sheet Number

C400

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DRAINAGE FLOW PATH

— — — — —

DRAINAGE AREA BOUNDARY

A1

DRAINAGE AREA LABEL

POA

POINT OF ANALYSIS

DRAINAGE AREA (SF)	DRAINAGE AREA (ACRES)	DRAINAGE AREA (SQ. MI.)	COMPOSITE CN	REACH GRASS SHEET FLOW (FEET) TR-55	SLOPE GRASS SHEET FLOW (%) TR-55	REACH PAVED SHEET FLOW (FEET) TR-55	SLOPE PAVED SHEET FLOW (%) TR-55	REACH GRASS SHALLOW CONCENTRATED FLOW (FEET) TR-55	SLOPE GRASS SHALLOW CONCENTRATED FLOW (%) TR-55	REACH, CHANNEL/PIPE FLOW (FEET)	SLOPE CHANNEL/PIPE FLOW (%) TR-55	REACH PIPE FLOW (FEET)	VELOCITY (FPS)	TOTAL Tc (MIN)	LAG TIME (MIN)
696,157	15.98	0.02497	81	113	1.00%	181	1.00%	700	1.00%			750	6.8	14.86	8.92
479,079	11.00	0.01718	65	150	1.00%									23.22	13.93

RUNOFF SUMMARY (SCS)			
	EXISTING RUNOFF (CFS)	PROPOSED RUNOFF (CFS)	DIFFERENCE (CFS)
STORM EVENT	POA-1	POA-1	
2 Year (50%)	13.97	5.99	-7.98
5 Year (20%)	31.55	13.51	-18.04
10 Year (10%)	47.96	20.59	-27.37
25 Year (4%)	71.68	30.91	-40.77
50 Year (2%)	92.16	39.96	-52.20
100 Year (1.0%)	113.50	52.91	-60.59
500 Year (0.2%)	170.82	96.95	-73.87

POND AREA 1 SUMMARY			
WATER SURFACE ELEVATION (FT)	POND VOLUME (AC-FT)	POND AREA (SF)	CONTRIBUTING STRUCTURES
672.50	0.0	92,558	6" weir at 672.50
673.00	1.1	95,545	6" weir at 672.50
674.00	3.3	100,890	6" weir at 672.50, 6" weir at 674.00
675.00	5.7	106,404	6" weir at 672.50, 6" weir at 674.00, 14" weir at 675.00
675.00	8.2	112,304	6" weir at 672.50, 6" weir at 674.00, 14" weir at 675.00, 26" weir at 676.00

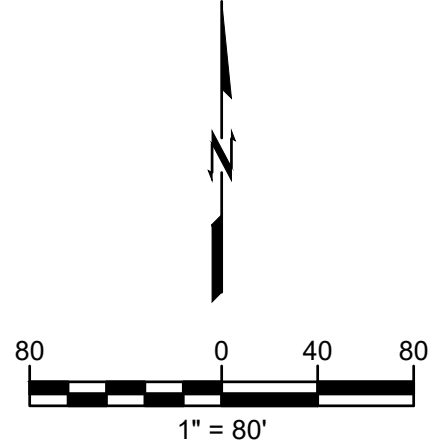
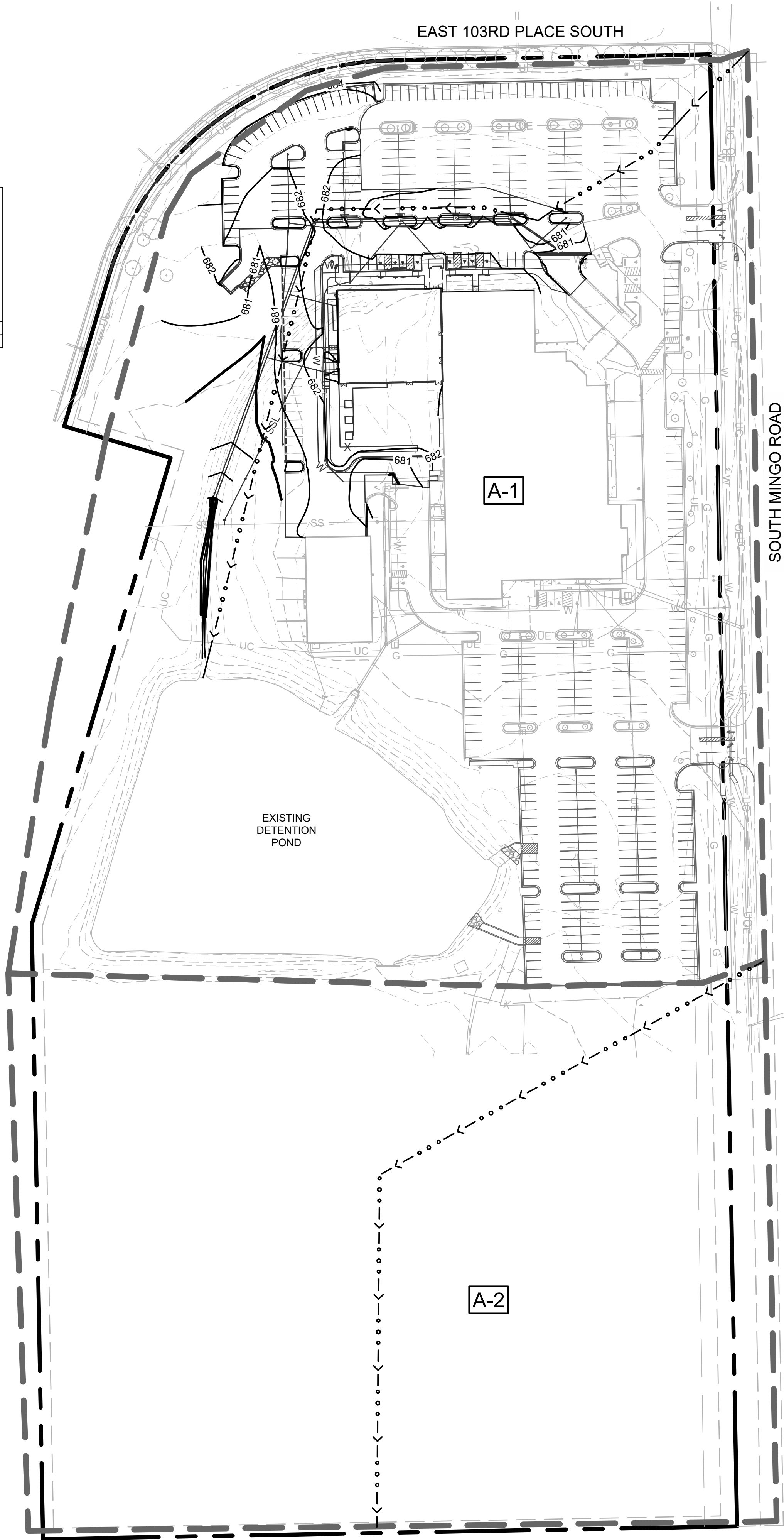
DETENTION POND 1 SUMMARY (SCS METHOD)				
STORM EVENT	TOTAL DEVELOPED FLOW INTO POND (CFS)	TOTAL DEVELOPED FLOW OUT OF POND (CFS)	VOLUME DETAINED (AC-FT)	PEAK STAGE (EL)
2 Year (50%)	28.53	0.90	1.6	673.2
5 Year (20%)	46.43	1.80	2.5	676.6
10 Year (10%)	61.17	2.70	3.3	674.0
25 Year (4%)	80.75	6.99	4.1	674.3
50 Year (2%)	97.63	11.14	4.6	674.5
100 Year (1.0%)	112.85	17.84	5.2	674.8
500 Year (0.2%)	154.28	44.51	6.6	675.4
Top of Berm Elevation = 676.00				

811

Know what's below.
Call before you dig.

CAUTION
NOTICE TO CONTRACTOR

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Project Title

**WOODLAKE CHURCH
Youth Addition**

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title

**DETENTION DRAINAGE
AREA MAP**

Drawn

Project Number

2540432

Checked

Seal

Issue Date

02/06/2026

Sheet Number

C505

02/06/2026

LEGEND

DRAINAGE FLOW PATH

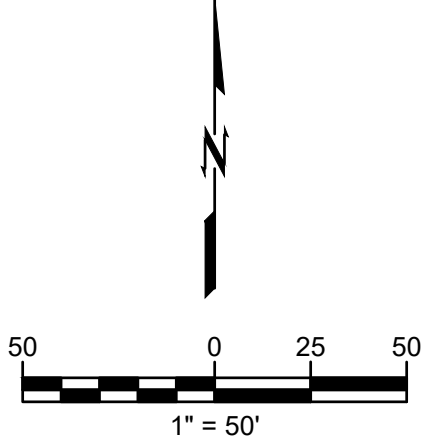
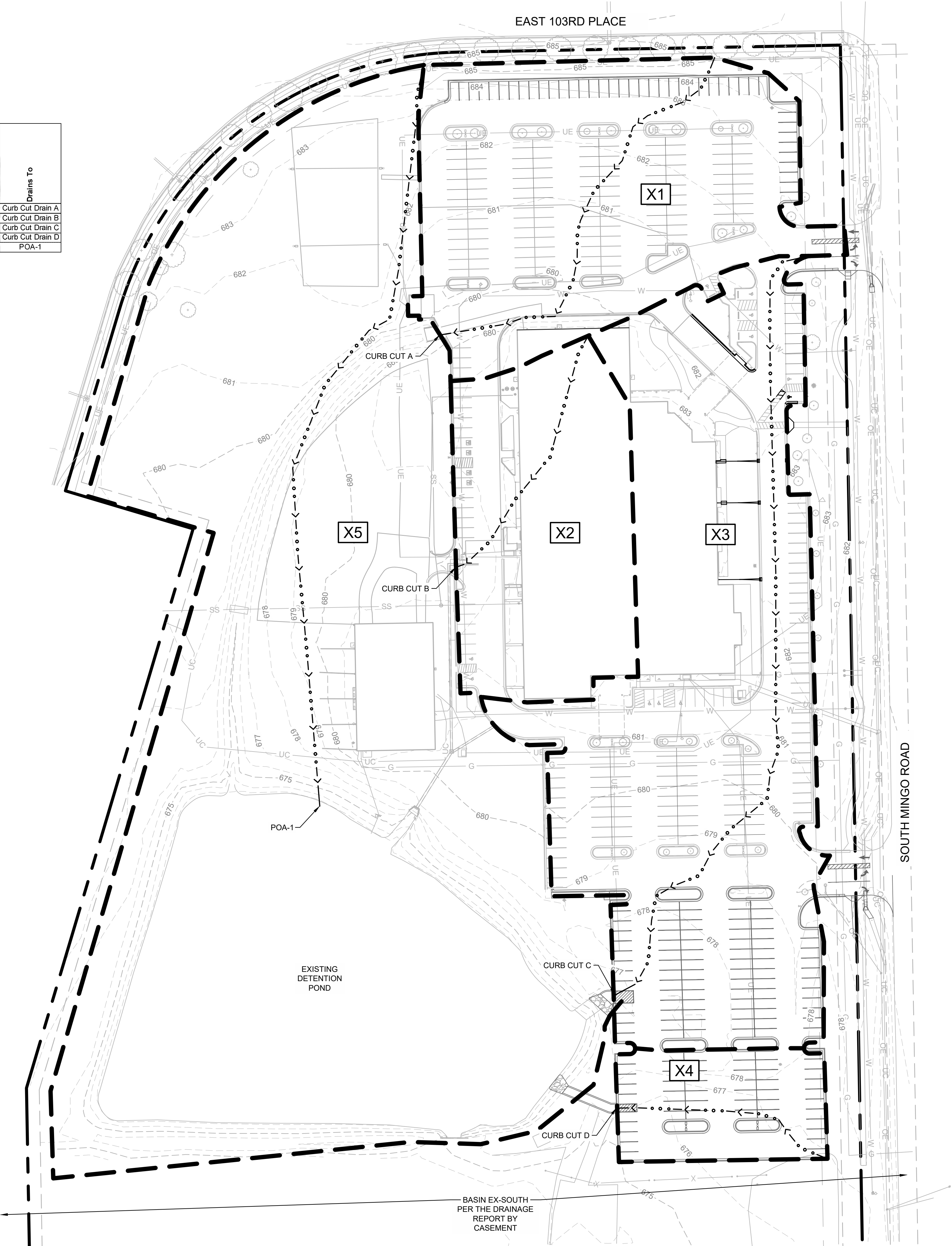
DRAINAGE AREA BOUNDARY

DRAINAGE AREA LABEL

POA

POINT OF ANALYSIS

DRAINAGE AREA BASIN	DRAINAGE AREA (SF)	DRAINAGE AREA (ACRES)	PAVED AREA (SF)	GRASS AREA (SF)	"C" FACTOR	REACH GRASS (FEET)	SLOPE GRASS (%)	VELOCITY GRASS (FPS)	REACH PAVING (FEET)	SLOPE PAVING (%)	VELOCITY PAVING (FPS)	TOTAL Tc (MIN)	I 100 (IN/HR)	Q 100 (CFS)	SUM Q 100 AT INLET (CFS)	Drains To
X1	79,858	1.83	69,796	10,062	0.88	17.46	2.0%	0.98	379.2	2.00%	2.87	2.5	12.2	19.63	19.63	Curb Cut Drain A
X2	47,584	1.09	44,167	3,417	0.91	17.98	2.0%	0.98	229.44	2.00%	2.87	1.6	12.7	12.59	12.59	Curb Cut Drain B
X3	130,238	2.99	115,680	14,558	0.89	0.00	0.0%	0.00	0	0.00%	0.00	0.0	13.8	36.53	36.53	Curb Cut Drain C
X4	18,557	0.43	17,608	949	0.92	0.00	0.0%	0.00	204.83	2.00%	2.87	1.2	12.9	5.08	5.08	Curb Cut Drain D
X5	305,148	7.01	109,854	195,294	0.60	696.28	2.0%	0.98	5	2.00%	2.87	11.8	8.6	36.19	110.02	POA-1



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Project Title

**WOODLAKE CHURCH
Youth Addition**

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title

**EXISTING DRAINAGE
AREA MAP**

Drawn

Project Number

2540432

Checked

Seal

Issue Date

02/06/2026

Sheet Number

C504

02/06/2026



LEGEND

DRAINAGE FLOW PATH

DRAINAGE AREA BOUNDARY

A1

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POA

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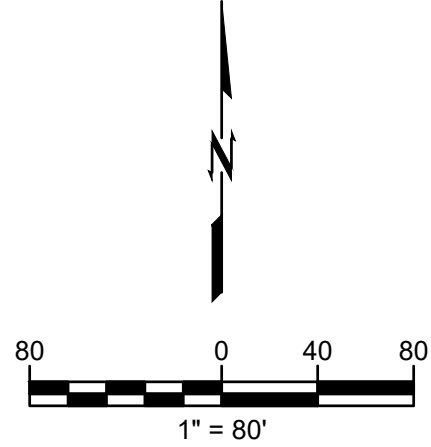
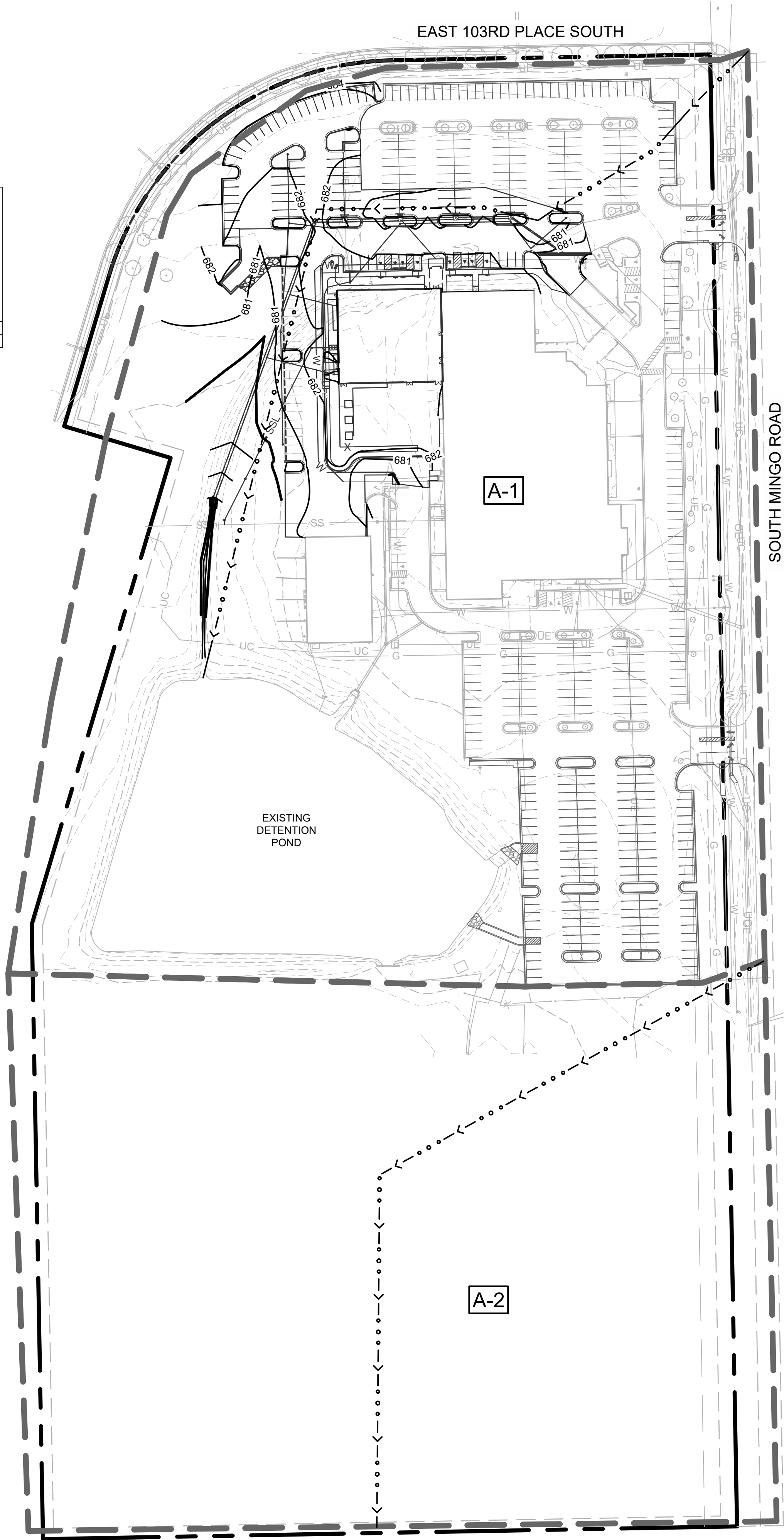
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Project Title

WOODLAKE CHURCH Youth Addition

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title
DETENTION DRAINAGE AREA MAP

Drawn	Project Number
	2540432
Checked	

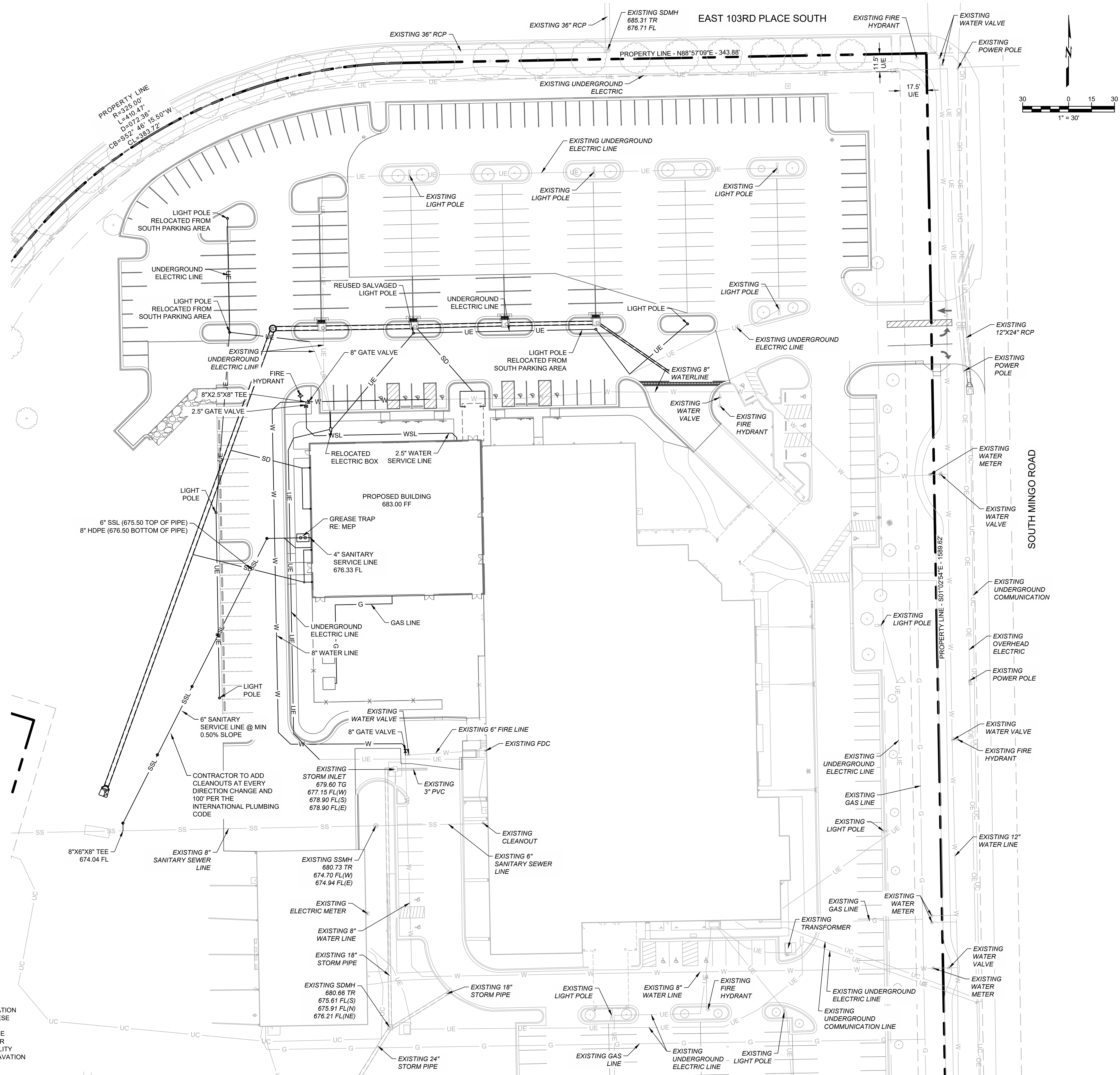
Seal	Issue Date
	02/06/2026
	Sheet Number



C505

GENERAL UTILITY NOTES:

1. PRIOR TO CONSTRUCTION, LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY CONTRACTOR WITH THE PROPER UTILITY COMPANY PROVIDING SERVICE. SERVICE LINES SHOWN FOR COORDINATION AND REFERENCE ONLY. CONTRACTOR SHALL COORDINATE WITH ALL SERVICE PROVIDERS (TELECOMMUNICATIONS, ELECTRIC, GAS, ETC.) PRIOR TO INSTALLING SERVICE LINES OR APPURTENANCES. CONTRACTOR IS TO COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
2. THIS PLAN DEPICTS THE INTENT OF PRIVATE AND FRANCHISE UTILITY ROUTINGS AS UNDERSTOOD DURING DESIGN PHASES OF THE PROJECT. IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO NEGOTIATE ALL CONTRACTS FOR SERVICE WITH EACH INDIVIDUAL UTILITY COMPANY AND TO PROVIDE THE ENGINEER WITH ANY DOCUMENTS THAT MAY AFFECT THE LAYOUT.
3. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS BEFORE CONNECTING TO ANY EXISTING LINE IN ACCORDANCE WITH LOCAL REQUIREMENTS.
4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
5. NOT ALL EXISTING UNDERGROUND UTILITIES MAY BE SHOWN ON THIS PLAN. THE EXACT LOCATIONS AND NOTIFICATIONS OF THE PROPER AGENCY ARE THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO CONSTRUCTION.
6. RESTRAINED JOINTS SHALL BE PROVIDED ON 4" AND LARGER WATER LINES AT ALL BENDS TEES AND FIRE HYDRANTS FOR A MINIMUM 2 JOINTS BOTH SIDES OF FITTING PER AWWA MINIMUM STANDARDS.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. TERMINATE SERVICE PIPING 5' FROM BUILDING WALL UNTIL BUILDING PIPING SYSTEMS ARE INSTALLED. TERMINATE PIPING WITH VALVE AND CAP PLUG OR FLANGE AS REQUIRED FOR PIPING MATERIAL. MAKE CONNECTIONS TO BUILDING PIPING SYSTEMS WHEN THOSE SYSTEMS ARE INSTALLED.
8. REFER TO PLUMBING AND/OR FIRE PROTECTION SHEETS FOR FIRE LINE LEAD-IN LOCATION AND DETAIL. CONTRACTOR SHALL UTILIZE AWWA AND FACTORY MUTUAL TEST AND CERTIFICATIONS FOR ALL UNDERGROUND FIRE PROTECTION LINES AS A MINIMUM. LOCAL OR STATE AUTHORITIES MAY REQUIRE MORE STRINGENT TESTING WHICH SHALL BE PROVIDED BY THE GC IF REQUIRED.
9. FIRE LINE BACKFLOW PREVENTER (DOUBLE CHECK ASSEMBLY) SHALL BE LOCATED INSIDE THE BUILDING.
10. ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. UTILITY TRENCH DETAIL RE: C801/E. STORM TRENCH DETAIL RE: C801/F.
11. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR CONTINUATION OF UTILITIES AT BUILDING.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL CONDUITS (INCLUDING IRRIGATION SLEEVES) PRIOR TO PAVING WHETHER OR NOT SHOWN ON CIVIL PLANS. THE CONTRACTOR SHALL INSTALL ALL CONDUITS WITH A PULL STRING. ALL CONDUIT SHALL BE SCH. 40 PVC, UNLESS NOTED OTHERWISE.
13. CONSTRUCT CLAY TRENCH PLUG THAT EXTENDS AT LEAST 5 FEET OUT FROM THE FACE OF THE BUILDING EXTERIOR. THE PLUG MATERIAL SHALL CONSIST OF CLAY COMPACTED AT A WATER CONTENT AT OR ABOVE THE SOIL'S OPTIMUM WATER CONTENT. THE CLAY FILL SHALL BE PLACED TO COMPLETELY SURROUND THE UTILITY LINE AND BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY.
14. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
15. ALL STORM PIPE ENTERING CONCRETE STRUCTURES SHALL BE GROUTED WITH NON SHRINK GROUT TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
16. PROVIDE SLEEVE WITH LINK-SEAL (OR APPROVED EQUAL) AT GRADE BEAM PENETRATION LOCATIONS (RE: STRUCTURAL FOR DETAIL).
17. CONTRACTOR SHALL REFER TO ELECTRICAL SITE PLAN OR PHOTOMETRIC PLAN (BY OTHERS) FOR ALL SITE LIGHTING CONSTRUCTION DETAILS, REQUIREMENTS, AND FINAL POLE LOCATIONS. POLE LOCATIONS ARE SHOWN ON THIS SHEET FOR REFERENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ALL NECESSARY ADJUSTMENTS TO POLE LOCATIONS AS NECESSARY TO AVOID OBSTRUCTIONS (I.E. UNDERGROUND UTILITIES, SIDEWALKS, ETC...). CONTRACTOR SHALL POT HOLE EACH LOCATION WHERE A NEW LIGHT POLE IS TO BE PLACED PRIOR TO CONSTRUCTION TO VERIFY THERE ARE NO CONFLICTS WITH EXISTING UTILITIES. IF DAMAGES OCCUR TO EXISTING UTILITIES THEY WILL REPLACE OR REPAIR AT THEIR OWN EXPENSE. POLE LOCATIONS MAY NOT BE ADJUSTED WITHOUT PRIOR APPROVAL FROM THE ENGINEERS SINCE A CHANGE IN LOCATION CAN IMPACT THE INTENDED PHOTOMETRIC DESIGN.
18. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF ANY PROPOSED SIGN(S) AND INSTALLATION OF ANY SECURITY CAMERAS WITH OWNER'S CONSTRUCTION MANAGER. COORDINATE WITH ELECTRICAL SITE PLAN TO PROVIDE ALL CONDUIT NEEDED FOR DATA AND/OR POWER TO SITE SIGN(S), SECURITY CAMERAS, AND LIGHT POLES.



CAUTION
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10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

UTILITY PLAN

Drawn: _____ Project Number: **2540432**
Checked: _____

Seal: _____ Issue Date: **02/06/2026**
Sheet Number: _____



C600

02/06/2026

LEGEND

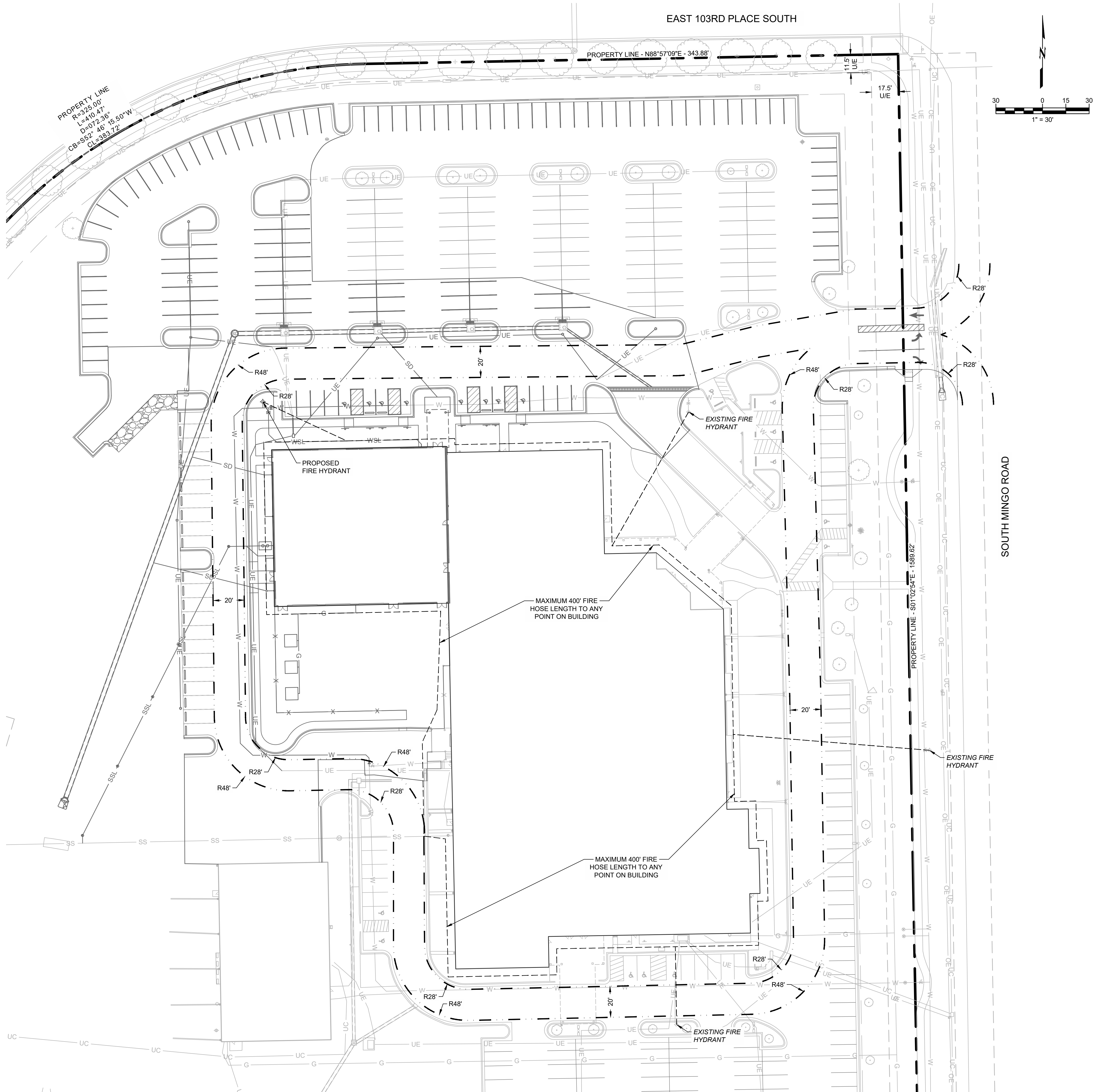
LAY OF A FIRE HOSE

- - -

DISTANCE FROM FIRE PATH

FIRE TRUCK PATH

FIRE FLOW DATA:	
BUILDING AREA	
TYPE II-B CONSTRUCTION	62,680 SF
PER IFC TABLE B105.1	
NEEDED FIRE FLOW	1,969 GPM
PER IFC TABLE C105.1	
MINIMUM NUMBER OF HYDRANTS	2



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FIRE PLAN

Drawn

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Sheet Number



C601

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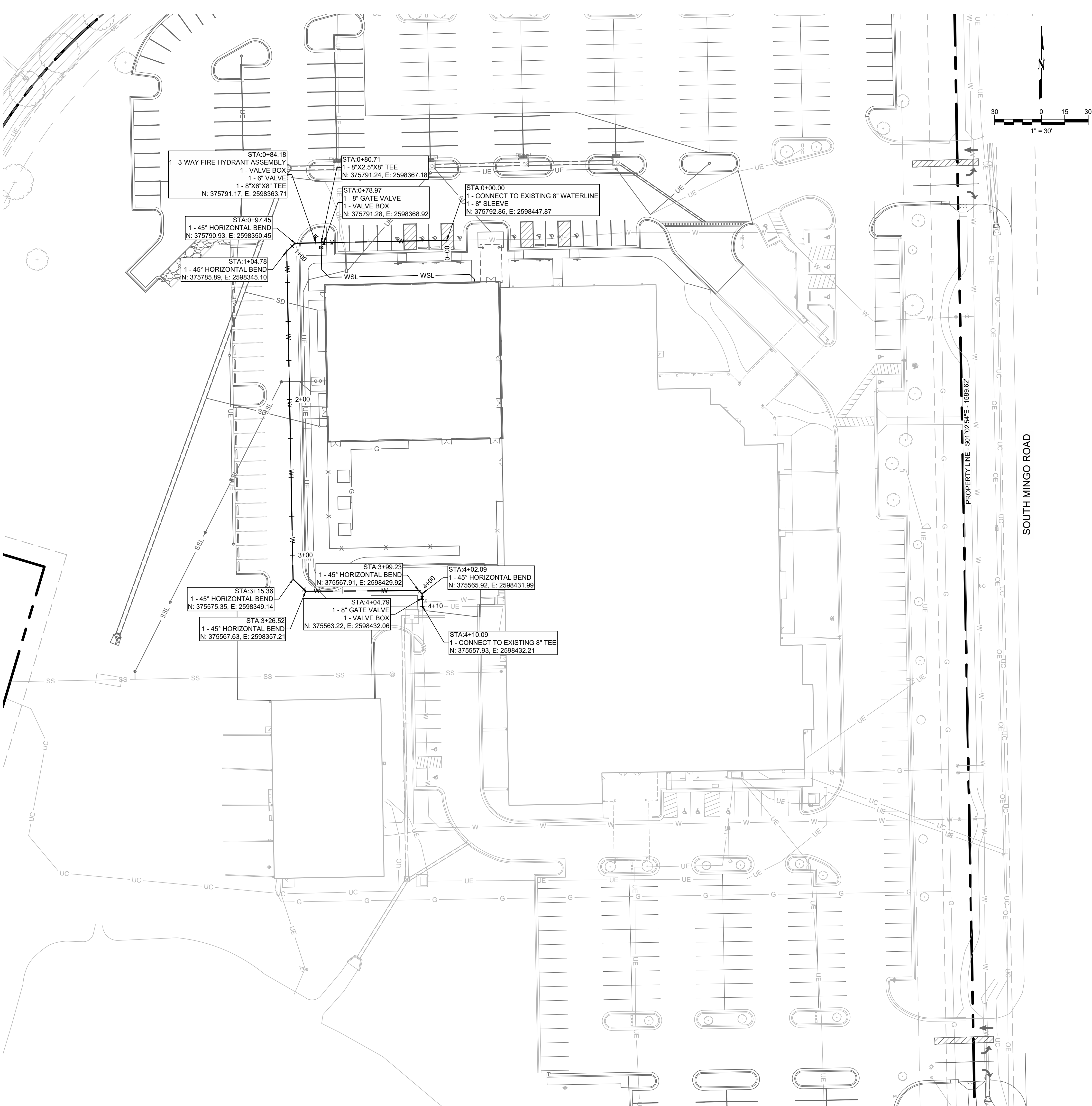
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WATERLINE NOTES:

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF BIXBY OKLAHOMA STANDARD AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY WORK ORDERS AND PERMITS FROM THE CITY OF BIXBY, INCLUDING PROVISIONS OF BONDS AND INSURANCE AS REQUIRED.
- ALL FITTINGS AND VALVES SHALL BE POLYWRAPPED DUCTILE IRON OR CAST IRON.
- TESTING; CHLORINATION AND FLUSHING NOTES PERFORMED IN ACCORDANCE WITH GENERAL SPECIFICATIONS, SECTION 109.3.
- TESTING AND CHLORINATION TO BE PERFORMED BY CITY OF BIXBY.
- THE CITY OF BIXBY SHALL BE NOTIFIED 24 HOURS PRIOR TO TESTING OF ANY CHLORINATION.
- STONES FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF 6 INCHES BELOW THE BOTTOM OF THE PIPE.
- THERE WILL BE NO FIRE, IRRIGATION OF DOMESTIC SERVICE CONNECTIONS MADE ON THIS WATER MAIN LINE PRIOR TO BEING TESTED, CHLORINATED AND RELEASED BY THE WATER CONSTRUCTION INSPECTION SUPERVISOR. ALL SERVICE CONNECTION PERMIT FEES MUST BE PAID AND A PERMIT ISSUED FROM THE PERMIT SERVICE CENTER BEFORE THESE TYPE OF CONNECTIONS CAN BE MADE.
- NO WATER SERVICE CONNECTIONS WILL BE ALLOWED UNDER IDP SCOPE OF WORK.
- RESTRAINED JOINTS SHALL BE PROVIDED ON 4" & LARGER WATERLINES AT ALL BENDS, TEES AND FIRE HYDRANTS FOR A MINIMUM 2 JOINTS BOTH SIDES OF FITTING PER AWWA MINIMUM STANDARDS, OR AS SHOWN IN PROFILE.
- WATER LINE TRENCH DETAIL FOR DUCTILE IRON PIPE: RE: COT STD 304.
- VALVE BOX DETAIL, RE: COT STD 313.
- ENTIRE PROJECT IS WITHIN CORPORATE LIMITS OF CITY OF BIXBY.
- THIS PROJECT COMPLIES WITH ALL OKLAHOMA DEPARTMENT OF ENVIRONMENTAL QUALITY (ODEQ) REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LANE CLOSURES DETOURS, ETC. BOTH VEHICULAR AND PEDESTRIAN.
- ALL CONTRACTORS PERFORMING IDP OR RIGHT OF WAY WORK MUST BE AN APPROVED IDP CONTRACTOR WITH THE CITY OF BIXBY. THE CONTRACTOR MUST HAVE A CONTRACT WITH THE CITY AND BE BONDED FOR THEIR PORTION OF THE IDP WORK. THE PRIME CONTRACTOR MUST ALSO APPLY SEPARATELY FOR IDP PERMIT.
- WATER OPERATIONS SHALL OPERATE ALL VALVES ON TRANSMISSION MAINS (16" AND LARGER). CONTRACTOR SHALL OPERATE ALL VALVES ON DISTRIBUTION MAINS (SMALLER THAN 16") WITH THE COORDINATION OF FIELD ENGINEERING AND WATER OPERATIONS AND IN THE PRESENCE OF A FIELD ENGINEERING INSPECTOR. (A) ATTEMPTS WILL BE MADE WITH ASSISTANCE FROM THE CONTRACTOR TO NOTIFY ALL AFFECTED CUSTOMERS 48-HOURS IN ADVANCE, PARTICULARLY IF COMMERCIAL OR INDUSTRIAL CUSTOMERS ARE INVOLVED. PRIOR TO SHUTDOWN, FIELD ENGINEERING WILL NOTIFY WATER OPERATIONS, AT 918-596-9488, GIVING AN ESTIMATED DOWNTIME. WATER OPERATIONS WILL NOTIFY THE FIRE DEPARTMENT OF ALL FIRE HYDRANTS OUT OF SERVICE AND WHEN THEY ARE BACK IN SERVICE, BY STREET ADDRESS OR INTERSECTION. (B) WHERE COMMERCIAL, INDUSTRIAL, OR CRITICAL CUSTOMERS ARE AFFECTED, AND FOR ALL LINES 16-INCH AND LARGER IN SIZE, FIELD ENGINEERING WILL REQUEST WATER OPERATIONS TO SHUT DOWN THE MAIN. THERE WILL BE A MINIMUM OF 48-HOUR NOTICE TO WATER OPERATIONS.
- UTILIZE LOCATOR BALLS, RE: COT STD 368.
- CONTRACTOR SHALL NOTIFY EXISTING CUSTOMERS PRIOR TO WATER SHUTOFFS DUE TO CONSTRUCTION.



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Revision Date	Revision



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oklahoma cal 1460
exp: 6-30-27

Project Title

WOODLAKE CHURCH Youth Addition

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title

WATERLINE PLAN

Drawn

Project Number

2540432

Checked

Seal

Issue Date

02/06/2026

Sheet Number

C602

02/06/2026



Know what's below.
Call before you dig.

CAUTION

NOTICE TO CONTRACTOR

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GENERAL STORM SEWER NOTES

- ALL PIPING SHALL BE INSTALLED WITH A MINIMUM OF 30" OF COVER, UNLESS NOTED OTHERWISE. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. UTILITY TRENCH DETAIL RE: C801/E. STORM TRENCH DETAIL RE: C801/F.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE THE EXISTING STRUCTURE AS NECESSARY.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED WITH NON SHRINK GROUT TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- ALL STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
- MANHOLES AND APPURTENANCE DETAILS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION IS STARTED.
- ALL STORM SEWER MAIN PIPE SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE), ADS N-12, OR EQUIVALENT, CORRUGATED, SMOOTH INTERIOR PLASTIC PIPE.
- ALL STORM SEWER PIPE AND FITTINGS TO INTERIOR AREA INLETS SHALL BE POLYVINYL CHLORIDE (PVC), SDR 35, SOLID WALL PLASTIC PIPE.
- IF REINFORCED CONCRETE PIPE (RCP) IS USED, IT SHALL CONFORM TO ASTM C-76 CLASS III, WALL "B", UNLESS OTHERWISE NOTED. OMNI-FLEX JOINTS SHALL BE REQUIRED ON ALL REINFORCED CONCRETE PIPE.
- STORM SEWER BEDDING, BACKFILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH CITY STANDARD DRAWINGS.
- ALL STORM SEWER LINES NOT UNDER PAVING SHALL BE LAID IN TYPE A AGGREGATE BEDDING TO A MINIMUM DEPTH OF 12 INCHES ABOVE THE TOP OF PIPE. THE TRENCH MAY BE BACKFILLED WITH COMPACTED SOIL UPON APPROVAL BY THE INSPECTOR.
- STORM SEWER LINES LOCATED UNDER PAVED STREETS SHALL BE LAID IN TYPE A AGGREGATE BEDDING AND THE TRENCH COMPLETELY FILLED TO SUBGRADE WITH TYPE A AGGREGATE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- PIPE BACKFILL SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES, AND COMPACTED BY VIBRATORY PLATE OR OTHER METHOD APPROVED BY THE ENGINEER.
- PAVING SUBGRADE SHALL BE RESTORED TO PROPER GRADE (+ OR - 0.1 FT) AND DENSITY AFTER PIPE IS BACKFILLED.
- ALL PRECAST MANHOLES SHALL HAVE ADJUSTABLE TOP RIMS PROVIDING SIX (6) INCHES, PLUS OR MINUS, FOR ADJUSTMENT TO FINAL GRADES. ELEVATIONS SHOWN ON PLANS MAY BE ADJUSTED WHILE THE WORK IS IN PROGRESS TO CONFORM TO FINAL IN-PLACE PAVING AND LANDSCAPE GRADES.
- THE UTILITY CONTRACTOR ASSUMES THE RISK OF ORDERING PRECAST CONCRETE COMPONENTS PRIOR TO FIELD STAKING AND REVIEW OF FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
- VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS THE WORK IS COMPLETED.

NOTE: ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED HEREIN.

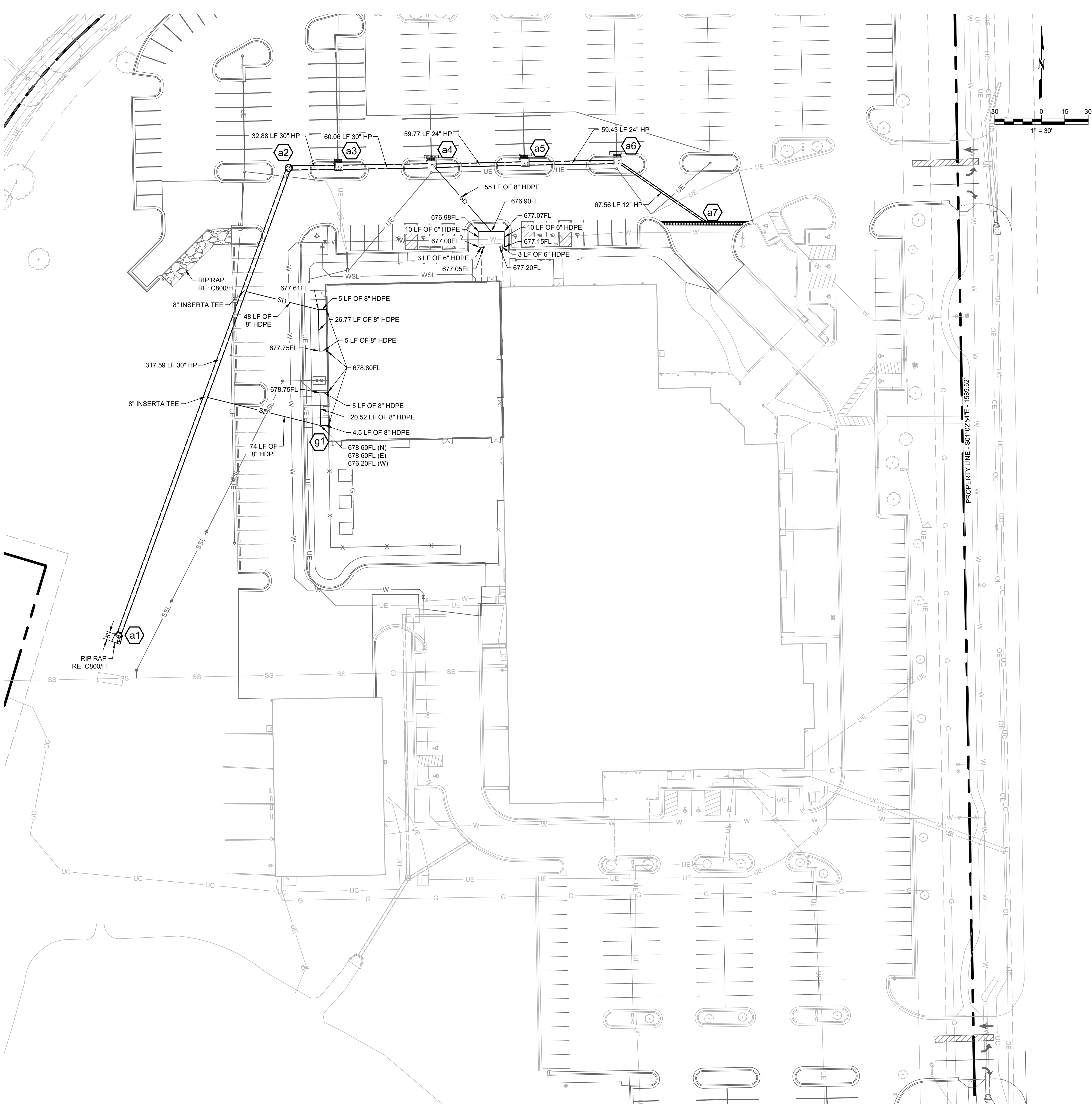
Structure Summary

- | | |
|----|--|
| a1 | 30" HEADWALL
RE: C702/A |
| a2 | 4' ID MANHOLE
RE: C702/D |
| a3 | DESIGN NO. 2 CURB INLET W/ ACCESS
MANHOLE |
| a4 | DESIGN NO. 2 CURB INLET W/ ACCESS
MANHOLE |
| a5 | DESIGN NO. 2 CURB INLET W/ ACCESS
MANHOLE |
| a6 | DESIGN NO. 2 CURB INLET W/ ACCESS
MANHOLE |
| a7 | 12"x18" TRENCH DRAIN
RE: C702/B |
| g1 | 12" NYLOPLAST DRAIN BASIN W/ SOLID LID
AND 3" CONCRETE COLLAR
RE: C702/C |

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918.584.5858-800.364.5858
oklahoma ca 1460
exp: 6-30-27

Project Title

**WOODLAKE
CHURCH
Youth Addition**

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title

STORM PLAN

Drawn Project Number 2540432

Checked

Seal Issue Date 02/06/2026

Sheet Number



C700

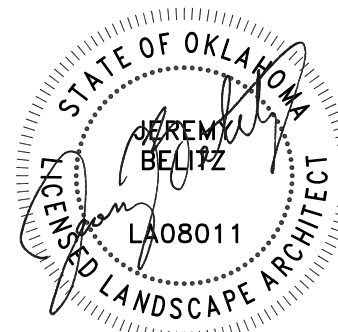
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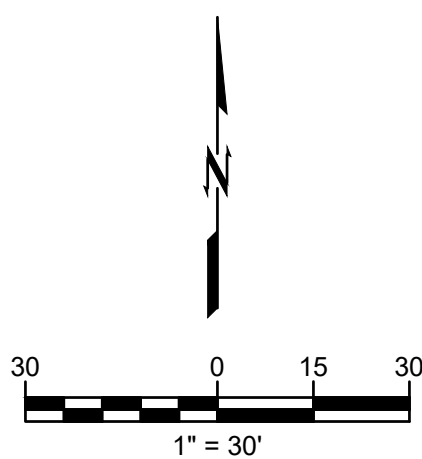
Revision Date	Revision



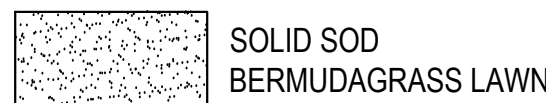
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oklahoma city, oklahoma 73104
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oklahoma ca #CA03146
exp. date 06/30/27



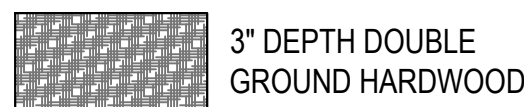
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LEGEND



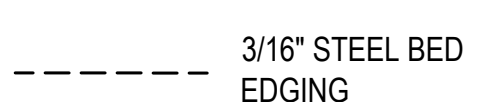
SOLID SOD
BERMUDAGRASS LAWN



3" DEPTH DOUBLE
GROUND HARDWOOD



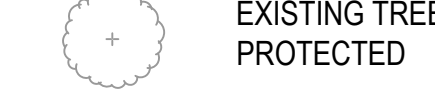
PROPERTY LINE



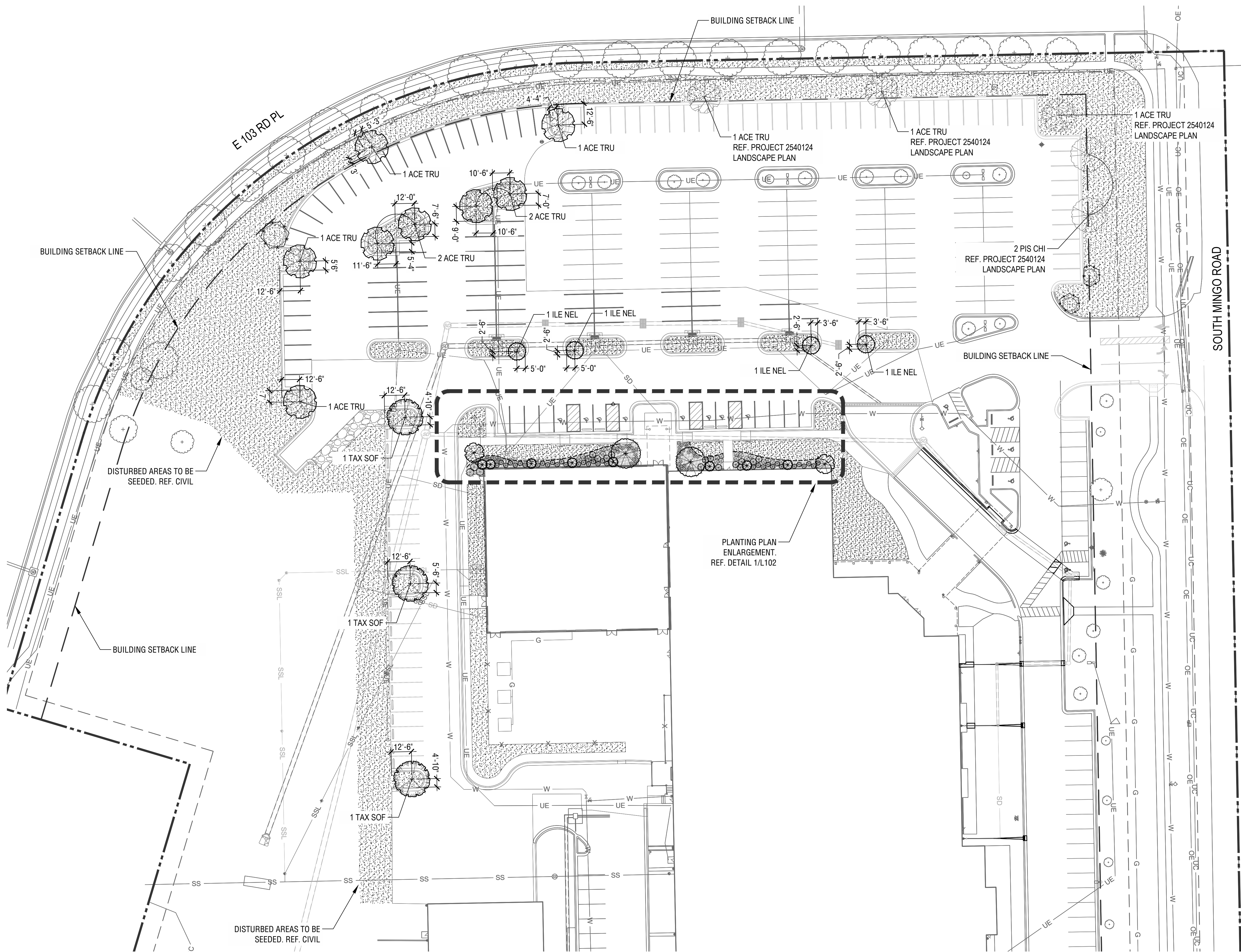
3/16" STEEL BED
EDGING



TREE PROTECTION
FENCING



EXISTING TREE
PROTECTED



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Know what's below.
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Project Title

WOODLAKE
CHURCH
Youth Addition

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title

LANDSCAPE PLAN

Drawn Project Number

2540432

Checked

Seal Issue Date

02/06/2026

Sheet Number

L101



Revision Date	Revision
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FLOOR PLAN LEGEND

- 10.2601 - CORNER GUARD
INDICATES INTERIOR PARTITION TYPE;
REFER TO 1/6001
INDICATES PARTITION HEIGHT
08.2116 - GYPSUM BOARD CONTROL JOINT
10.4400 - FIRE EXTINGUISHER CABINET
WINDOW TYPE MARK; REFER TO 3/A601
DOOR MATERIAL TYPE
DOOR NUMBER MARK; REFER TO DOOR
AND FRAME SCHEDULE, SHT A601
FIRE RATING
SIGNAGE
XXXXXXX - ROOM OR AREA MARK; REFER TO ROOM
MATERIAL/FINISH SCHEDULE, SHT A601
ROOM NUMBER
ROOM IDENTIFICATION SIGNAGE
REFER SIGNAGE SCHEDULE

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- LOCATE DOORS 6" FROM NEAREST CORNER TO OPENING FACE OF DOUBLE STUDS AT JAMB UNLESS OTHERWISE DIMENSIONED.
- ALL ANGLES ARE 45°, 90° OR 135° UNLESS OTHERWISE NOTED.
- NEW PARTITIONS THAT APPEAR TO ALIGN WITH EXISTING PARTITIONS OR OTHER ARCHITECTURAL ELEMENTS SHALL ALIGN FINISH SURFACE FLUSH WITH FINISH SURFACE UNLESS OTHERWISE NOTED.

WOODLAKE CHURCH Youth Addition

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

FLOOR PLAN PHASE ONE

Drawn Project Number 2432

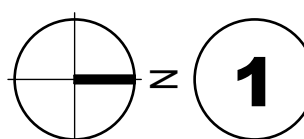
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Serial Issue Date 2/6/2026

Sheet Number

JOHN DAVID HALL
2/6/2026
A101



FLOOR PLAN PHASE ONE

1/8" = 1'-0"

0 4' 8' 16'



Revision Date	Revision
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####	####

4 SOUTH ELEVATION

1/8" = 1'-0"

0 4' 8' 16'

1 SOUTH ELEVATION

1/8" = 1'-0"

0 4' 8' 16'

2 WEST ELEVATION

1/8" = 1'-0"

0 4' 8' 16'

3 NORTH ELEVATION

1/8" = 1'-0"

0 4' 8' 16'

Project Title

WOODLAKE CHURCH
Youth Addition

10444 SOUTH MINGO ROAD
TULSA, OKLAHOMA 74133

Sheet Title

BUILDING ELEVATIONS

Drawn Project Number

2432

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2/6/2026

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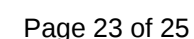
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2/6/2026





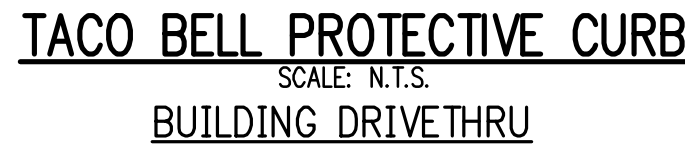
THE BOUNDARY AND EXISTING TOPOGRAPHIC SURVEY WAS PROVIDED BY OTHERS. CRAFTON TULL MAKES NO GUARANTEE TO THE ACCURACY OF THE TOPOGRAPHIC INFORMATION SHOWN AND USED TO DEVELOP THESE PLANS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN, THEN CONTACT ENGINEER IMMEDIATELY. CRAFTON TULL DOES NOT ACCEPT RESPONSIBILITY FOR DIFFERENCES IN THE DESIGN MADE AS RESULT OF THE BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY OTHERS.





1. THE PAVEMENT SECTIONS SHOWN ARE PROVIDED FOR INFORMATION PURPOSES ONLY AND WERE DESIGNED AND PROVIDED BY THE GEOTECHNICAL ENGINEER. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, AS SUCH, CRAFTON TULL & ASSOCIATES TAKES NO RESPONSIBILITY FOR THE DESIGN OF THE PAVEMENT SECTIONS SHOWN.
2. THE SUBGRADE PREPARATION ELEMENTS SHALL BE PREPARED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
3. AFTER PROOF ROLLING WITH A LOADED TANDEM AXLE DUMP TRUCK AND PREPARING DEEP SUBGRADE DEFICIENCIES, THE ENTIRE SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 8" AND UNIFORMLY COMPACTED TO AT LEAST 95% OF MODIFIED PROCTOR.
4. AGGREGATE BASE COURSE SHALL COMPLY WITH SECTION 703 OF STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, OKLAHOMA DEPARTMENT OF TRANSPORTATION, EDITION 2019.
5. ACHH-INDENED COURSE SHALL COMPLY WITH SECTION 708 OF STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, OKLAHOMA DEPARTMENT OF TRANSPORTATION, EDITION 2019.
6. ACHH SURFACE COURSE SHALL COMPLY WITH SECTION 707 OF STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, OKLAHOMA DEPARTMENT OF TRANSPORTATION, EDITION 2019.
7. PORTLAND CEMENT CONCRETE PAVEMENT SHALL COMPLY WITH SECTION 701 OF STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, OKLAHOMA DEPARTMENT OF TRANSPORTATION, EDITION 2019.
8. THE CONTRACTOR SHALL APPLY A TACK COAT TO THE FACE OF THE CONCRETE GUTTER WHERE THE GUTTER CONTACTS ASPHALT.

PAVEMENT SECTIONS



- CONTROL JOINT (CJ)
NTS

- EXPANSION JOINT DETAIL (EJ)
NTS



STATIONARY-BOLLARD
NTS

CONSTRUCTION DETAILS

C-502