



City of Bixby Planning Commission Meeting Agenda

Chairman Jason Mohler
Vice Chair Josh Nave
Commissioner Tom Holland
Commissioner Lance Whisman
Commissioner Eric Covey

Monday, September 15, 2025

6:00 PM

Bixby Municipal Building
111 N Cabaniss Ave.,
Bixby, OK 74008

Call to Order

Chairman

Roll Call

Secretary

Consent Agenda

- 1) Consider and approve the minutes from the Planning Commission Meeting held on August 18, 2025.
- 2) Consider and approve the execution of an Addendum to the Boardwalk on Memorial Plat No. 5717 to amend Section II (C) - Development Standards.

Public Hearing

- 1) Discussion, consideration, and possible action for Final Plat BXPT-23.17 FP, including a Landscaping Plan for the overall development, submitted for South County Industrial Park, a proposed industrial development located near the 14100 block of Kimberly-Clark Place.
- 2) Discussion, consideration, and possible action to approve a Lot Split, Case Number BXLS-25.02, for a property located on the south side of East 161st Street, approximately 660 feet east of South Riverview Drive in the City of Bixby.
- 3) Discussion, consideration, and possible action to approve a Lot Split, Case Number BXLS-25.04, for Chick-fil-A North located at 10437 S Memorial Drive in the City of Bixby.

- 4) Discussion, consideration, and possible action to approve a Lot Combo, Case Number BXLC-25.04 for Chick-fil-A North located at 10437 S Memorial Drive in the City of Bixby.
- 5) Discussion, consideration, and possible action to approve a Site Plan, Case Number BXSP-25.01, for an Ice Vending Machine to be located on the Northwest Corner of East 131st Street and South Memorial Drive.

New Business

Adjournment

Notice of Posting

This notice and agenda were posted on the bulletin board on September 12, 2025, by 6:00 p.m. at the Bixby Municipal Building, located at 111 N Cabaniss Ave., Bixby, OK 74008.

Respectfully Submitted

Gladys Gill
Assistant Planner I

For Special Accommodations

Individuals requiring special accommodations to participate in this meeting must contact Shannon Duran, City Clerk, at 111 N Cabaniss Ave., Bixby, Oklahoma, 918-366-4430 or via Email: SDuran@bixbyok.gov at least 48 hours before the meeting. TDD users must contact Oklahoma Relay at 1-800-722-0353, and voice calls should be made to 1-800-522-8506 to facilitate communication between hearing telephone users and TDD users.

Please Note: All cell phones and pagers must be turned off or operated silently during all meetings.

21 O.S. Section 280 provides the following: A. It is unlawful for any person, alone or in concert with others and without authorization, to willfully disturb, interfere or disrupt state business, agency operations or any employee, agent, official or representative of the state. B. It is unlawful for any person who is without authority or who is causing any disturbance, interference or disruption to willfully refuse to disperse or leave any property, building or structure owned, leased or occupied by state officials, employees, agents or representatives or used in any manner to conduct state business or operations after proper notice by a peace officer, sergeant-at-arms, or other security personnel. C. Any violation of the provisions of this section shall be a misdemeanor punishable by imprisonment in the county jail for a term Oklahoma Statutes - Title 21. Crimes and Punishments Page 94 of not more than one (1) year, by a fine not exceeding One Thousand Dollars (\$1,000.00), or by both such fine and imprisonment. D. For purposes of this section, "disturb, interfere or disrupt" means any conduct that is violent, threatening, abusive, obscene, or that jeopardizes the safety of self or others.

Planning Commission Meeting Minutes

Bixby Municipal Building
111 N. Cabaniss Ave. Bixby, OK 74008
August 18, 2025 at 6:00 PM

Call to Order

Vice Chair Josh Nave opened the Planning Commission meeting at 6:06 PM.

Roll Call

Secretary Gladys Gill called the roll, and the following were present:

Members Present

Josh Nave, Vice Chair
Tom Holland, Commissioner
Lance Whisman, Commissioner
Erik Covey, Commissioner

Staff Present

John Hammons, City Attorney
Gladys Gill, Secretary
Shannon Duran, City Clerk

Oath of Office

Administer the Oath of Office to Eric Covey as a member of the Planning Commission.

City Clerk Shannon Duran administered the Oath of Office to Eric Covey as a member of the Bixby Planning Commission.

Consent Agenda

Consider and approve the minutes from the Planning Commission Meeting held on July 21, 2025.

Vice Chair Nave called for a motion to approve the minutes from the July 21, 2025, meeting of the Planning Commission.

Commissioner Holland made the motion to approve, which was seconded by Commissioner Whisman. The vote results were as follows:

Motion carried: 4-0

Ayes: Holland, Whisman, Nave, Covey

Nays: 0

Consider and approve the execution of an Addendum to the Boardwalk on Memorial Plat No. 5717 to amend Section II (C) - Development Standards.

Vice Chair Nave pulled Item 2 from the consent agenda for clarification.

Bixby resident Christie Rooney spoke before the board to voice her concerns about the irregularities of this property and provided some background information.

A discussion ensued about whether it was appropriate for the board to approve such an amendment. The Vice Chair Nave asked to pull item 2.

No action taken by the Planning Commission on item 2.

Public Hearing

Discussion, consideration, and possible action for Final Plat BXPT-23.17 FP, submitted for South County Industrial Park, a proposed industrial development located near the 14100 block of Kimberly-Clark Place.

At the applicant's request, Item 1 has been postponed.

Discussion, consideration, and possible vote to approve Preliminary Plat BXPT-25.06 for the Bixby Performing Arts Center, a proposed development located at 50 North Montgomery Street in Downtown Bixby.

Vice Chair Nave introduced Item 2 on the agenda for discussion and consideration.

Staff presented the Preliminary Plat. During the public hearing, resident Christie Rooney inquired about parking and how the bond money approved by Bixby residents is being utilized. Staff could not answer questions pertaining to bond money, but did mention that parking for the PAC would take place near and around the PAC.

Commissioner Holland made a motion to approve, which was seconded by Commissioner Whisman. The vote results were as follows:

Motion carried: 4-0

Ayes: Holland, Whisman, Covey, Nave

Nays: 0

Discussion, consideration, and possible vote to approve Rezone Case BXZO-25.06, a request to rezone approximately 37 acres from Agriculture (AG) to Residential Single-Family (RS-2.5), for a proposed gated residential development referred to as Central Park on Mingo located approximately 1/4 mile south of East 121st Street South and east of South Mingo Road.

Vice Chair Nave introduced Item 3 on the agenda for discussion and consideration.

Staff provided an overview of the proposed project, which included zoning, PUD, and Preliminary Plat

Details. Megan Pasco, from Tanner Consulting, provided further details. Commissioner Holland asked about the use of cementitious board and the possibility of reducing the percentage. Ms. Pasco stated that the developer is not currently looking to reduce the percentage.

During the Public Hearing, several residents from Heritage Park Estates and Chisholm Ranch II expressed concerns regarding flooding and drainage issues in the area, deviation of bulk and area for RS-2.5, the preservation of land, school overcrowding, traffic along Mingo, and the potential impact on property taxes.

The applicant addressed each concern raised by the residents. They clarified that the development plans include engineered drainage solutions designed to meet City standards, ensuring that no adverse impacts would occur to neighboring properties. With respect to the RS-2.5 deviations, the applicant explained how the proposed lot sizes and layouts were consistent with surrounding developments and intended to preserve a balance of density and open space. Regarding school capacity, the applicant acknowledged the concern but stated that school enrollment decisions fall under the jurisdiction of the local school district, and the developer has no authority to coordinate or make commitments on this matter. Regarding traffic and property taxes, the applicant noted that growth and market conditions may impact these issues, but emphasized that the proposed development would contribute positively to the City's overall tax base and community growth.

Commissioner Holland made a motion to approve the zoning. Commissioner Whisman seconded the motion. The vote results were as follows:

Motion carried: 4-0

Ayes: Holland, Whisman, Covey, Nave

Nays: 0

Discussion, consideration, and possible vote to approve Planned Unit Development Case BXPUD-25.02, which encompasses approximately 37 acres for a proposed gated residential development referred to as Central Park on Mingo, located approximately 1/4 mile south of East 121st Street South and east of South Mingo Road.

Vice Chair Nave asked for a motion on item 4.

Commissioner Holland made a motion to approve the PUD with the condition that cementitious fiber be limited to a maximum of 25%, excluding window trim, doors, and decorative accents. Motion was seconded by Whisman. The vote results were as follows:

Motion carried: 4-0

Ayes: Holland, Whisman, Covey, Nave

Nay: Covey

Discussion, consideration, and possible vote to approve a Preliminary Plat BXPT-25.05, submitted for Central Park on Mingo, a proposed gated

residential development located approximately 1/4 mile south of East 121st Street South and east of South Mingo Road.

Vice Chair Nave asked for a motion on item 5.

Commissioner Holland made a motion to approve the Preliminary Plat. Commissioner Whisman seconded the motion. The vote results were as follows:

Motion carried: 3-1

Ayes: Holland, Whisman, Nave

Nays: Covey

Discussion, consideration, and possible vote to approve Comprehensive Plan Amendment Case No. BXCP-25.02, pertaining to approximately 151 acres, to amend the land use designation from Industrial and Commercial to Commercial.

Vice Chair Nave introduced Item 6 on the agenda for discussion and consideration.

Staff gave an overview of a Comprehensive Plan Amendment, Rezoning, Planned Unit Development (PUD), and Preliminary Plat associated with the proposed development. During the deliberations, the Commission inquired about the proposed building materials, with an emphasis on durability and construction quality, and further sought clarification regarding the restricted uses contemplated within the PUD.

Upon conclusion of the discussion, the Planning Commission recommended that additional conditions be imposed as part of the development standards. Specifically, the Commission recommended the express prohibition of sexually oriented businesses and marijuana-related uses within the boundaries of the proposed development. Further, the Commission recommended that all street-facing structures be constructed with one hundred percent (100%) masonry to ensure architectural consistency and promote a cohesive and high-quality streetscape.

Said recommendations are to be incorporated into the applicant's development standards and reflected within the PUD documentation, subject to further review and final consideration by the City Council.

Vice Chair Nave made a motion to approve the Comprehensive Plan Amendment. Commissioner Holland seconded the motion. The vote results were as follows:

Motion carried: 4-0

Ayes: Nave, Holland, Whisman, Covey

Nays: 0

Discussion, consideration, and possible vote to approve Rezone Case BXZO-25.08, a request to rezone approximately 151 acres from Agriculture (AG) to Commercial General (CG), for a proposed commercial development

referred to as Spartan Creek located approximately 1/4 mile west of South Memorial Drive and north of East 151st Street South.

Vice Chair Nave made a motion to approve the Rezone Case BXZO-25.08. Commissioner Holland seconded the motion. The vote results were as follows:

Motion carried: 4-0

Ayes: Nave, Holland, Whisman, Covey

Nays: 0

Discussion, consideration, and possible vote to approve Planned Unit Development Case BXPUD-25.03, which encompasses approximately 151 acres for a proposed commercial development referred to as Spartan Creek, located approximately 1/4 mile west of South Memorial Drive and north of East 151st Street South.

Vice Chair Nave made a motion to approve PUD Case BXPUD-25.03, which includes a prohibition on sexually oriented businesses and marijuana-related uses within the boundaries of the proposed development, and also recommended that all street-facing structures be constructed entirely of masonry, specifically requiring one hundred percent (100%) masonry. Commissioner Holland seconded the motion. The results of the vote were as follows:

Motion carried: 4-0

Ayes: Nave, Whisman, Holland, Covey

Nays: 0

Discussion, consideration, and possible vote to approve a Preliminary Plat BXPT-25.07, submitted for Spartan Creek, a proposed commercial development located approximately 1/4 mile west of South Memorial Drive and north of East 151st Street South.

Vice Chair Nave made a motion to approve the Preliminary Plat BXPT-25.07. Commissioner Holland seconded the motion. The vote results were as follows:

Motion carried: 4-0

Ayes: Nave, Holland, Whisman, Covey

Nays: 0

New Business

No New Business to discuss.

Adjournment

The meeting was adjourned at 9:05 PM.

Consent Agenda Item Commentary

Item Title

Consider and approve the execution of an Addendum to the Boardwalk on Memorial Plat No. 5717 to amend Section II (C) - Development Standards.

Background

The subject property, known as the *Boardwalk on Memorial* and recorded as Plat No. 5717 on August 19, 2003, includes a Deed of Dedication and Restrictive Covenants governing land use. Section II(C) of the original plat placed restrictions on *Development Area B* that limit the allowable uses of the site.

The current property owner, CCWOF1D LLC, has requested an Addendum to Plat to correct and amend these restrictions. The purpose of the amendment is to remove the existing restrictions in Section II(C) and restate the section to reflect “None,” thereby eliminating previously recorded limitations.

Key Issues

- **Correction of Restrictions**
 - The original plat included restrictive covenants on Development Area B that are no longer consistent with current development plans.
 - The Addendum removes those restrictions and replaces them with “None.” Addendum to Plat (Bixby)
- **Consistency with City Review**
 - Both the City of Bixby and the Bixby Planning Commission are signatories to the Addendum, ensuring alignment with local zoning and planning objectives.
- **Impact on Marketability and Development**
 - Removal of these restrictions clears title conflicts, ensuring that the property may be conveyed without limitation inconsistent with intended development.
 - Recording the Addendum ensures future owners are bound by the updated plat records.
- **Public Recordation**
 - The Addendum will be recorded in Tulsa County to serve as a permanent correction and notification of the updated restrictions.

Staff Recommendation

Staff finds that the requested Addendum to Plat is appropriate to correct and update existing restrictions, and that it maintains consistency with the City’s planning objectives. Staff recommends Approval of the Addendum to Plat for *Boardwalk on Memorial*, amending Section II(C) of the recorded plat to remove the existing restrictions.

**ADDENDUM TO THE BOARDWALK ON MEMORIAL PLAT
(Amendment to Section II(C) – Use Restrictions)**

This Addendum to Plat (the “Addendum”) is made this ___ day of _____, 2025, by CCWOF1D LLC, a Delaware limited liability company (“Development Area B Owner”), amends that certain plat entitled *The Boardwalk on Memorial*, recorded on August 19, 2003, in the official records of Tulsa County, Oklahoma as Plat No. 5717, Document No. 03124410, in Book 7103, Page 1689 (the “Plat”) attached hereto as Exhibit A.

RECITALS

WHEREAS, the Plat includes a Deed of Dedication and Restrictive Covenants governing the real property described therein; and

WHEREAS, Section II(C) of the Plat includes certain use restrictions (the “Use Restrictions”); and

WHEREAS, Development Area B Owner, the City of Bixby, and the Bixby Planning Commission desire to amend said Use Restrictions to permit development otherwise prohibited under the original language.

AMENDMENT

NOW, THEREFORE, pursuant to applicable law and with the consent of all required signatories, including the Development Area B Owner, the City of Bixby, and the Bixby Planning Commission, the parties hereby amend and restate the Plat as follows to remove the Use Restrictions:

Section II(C) – Development Standards - Development Area B is hereby amended and restated in its entirety to read as follows:

“Development Area B being part of Lot 1 and graphically depicted on the accompanying plat shall be subject to the following restrictions and limitations:

None.”

This Addendum may be executed in multiple counterparts, each of which shall be deemed an original, and all of which together shall constitute one and the same instrument. This Addendum shall be recorded in the official records of Tulsa County, Oklahoma, and shall be binding upon and inure to the benefit of all current and future owners of the real property subject to the Plat.

(Signature Pages to Follow)

IN WITNESS WHEREOF, the undersigned have executed this Addendum as of the date first written above.

DEVELOPMENT AREA B OWNER:

CCWOF1D LLC,
a Delaware limited liability company

By: _____

Name: Austin J. Osborne

Title: CEO

STATE OF IDAHO

COUNTY OF ADA

On _____, before me, _____,
Notary Public, personally appeared _____,
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity on behalf of the entity, and that by his signature on the instrument, the entity upon behalf of which the person acted executed the instrument.

WITNESS my hand and official seal.

(SEAL)

Notary Public

CITY OF BIXBY:

City of Bixby

By: _____

Name:

Title:

STATE OF OKLAHOMA

COUNTY OF TULSA

On _____, before me, _____,
Notary Public, personally appeared _____,
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
duly authorized representative of the City of Bixby, and acknowledged that he/she executed
the same on behalf of the City, and that by his/her signature, the City executed the
instrument.

WITNESS my hand and official seal.

(SEAL)

Notary Public

BIXBY PLANNING COMMISSION:

Bixby Planning Commission

By: _____

Name:

Title:

STATE OF OKLAHOMA

COUNTY OF TULSA

On _____, before me, _____,
Notary Public, personally appeared _____,
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
duly authorized representative of the Bixby Planning Commission, and acknowledged that
he/she executed the same on behalf of the Commission, and that by his/her signature, the
Planning Commission executed the instrument.

WITNESS my hand and official seal.

(SEAL)

Notary Public

Exhibit A

Plat

[Please see attached.]

**Byrnes Mini-Storages
Bixby, Oklahoma**

June 1, 2013

Prepared For:

**Helene V. Byrnes Foundation
12345 So. Memorial Dr., #108
Bixby, Oklahoma 74008**

CITY OF BIXBY

FEB 21 2014

RECEIVED

By Enyat

Prepared By:

**J.R. Donelson, Inc.
12820 So. Memorial Dr., Office 100
Bixby, Oklahoma 74008**

*Final As
Approved*

Byrnes Mini-Storages, Planned Unit Development No. 77

Byrnes Mini-Storages

Planned Unit Development Number 77

Introduction.

Byrnes Mini-Storages is planned for a Mini-Storage and Office development. The overall site totals 3.4616 acres. The site is located on the east side of South Memorial Drive and includes the east parcel of "The Boardwalk on Memorial" and Lot 11, Block 2, Southern Memorial Acres No.2. See Exhibit A, which is a Preliminary Plat of the Site.

As depicted on Exhibit B to this Planned Unit Development (PUD), the proposed PUD consists of two development areas. Development Area A will be used as Mini-Storage and Development Area B will remain residential. Development Area B will serve to provide a secondary, emergency only access drive for Development Area A. The legal description for this PUD is shown in Exhibit B1.

Zoning.

The Site, Development Area A currently consists of two parcels. The eastern parcel will be known as Lot 2, Block 1 and is presently zoned "AG", (Agriculture District). The western parcel will be known as Lot 1, Block 1 and is presently zoned "AG" and is a part of "The Boardwalk on Memorial", PUD 29A. An underlying zoning change is requested to "OL", (Office Low Intensity District). Development Area B will be known as Lot 3, Block 1 and is presently zoned "RS-2" (Residential District) and will remain "RS-2". Attached is Exhibit C, which is a map from INCOG that identifies the existing zoning of the site and surrounding area. All uses by right of "OL", (Office Low Intensity District) zoning will be allowed in Development Area A as well as Use Unit 16, mini-storage business use. All uses by right of "RS-2" will be allowed in Development Area B. The underlying zoning change application is case no. BZ-365.

The Comprehensive Land-use Plan.

The Site is located within the jurisdiction of the Bixby Comprehensive Plan 2001-2020. The Helene V. Byrnes Foundation is requesting the Bixby Comprehensive Plan be modified to allow the "OL", Office Low Intensity District zoning classification be allowed on this property. It is presently defined as a residential area by the Comprehensive Plan.

Detailed Site Plan.

Prior to building permit issuance a Detailed Site Plan, adequate to demonstrate compliance with applicable standards and including details on proposed parking and landscape plans, shall be submitted for Planning Commission approval as required by the Zoning Code Section 11-7E-8.B.5 and this PUD.

Site Soil Conditions

The Soil Survey of Tulsa County, Oklahoma list the soil for this site to be "Choska very fine loam". The site is nearly level and has moderately permeable soil.

Existing Easements in Development Area A.

The open space of the re-platted portion of "The Boardwalk on Memorial" will either abandon, vacate or modify existing utility easements filed with the "The Boardwalk on Memorial" plat. A modification / waiver for the 17.5' perimeter easement will be requested upon submittal of the preliminary plat.

Modifications to the Approved PUD.

Modifications to the approved Byrnes Mini-Storages, PUD 77 will be either a "Minor" or "Major" amendment to the PUD and will require Bixby City Council approval.

City Department Requirements.

Standard requirements of the City of Bixby Fire Marshal, City Engineer and City Attorney shall be met. The 30' standard of Use Unit 16 ministorage is reduced by this PUD to 26' wherever permitted by Fire Marshal.

**B. DEVELOPMENT AREA B
LAND AREA.**

Gross: (includes 1/2 abutting ROW)	0.6356 acres	27,690 square feet
Net:	0.6018 acres	26,215 square feet

PERMITTED USES (to be allowed by right):

Those uses permitted are all the Use Units allowed by right within the "RS-2" zoning district of the City of Bixby Zoning Code; and all accessory uses permitted in the underlying zoning district and in the Planned Unit Development Chapter of the City of Bixby Zoning Code.

MINIMUM FRONTAGE	65.83 lin.ft.
MAXIMUM PROPOSED UNITS	1 units
MAXIMUM BUILDING HEIGHT	35 feet
MINIMUM BUILDING SETBACKS	
Pursuant to Section 11-7B-4 Table 3, of the City of Bixby Zoning Code.	
LANDSCAPE/GREEN AREA	minimum 3,932 sf 15% gross land area

C. DEVELOPMENT STANDARDS FOR ALL DEVELOPMENT AREAS

1. LANDSCAPED AREA AND SCREENING

- a. Preliminary landscaping and screening area represented on Exhibit G, Development Area A - Any building wall visible from an adjacent residential zoned property will be screened by a 6'-0" concrete block or brick wall. Screening any portion of the North or South property line will be accomplished by utilizing the exterior wall of the building, which will be either brick or split faced concrete block and/or a 6'-0" concrete block or brick wall and will be a substitute for a screening fence. This is shown on Exhibit G. There will be a 4'-0" landscape area south of the south building adjacent to the south property line. Constructing the south building 4'-0" north of the south property line will allow 14 trees situated along the south property line to remain. Development Area B -- The existing trees and landscaping will remain on the site. No screening fences area required. The existing 6' wooden privacy fence west of this site on "The Boardwalk on Memorial" will be replaced with a concrete block wall similar to the existing wall on the east side of "The Boardwalk on Memorial."
- b. A 4'-0" easement described as, "Existing Tree Preservation and Landscape Easement", will be shown on the south 4'-0" of the entire Development Area A.
- c. Three trees are required along the west property line. Two trees are required along the east property line. One tree is required along the north property line. Eight trees are required along the south property line. A total of 24 trees, 6" in diameter or larger will be preserved on the site. The preserved tree credit will be equal to 48 trees. These are shown on Exhibit G. Fourteen trees are required and a 48 tree count is provided. No trees will be planted.
- d. The south property line area will have a landscape area of 4'-0" x 723.62', which equals 2,894.48 sf. The total landscape area, including the detention area is 18,654.28 sf or 15.15% of Development Area "A".
- e. Exhibit G shows the landscape areas and percentages for each property line.

2. SIGNS

- a. Signage shall comply with the FUD Chapter (Chapter 7-1). One (1) ground monument sign will be permitted in Development Area A and shall not exceed 15'-0" in height.
- b. Flashing signs, changeable copy signs, running light or twinkle signs, animated signs, revolving or rotating signs with movement shall be prohibited in this FUD for Development Areas A and B, except as may be permitted by the Bixby Planning Commission as part of the approved detail sign plan.

3. LIGHTING

- a. Lighting used to illuminate the development area shall be so arranged as to shield and direct the light away from adjacent properties. Building-mounted lights will not exceed 12 feet in height.

4. TRASH, MECHANICAL AND EQUIPMENT AREAS

- a. There shall be no storage of recyclable materials, trash or similar material. All trash, ground supported mechanical and equipment areas, shall be screened from adjacent properties.

5. SITE GRADING

- a. According to the adopted and effective FEMA floodplain maps, the site has some amount of Flood Zone "AE" 100 year floodplain along the north line of Development Area A. An Earth Change / Floodplain Development permit will be requested and will determine if and how much area is in the "AE" zone. The Earth Change/ Floodplain Development permit will be approved by the Bixby City Council to allow site grading as proposed for this development. An Elevation Certificate by an Oklahoma Register Professional Land Surveyor will be required prior to the issuance of a Building Permit / Floodplain Development Permit for the construction for the foundation of each building within Development Area A, which Elevation Certificate must demonstrate the 100-year Base Flood Elevation for the building site and the existing finished grade. A second Elevation Certificate will be required upon the completion of the foundation of each building in Development Area A prior to the issuance of a Building Permit / Flood Plain Development Permit for the balance of the building and must demonstrate the First Finish Floor of each structure's foundation is at least one (1) foot above the 100 year Base Flood Elevation. Alternately, the Elevation Certificate requirement may be avoided if the lot is fully removed from the adopted and effective FEMA floodplain maps at the time a building permit is sought.

The site will be graded so that storm water runoff flows to surface area drains located in the drive lanes, between the mini-storage buildings. The storm water will flow to a proposed dry storm water detention facility in the northeast portion of Lot 2. An existing French drain located approximately 2.5 feet north of the south property line presently collects storm water runoff along the south line of Development Area A and directs it to the Fry Ditch. The French drain will remain in place. Storm water runoff along the east boundary of Development Area A will be collected and directed to the proposed detention facility in the northeast portion of Lot 2. A Professional Engineer registered in the State of Oklahoma shall certify to the appropriate City official that all required storm water drainage requirements serving the Site have been installed in accordance with the approved plans prior to issuance of an Occupancy Permit on that lot. During construction on the property, the owner will provide adequate and reasonable erosion control methods, and after construction, will provide and maintain vegetative, landscaped ground cover so that soil does not erode on or from the property.

6. TOPOGRAPHY AND UTILITIES

- a. Topography. Topography of the Site is depicted on Exhibit F.
- b. Utilities. Water and sanitary sewer service will be provided by the City of Bixby. An existing water line is located on the east side of South Memorial Drive. A water line will be installed connecting the water line along South Memorial Drive to the existing water line along So. 85th Place. An existing sanitary sewer line is located running parallel to the south property line. A sanitary sewer line will be installed along the west property line and extended to the north property line. Storm water runoff will be collected in area inlets and piped to the on site detention facility.

7. ACCESS, CIRCULATION AND PARKING

- a. Access, traffic circulation and parking are depicted on Exhibit B. All drives and parking areas within the PUD shall be privately owned and maintained.
- b. There will be two (2) access gates along the west property line of Development Area A. One gate access to the Byrnes Mini-Storages for is for customers. The 26' wide gated emergency-only ingress/egress through Lot 11, Block 2, Southern Memorial Acres No. 2 to South 85th Place E. will be accessed using a Knox-switch.
- c. Two (2) mutual access easements across "The Boardwalk on Memorial", will allow access to "Byrnes Mini-Storages". The mutual access easements will be filed at the Tulsa County Court House prior to the issuance of an occupancy permit for buildings in "Byrnes Mini-Storages".
- d. The access to the site, but un-built, So. 85th E. Ave. will not be allowed in the PUD.
- e. A 15 foot Roadway Easement, Doc. No. 2013018388, has been filed on Lot 12, Block 2, Southern Memorial Acres No. 2, allowing emergency access to South 85th E. Place. The south 20 feet of the existing Lot 11, Block 2, Southern Memorial Acres No.2, which will be Lot 3, "Byrnes Mini-Storage", will be dedicated as a mutual access easement. Eighteen (18') feet of the proposed emergency ingress/egress will be located on Lot 3, Byrnes Mini-Storage and eight (8') feet will be located on Lot 11, Block 2, Southern Memorial Acres No. 2.
- f. Two (2) mutual access easements will allow cross access between Lots 1 and 2, Development Area A.

8. RESTRICTIVE COVENANTS: ENFORCEMENT

- a. Restrictive covenants will be adopted and recorded for the PUD as platted. The hours of daily operation will be from 6:00 am to 10:00 pm. There will be no space used as a residential dwelling. A security system will be installed for the project to monitor client movement within the facility and serve as a deterrent for non clients.

9. SCHEDULE OF DEVELOPMENT

Development will commence upon the approval of the PUD, preliminary plat and the construction drawings by the appropriate government agencies. The proposed development schedule is as follows :

- | | |
|--|------------|
| a. Earth Change Permit | 10/15/2013 |
| b. Preliminary Plat | 10/22/2013 |
| c. Approval of construction plans: | 12/1/2013 |
| d. Final Plat / Detailed Site Plan | 12/20/2013 |
| e. Installation of site erosion control: | 12/24/2013 |
| f. Begin site grading: | 1/5/2014 |
| g. Begin building construction: | 2/1/2014 |

Exhibits

Exhibit A.	Conceptual Preliminary Plat.
Exhibit B.	Conceptual Site Plan.
Exhibit B-1.	PUD Site Legal Description.
Exhibit C.	Existing Area Zoning.
Exhibit D.	FEMA Firm Map.
Exhibit E.	Aerial of the Site.
Exhibit F.	Topography of Site.
Exhibit G.	Landscape Plan.

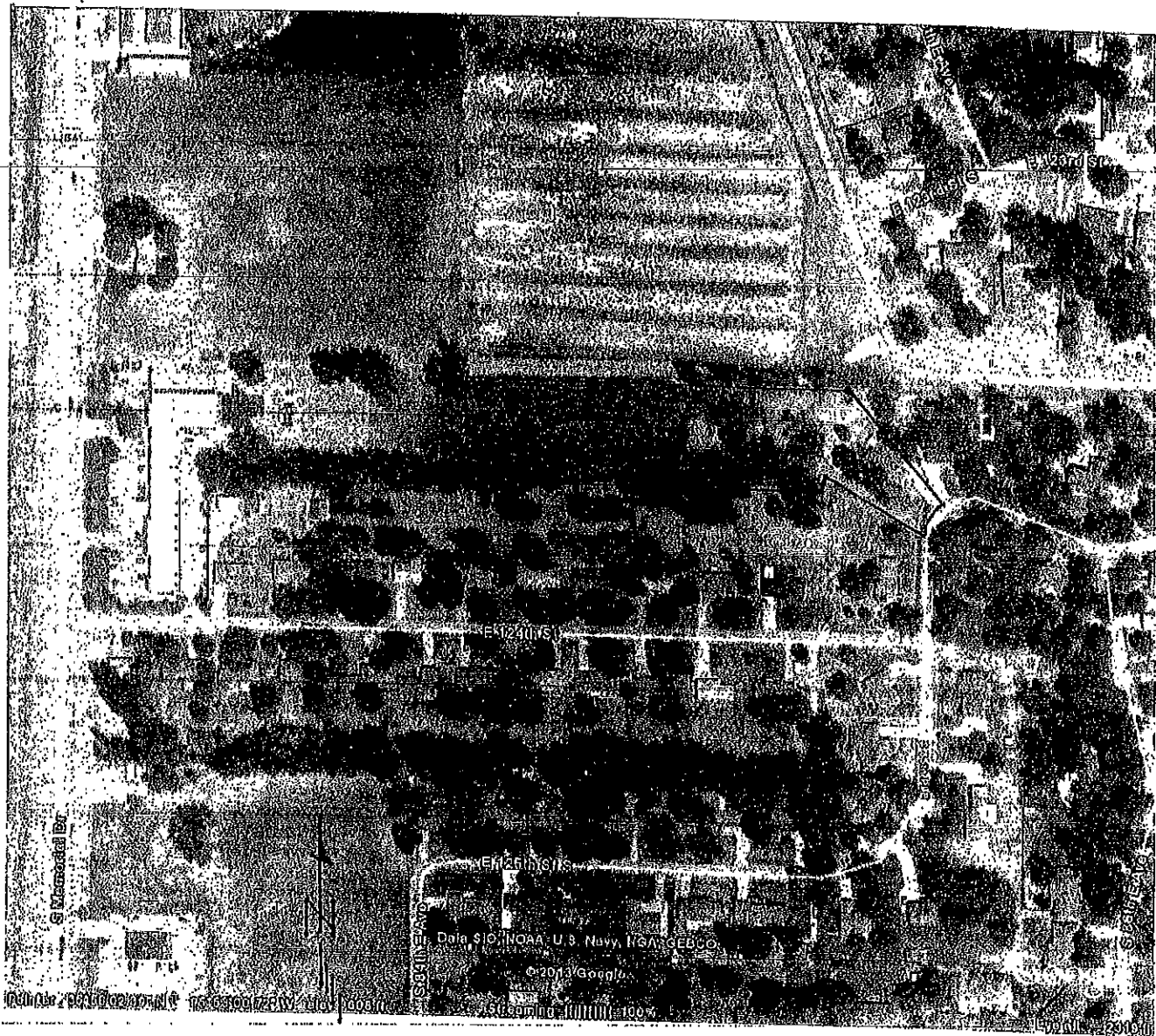
EXHIBIT B-1

PUD SITE LEGAL DESCRIPTION

A tract of land situated in a part of the NW/4 , Section 1, T-17-N, R-13-E, of the Indian Base and Meridian, Tulsa County, State of Oklahoma, being more particularly described by metes and bounds, by Charles K. Howard, LS 297, as follows, to-wit:

Beginning at the northeast corner of "The Boardwalk on Memorial", PUD 29; thence with an assumed bearing of S 89°59'21"E being the north line of "The Boardwalk on Memorial" a distance of 251.74 feet to the northwest corner of Lot 11, Block 2, Corrected plat of Southern Memorial Acres No. 2; thence continuing S 89°59'21"E an along the north line of said Lot 11, Block 2 a distance of 90.00 feet to the northeast corner of said Lot 11, Block 2; thence S 26°30'37"E and along the east line of said Lot 11, Block 2 a distance of 206.32 feet; thence along a curve to the left with a radius of 100.00 feet and a delta angle of 37°43'04" for 65.83 feet, with a chord bearing of S35°48'20"W and a chord distance of 64.65 feet; thence N 54°52'56"W a distance of 177.62 feet; thence S 00°24'08"W a distance of 35.00 feet; thence N 89°59'21"W a distance of 471.88 feet; thence N 00°00'39"E a distance of 170.00 feet to the north line of "The Boardwalk on Memorial"; thence S 89°59'21"E and along the north line of "The Boardwalk on Memorial" a distance of 473.04 feet to the point of beginning and containing 3.428 acres more or less.

PUD SITE LEGAL DESCRIPTION



Byrnes Mini-Storages, Planned Unit Development No. 77

EXHIBIT E
AERIAL OF SITE

BYRNES MINI-STORAGES

ENGINEER/ARCHITECT
 W. D. HARRIS, INC.
 1001 W. 11th St.
 DALLAS, TEXAS 75204
 PHONE 868-4444
 FAX 868-4444

OWNER
 W. D. HARRIS, INC.
 1001 W. 11th St.
 DALLAS, TEXAS 75204
 PHONE 868-4444
 FAX 868-4444

1 PART OF LAND SHOWN IN THE MAP OF SECTION 1,
 T-17-N, R-13-E OF THE BROWN COUNTY AND
 BEING A PART OF A PARTIAL OF THE DONORSHIP ON
 RECORD AND LOT 11 BLOCK 2 SOUTHERN RAILROAD
 ADDED TO THE CITY OF BROWN COUNTY
 STATE OF OKLAHOMA

FIG. NO. 77

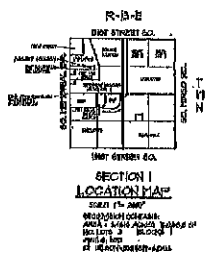
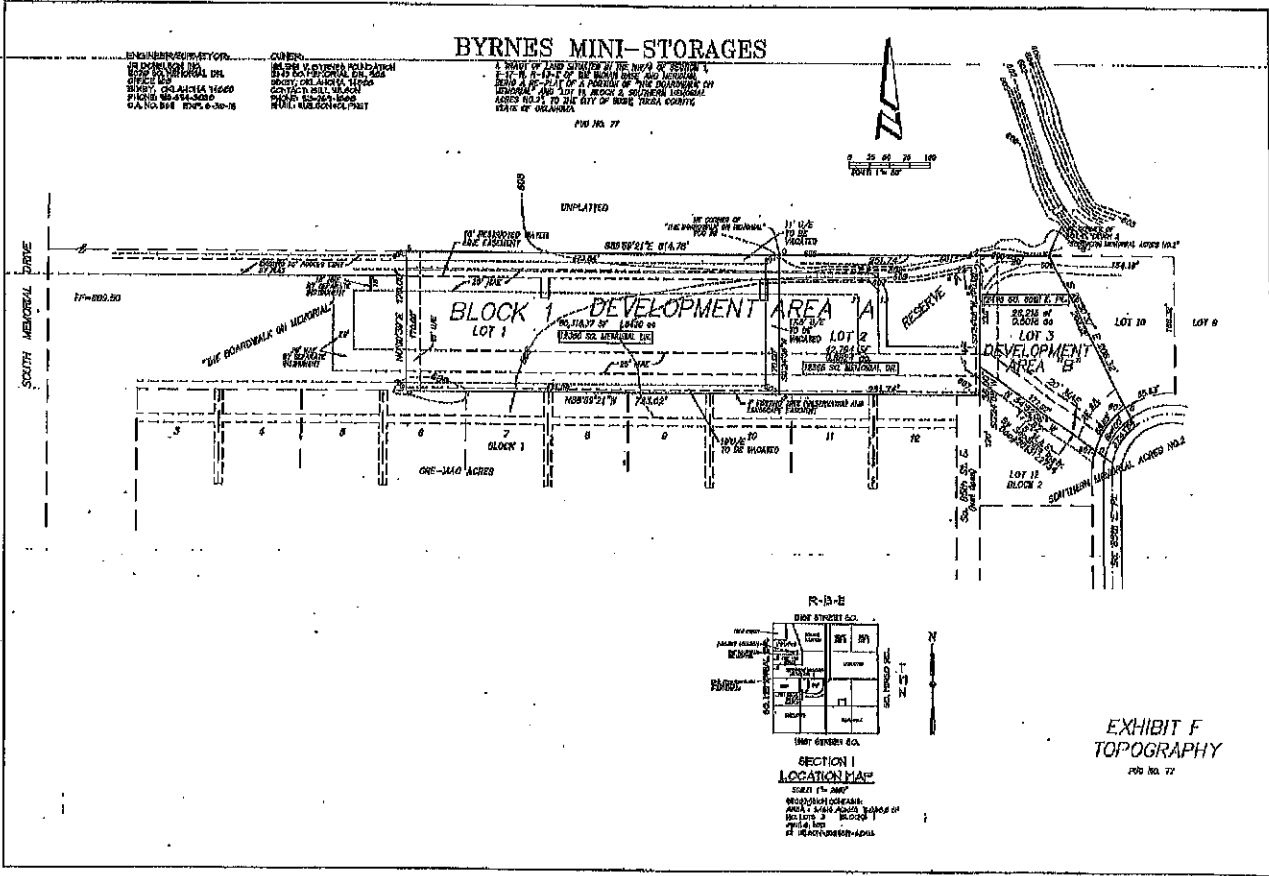
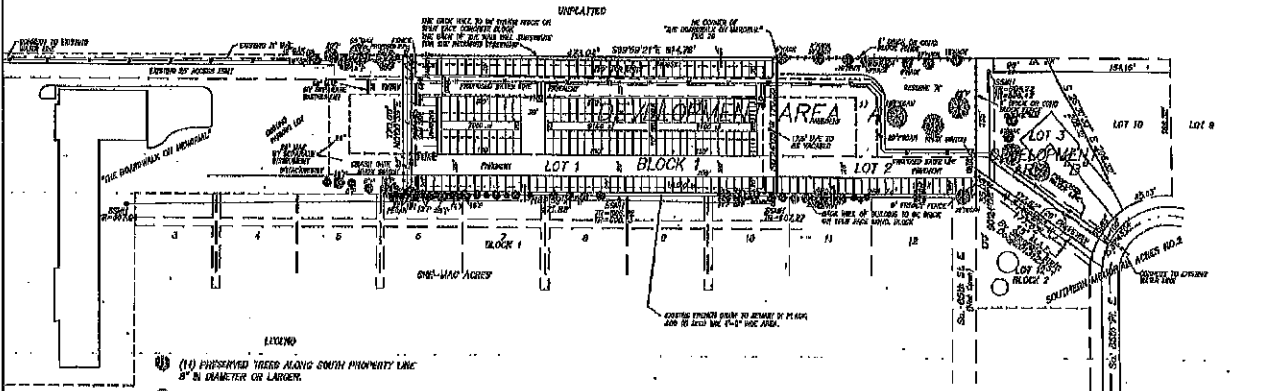


EXHIBIT F
 TOPOGRAPHY
 FIG. NO. 77

BYRNES MINI-STORAGES

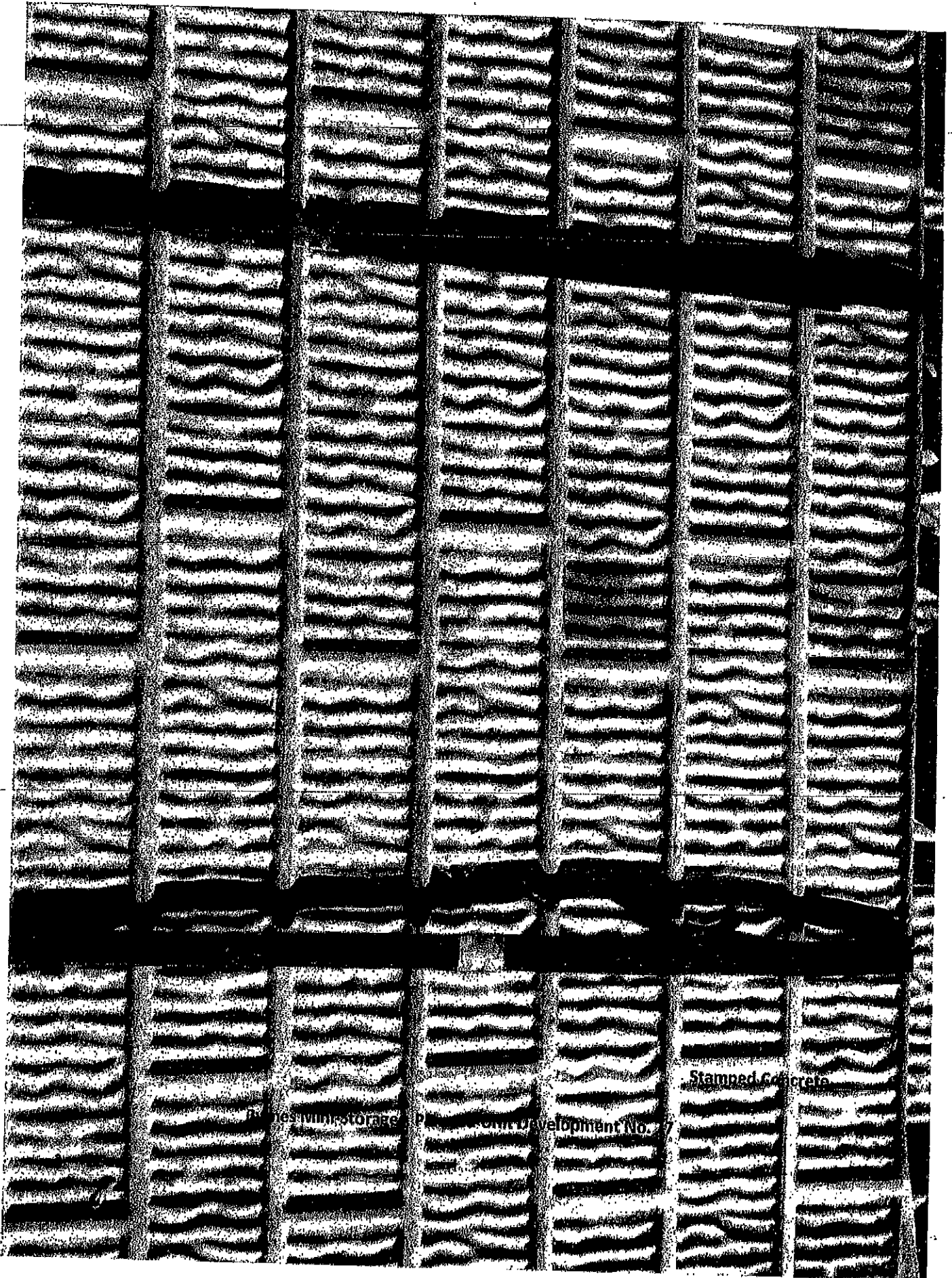
ENGINEER/SURVEYOR:
 W. D. BROWN, INC.
 1000 W. BROADWAY, SUITE 100
 DALLAS, TEXAS 75203
 PHONE: 972-251-2200
 FAX: 972-251-2200

CLIENT:
 BYRNES MINI-STORAGE
 1000 W. BROADWAY, SUITE 100
 DALLAS, TEXAS 75203
 PHONE: 972-251-2200
 FAX: 972-251-2200



- EXISTING**
- ① (1) PRESERVED TREES ALONG SOUTH PROPERTY LINE 6" IN DIAMETER OR LARGER.
 - ② (2) PRESERVED TREES ALONG NORTH PROPERTY LINE 6" IN DIAMETER OR LARGER.
 - ③ (2) PRESERVED TREES ALONG EAST PROPERTY LINE 6" IN DIAMETER OR LARGER.
 - ④ (4) PRESERVED TREES
 - (1) TREES REMOVED AND 1/4" OF PRESERVED TREES LARGER THAN 6" IS EQUAL TO 40 TREES.

TREE DESIGNATIONS:
 1/4" - 1/2" DIAMETER
 1/2" - 1" DIAMETER
 1" - 1 1/2" DIAMETER
 1 1/2" - 2" DIAMETER
 2" - 3" DIAMETER
 3" - 4" DIAMETER
 4" - 6" DIAMETER
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 3222" - 3228" DIAMETER
 3228" - 3234" DIAMETER
 3234" - 3240" DIAMETER
 3240" - 3246" DIAMETER
 3246" - 3252" DIAMETER
 3252" - 3258" DIAMETER
 3258" - 3264" DIAMETER
 3264" - 3270" DIAMETER
 3270" - 3276" DIAMETER
 3276" - 3282" DIAMETER
 3282" - 3288" DIAMETER
 3288" - 3294" DIAMETER
 3294" - 3300" DIAMETER
 3300" - 3306" DIAMETER
 3306" - 3312" DIAMETER
 3312" - 3318" DIAMETER
 3318" - 3324" DIAMETER
 3324" - 3330" DIAMETER
 3330" - 3336" DIAMETER
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 3342" - 3348" DIAMETER
 3348" - 3354" DIAMETER
 3354" - 3360" DIAMETER
 3360" - 3366" DIAMETER
 3366" - 3372" DIAMETER
 3372" - 3378" DIAMETER
 3378" - 3384" DIAMETER
 3384" - 3390" DIAMETER
 3390" - 3396" DIAMETER
 3396" - 3402" DIAMETER
 3402" - 3408" DIAMETER
 3408" - 3414" DIAMETER
 3414" - 3420" DIAMETER
 3420" - 3426" DIAMETER
 3426" - 3432" DIAMETER
 3432" - 3438" DIAMETER
 3438" - 3444" DIAMETER
 3444" - 3450" DIAMETER
 3450" - 3456" DIAMETER
 3456" - 3462" DIAMETER
 3462" - 3468" DIAMETER
 3468" - 3474" DIAMETER
 3474" - 3480" DIAMETER
 3480" - 3486" DIAMETER
 3486" - 3492" DIAMETER
 3492" - 3498" DIAMETER
 3498" - 3504" DIAMETER
 3504" - 3510" DIAMETER
 3510" - 3516" DIAMETER
 3516" - 3522" DIAMETER
 3522" - 3528" DIAMETER
 3528" - 3534" DIAMETER
 3534" - 3540" DIAMETER
 3540" - 3546" DIAMETER
 3546" - 3552" DIAMETER
 3552" - 3558" DIAMETER
 3558" - 3564" DIAMETER



Stamped Concrete

Business Storage Planning Development No. 77



Tulsa County Clerk - PAT KEY
 Doc # 2014016855 Page(s): 3
 Recorded 03/04/2014 at 09:39 AM
 Receipt # 457307 Fee \$17.00

South County Leader,
 City of Bixby, Tulsa County, Oklahoma
 _____, 2014)

RETURN TO:
 City of Bixby
 P.O. Box 70
 Bixby, Ok 74008

ORDINANCE No. 2127

CITY OF BIXBY, OKLAHOMA

AN ORDINANCE AMENDING ORDINANCE NO 272, APPROVING BZ-365 AND OL (OFFICE LOW INTENSITY DISTRICT) ZONING WITH SUPPLEMENTAL ZONING, PLANNED UNIT DEVELOPMENT # 77, AMENDING THE COMPREHENSIVE PLAN PER BCPA-9, AND REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH.

BE IT ORDAINED by the City Council of Bixby, Oklahoma:

SECTION 1. That the Comprehensive Plan Land Use Plan Map of the following described property, situated in the City of Bixby, County of Tulsa, State of Oklahoma:

A tract of land that is part of Lot 1 in Block 1 of "The Boardwalk on Memorial, an Addition to the City of Bixby, Tulsa County, Oklahoma, according to the Recorded Plat thereof, said tract of land being more particularly described as follows, to-wit: Starting at the Easternmost Southeast Corner of said Lot 1, said point shall also be the "Point of Beginning" of said tract of land; Thence N 89°59'21" W for 471.88'; Thence N 00°00'39" E for 170.00'; Thence S 89°59'21" E for 473.04'; Thence S 00°24'08" W for 170.00' to the "Point of Beginning" of said tract of land.

And

The East 256.23 feet of the North 170 feet of the North Half (N/2) of the Southwest Quarter (SW/4) of the Northwest Quarter (NW/4) of Section One (1), Township Seventeen (17) North, Range Thirteen (13) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof.

Property located: 12355 & 12365 S. Memorial Dr.

Be, and the same is hereby amended to remove the "Residential Area" specific land use designation.

SECTION 2. That the Zoning Classification of the following described property, situated in the City of Bixby, County of Tulsa, State of Oklahoma:

A tract of land that is part of Lot 1 in Block 1 of "The Boardwalk on Memorial, an Addition to the City of Bixby, Tulsa County, Oklahoma, according to the Recorded Plat thereof, said tract of land being more particularly described as follows, to-wit: Starting at the Easternmost Southeast Corner of said Lot 1, said point shall also be the "Point of Beginning" of said tract of land; Thence N 89°59'21" W for 471.88'; Thence N 00°00'39" E for 170.00'; Thence S 89°59'21" E for 473.04'; Thence S 00°24'08" W for 170.00' to the "Point of Beginning" of said tract of land.

And

The East 256.23 feet of the North 170 feet of the North Half (N/2) of the Southwest Quarter (SW/4) of the Northwest Quarter (NW/4) of Section One (1), Township Seventeen (17) North, Range Thirteen (13) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof.
Property located: 12355 & 12365 S. Memorial Dr.

Be, and the same is hereby amended to reflect the zoning of OL (Office Low Intensity District).

SECTION 3. That the Zoning Classification of the following described property, situated in the City of Bixby, County of Tulsa, State of Oklahoma:

A tract of land that is part of Lot 1 in Block 1 of "The Boardwalk on Memorial, an Addition to the City of Bixby, Tulsa County, Oklahoma, according to the Recorded Plat thereof, said tract of land being more particularly described as follows, to-wit: Starting at the Easternmost Southeast Corner of said Lot 1, said point shall also be the "Point of Beginning" of said tract of land; Thence N 89°59'21" W for 471.88'; Thence N 00°00'39" E for 170.00'; Thence S 89°59'21" E for 473.04'; Thence S 00°24'08" W for 170.00' to the "Point of Beginning" of said tract of land.

And

The East 256.23 feet of the North 170 feet of the North Half (N/2) of the Southwest Quarter (SW/4) of the Northwest Quarter (NW/4) of Section One (1), Township Seventeen (17) North, Range Thirteen (13) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof.

And

Lot Eleven (11), Block Two (2), SOUTHERN MEMORIAL ACRES NO. 2, a Subdivision in Tulsa County, State of Oklahoma, according to the Recorded Plat # 2794 thereof.

Property located: 12355 & 12365 S. Memorial Dr. and 12404 S. 85th E. Pl.

Be, and the same is hereby amended to reflect the Supplemental Zoning of Planned Unit Development (PUD) # 77 for "Byrnes Mini-Storages."

SECTION 4. That PUD 77 and its Outline Development Plan shall be subject to the development standards and conditions recommended by the City of Bixby Planning Commission in Case No. PUD 77, as set forth within the record and minutes of the Commission meeting of May 20, 2013, and approved by the City Council on the date of this ordinance.

SECTION 5. That the Outline Development Plan for PUD 77, consisting of text and exhibits dated as received February 19, 2014, on file with the City Clerk and located in the office of the City Planning Department, be and the same are incorporated into this ordinance by reference.

SECTION 6. That all Ordinances or parts of Ordinances in conflict herewith be, and the same are hereby repealed.

Adopted by a 3:2:0 vote of the City Council of the City of Bixby, Oklahoma, this 24th day of February, 2014.

Mayor *Ray Bow*

ATTEST:

APPROVED AS TO FORM:

Scott

CITY CLERK'S OFFICE
SEAL
INCORPORATED 1890
BIXBY * OKLAHOMA *

Robert Boulden

City Attorney

March 10, 2014 at 6:00 P.M.

CALL TO ORDER

MAYOR OR VICE-MAYOR

ROLL CALL

CITY CLERK

PLEDGE OF ALLEGIANCE

INVOCATION

CONSENT AGENDA

CITY CLERK'S REPORT

Consider and approve:

- a) Minutes for the Regular City Council meeting dated 02/24/2014.
- b) Proclamation proclaiming March 23-29, 2014 as "Arbor Week".
- c) Proclamation proclaiming March 28, 2014 as "Arbor Day".
- d) Denial of tort claim from David G. Smith.
- e) Sole source renewal of annual INCODE maintenance agreements for Call Center, Forms Overlay and Laserfiche Interface for \$3,853.17.
- f) Budget amendment to budget \$10,000 reimbursed from Oklahoma Emergency Management and for the expenditure of \$10,000 for various upgrades to Park Department's backhoe.
- g) Acknowledge receipt of Permit No. WL000072140081, Potable Water Line Extension to serve Quail Creek of Bixby, Facility No. 3007243.
- h) Acknowledge receipt of Permit No. SL000072140082, Sanitary Sewer Line Extension to Serve Quail Creek of Bixby, Facility No. S-20438.
- i) Acknowledge receipt of Permit No. SL000072140079, Sanitary Sewer Line Extension to Serve Quail Creek Villas of Bixby, Facility No. S-20438.

Easton	No
Guthrie	No
Bowen	Yes

Mayor Bowen said Item #3 on the Regular Agenda is:

Second Reading and discussion and consideration of an ordinance to amend Ordinance No. 272 to approve Comprehensive Plan Amendment BCPA-9, supplemental zoning PUD 77, and rezoning from AG to OL per BZ-365 for property located at 12355 and 12365 S. Memorial Dr. and 12404 S. 85th E. Pl.

Presented by: Erik Enyart

City Planner, Erik Enyart stated that this is the property to the south of the one we just considered, it is behind the Boardwalk on Memorial Shopping Center at 12355, this is a similar situation council has approved the PUD but not the ordinance, the ordinance is before you because we have the final PUD as approved by council. Vice-Mayor Easton asked Erik if this was the one we had the lengthy discussion on drainage; Erik stated yes. Vice-Mayor Easton asked Jared where are we at on this, City Engineer Jared stated since we are still in the PUD stage, the conversation is still where we left it and we don't have any additions design information.

Mayor Bowen asked for a motion on item #3. Councilman Todoroff made motion to approve, seconded by Vice-Mayor Easton. The vote was taken with the following results:

Carried 3-2

Todoroff	Yes
Easton	Yes
Loudermilk	No
Guthrie	No
Bowen	Yes

Mayor Bowen said Item #4 on the Regular Agenda is:

Discussion and consideration to approve applications for supplemental zoning PUD 82 and rezoning from AG to RS-2 per BZ-370 for approximately 18 acres in part of the SW/4 of the SW/4 of Section 35, T18N, R13E, addressed 6905 E. 121st St. S. & 11803 and 11809 S. Sheridan Rd.

Presented by: Erik Enyart

Others who spoke: Tom Wenrick of Wenrick Development Co, and Haynes Reynolds

City Planner, Erik Enyart stated there are 3 items on the agenda pertaining to this proposal; the first one is introduced as the application for rezoning and PUD, the ordinance and the emergency clause attachment those not ready, assuming approval we will bring those back to the next meeting. This PUD went to the Planning Commission on the 18th and did get a favorable recommendation, there were certain correction and modification, and conditions of approval to



Tulsa County Clerk - PAT KEY
 Doc # 2014024197 Page(s): 2
 Recorded 03/28/2014 at 03:19 PM
 Receipt # 461626 Fee \$15.00

South County Leader
 City of Bixby, Tulsa County, Oklahoma
 _____, 2014)

RETURN TO:
 City of Bixby
 P.O. Box 70
 Bixby, Ok 74008

ORDINANCE No. 2132

CITY OF BIXBY, OKLAHOMA

AN ORDINANCE CLOSING A UTILITY EASEMENT IN SECTION 01, TOWNSHIP 17-NORTH, RANGE 13-EAST, IN THE BOARDWALK ON MEMORIAL, A SUBDIVISION IN THE CITY OF BIXBY, STATE OF OKLAHOMA, ACCORDING TO RECORDED PLAT NO. 5717 THEREOF, AND DECLARING AN EMERGENCY.

WHEREAS, application has been made to close part of an easement in the City of Bixby, Oklahoma; and

WHEREAS, the request is reasonable and the City of Bixby, Oklahoma, has determined it will be in the best interest of its citizens that the concerned part of said easement be closed.

NOW THEREFORE, BE IT ORDAINED by the City Council of Bixby, Oklahoma:

SECTION 1. That the following described Utility Easement:

All of the Utility Easements platted and dedicated within Development Area B of Lot 1, Block 1, *The Boardwalk on Memorial*, a Subdivision in the City of Bixby, Tulsa County, State of Oklahoma, according to the Recorded Plat # 5717 thereof.
Property Located: 12345 S. Memorial Dr.

Be, and the same is hereby closed as a Utility Easement.

SECTION 2. That the City of Bixby retains the absolute right to reopen said easement without expense to the City of Bixby.

SECTION 3. The closing of said easement shall not affect the right to maintain, repair, reconstruct, operate, or remove utility, public service corporation or transmission company facilities existing therein, nor shall such closure affect private ways existing by operation of law.

SECTION 4. That because this Ordinance is essential to the proper and orderly growth of the City of Bixby, an Emergency is hereby declared to exist for the preservation of the Public Peace, Health and Safety, by reason whereof this Ordinance shall take effect and be in force immediately upon its passage and publication.

Adopted by a 4-1 vote of the City Council of the City of Bixby, Oklahoma, this 24th day of March, 2014, with Emergency Clause voted upon separately.

Bixby Ordinance No. _____

Ray Bome
Mayor

Adopted as an Emergency Measure by a 4-1 vote of the City Council of the City of Bixby, Oklahoma, this 24th day of March, 2014.

Ray Bome
Mayor



Scott

APPROVED AS TO FORM:

Patricia Boulder
City Attorney

PUBLISHER'S AFFIDAVIT

PO# 03-01847 / ORD NO. 2132
 PUBLICATION DATE(S)
 04/03/14
 CASE NUMBER: PO# 03-01847 / ORD NO. 2132

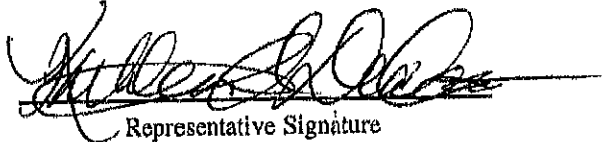
AD NO: 00179243

LEGAL NOTICE

STATE OF OKLAHOMA
COUNTY OF Tulsa

} SS

I, of lawful age, being duly sworn, am a legal representative of South County Leader of Bixby, Oklahoma, a weekly newspaper of general circulation in Tulsa, Oklahoma, a newspaper qualified to publish legal notices, advertisements and publications as provided in Section 106 of Title 25, Oklahoma Statutes 1971 and 1982 as amended, and thereafter, and complies with all other requirements of the laws of Oklahoma with reference to legal publications. That said notice, a true copy of which is attached hereto was published in the regular edition of said newspaper during the period and time of publication and not in a supplement, on the ABOVE LISTED DATE(S)


 Representative Signature

Subscribed to and sworn to me this 4th day of April, 2014.

Notary Public Nancy Carol Moore
 Nancy Carol Moore

My commission number: 06011684

My commission expires: December 8, 2014

Customer #: 00009900

Customer: CITY OF BIXBY

Publisher's Fee: 100.80

NANCY CAROL MOORE
NOTARY PUBLIC
STATE OF OKLAHOMA
COMMISSION NO. 06011684
EXPIRES 12-8-2014

178243
 Published in the South County Leader, Bixby, Tulsa County, Oklahoma, April 3, 2014.

ORDINANCE No. 2132

CITY OF BIXBY, OKLAHOMA

AN ORDINANCE CLOSING A UTILITY EASEMENT IN SECTION 01, TOWNSHIP 17-NORTH, RANGE 13-EAST, IN THE BOARDWALK ON MEMORIAL, A SUBDIVISION IN THE CITY OF BIXBY, STATE OF OKLAHOMA, ACCORDING TO RECORDED PLAT NO. 5717 THEREOF, AND DECLARING AN EMERGENCY.

WHEREAS, application has been made to close part of an easement in the City of Bixby, Oklahoma; and

WHEREAS, the request is reasonable and the City of Bixby, Oklahoma, has determined it will be in the best interest of its citizens that the concerned part of said easement be closed.

NOW THEREFORE, BE IT ORDAINED by the City Council of Bixby, Oklahoma:

SECTION 1. That the following described Utility Easement:

All of the Utility Easements platted and dedicated within Development Area B of Lot 1, Block 1, The Boardwalk on Memorial, a Subdivision in the City of Bixby, Tulsa County, State of Oklahoma, according to the Recorded Plat # 5717 thereof.

Property Located: 12345 S. Memorial Dr.

Be, and the same is hereby closed as a Utility Easement.

SECTION 2. That the City of Bixby retains the absolute right to reopen said easement without expense to the City of Bixby.

SECTION 3. The closing of said easement shall not effect the right to maintain, repair, reconstruct, operate, or remove utility, public service corporation or transmission company facilities existing therein, nor shall such closure affect private ways existing by operation of law.

SECTION 4. That because this Ordinance is essential to the proper and orderly growth of the City of Bixby, an Emergency is hereby declared to exist for the preservation of the Public Peace, Health and Safety, by reason whereof this Ordinance shall take effect and be in force immediately upon its passage and publication.

Adopted by a 4-1 vote of the City Council of the City of Bixby, Oklahoma, this 24th day of March, 2014, with Emergency Clause voted upon separately.

/s/ Ray Bowen
Mayor

Adopted as an Emergency Measure by a 4-1 vote of the City Council of the City of Bixby, Oklahoma, this 24th day of March, 2014.

/s/ Ray Bowen
Mayor

ATTEST:

APPROVED AS TO FORM:

/s/ Yvonne Scott
City Clerk

/s/ Patrick Boulden
City Attorney

**CITY COUNCIL MEETING
MUNICIPAL BUILDING
116 W. Needles Ave., Bixby, OK 74008
May 27, 2014 at 6:00 P.M.**

CALL TO ORDER

MAYOR EASTON

ROLL CALL

CITY CLERK

PLEDGE OF ALLEGIANCE

INVOCATION

CONSENT AGENDA

CITY CLERK'S REPORT

Consider and approve:

- a) Minutes for the Regular City Council meeting dated 05/12/2014.
- b) Minutes for the Work Session meeting dated 05/12/2014.
- c) Minutes for the Work Session meeting dated 05/05/2014.
- d) Resolution No. 2014-10: A resolution establishing the City of Bixby's annual Nine-One-One (9-1-1) Emergency Telephone Fee rate within the city limits for calendar year 2015 at its existing rate of five percent (5%).
- e) Accepting General Utility Easements from GF Investments for the North Wastewater Transfer Station Force Main.
- f) Accepting Storm Water Detention Easement from the Woodlake Assembly of God for the campus to be constructed on Mingo, south of 103rd Place South.
- g) Bay enclosure at the Street Maintenance Building for \$14,966 from American Overhead Door.
- h) Approve FY14 supplemental budget amendments to transfer \$68,856 from 2002 Revenue Bond Fund to the Water & Sewer Fund due to financial statements preparer's adjustments.

Prelim Plat

City Planner Erik Enyart stated that we have one vacancy on the Planning Commission and two terms have expired on the 5th of this month. Mr. Whisman is up for a renewed term, and Mr. Hicks is here to fill one of the terms that expired on the 5th. Mayor Easton asked Mr. Hicks to give council some background history about himself. Mr. Hicks stated that he was born and raised here and he and his wife are heavily involved in the community, and Mr. Hicks stated that he is excited about being a part of this board.

Mayor Easton asked for a motion on item #8. Councilman Stewart made motion to approve, seconded by Vice Mayor Guthrie. The vote was taken with the following results:

Carried 4-1	
Stewart	Yes
Guthrie	Yes
Loudermilk	Yes
Todoroff	No
Easton	Yes

Mayor Easton said item #9 on the Regular Agenda is:

Discussion and possible action to accept a right-of-way dedication for 126th St. S., west of Memorial Dr.

Presented by Erik Enyart

City Planner Erik Enyart explained that this was dedicated some years ago for a previous development. The form that was used include language says it's only easement essentially, so the tax parcel records still show that the Knopp estate own the street. One of the things this rededication will do will use the language that ensures that we own the street in all other cases as right-of-way. Councilman Todoroff asked the City Attorney Patrick Boulden if he has approved this. Patrick stated yes sir.

Mayor Easton asked for a motion on item #9. Councilman Todoroff made motion to approve, seconded by Councilman Loudermilk. The vote was taken with the following results:

Carried 5-0	
Todoroff	Yes
Loudermilk	Yes
Stewart	Yes
Guthrie	Yes
Easton	Yes

Mayor Easton said item #10 on the Regular Agenda is:

Discussion and possible action to approve a **Preliminary Plat for "Byrnes Mini-Storages"** and certain Modifications/Waivers for approximately 3.4 acres consisting of part of Lot 1, Block 1, *The Boardwalk on Memorial*, part of the NW/4 of Section 01, T17N, R13E, and All of Lot 11, Block 2, *Southern Memorial Acres No. 2 Corrected*, addressed 12355 & 12365 S. Memorial Dr. and 12404 S. 85th E. Pl.

Presented by: Erik Enyart

City Planner Erik Enyart stated that preliminary went to the Planning Commission in March and the vote was 2:1:1, staff and Planning Commission recommendation is approval subject to the outstanding items being fixed and there are a few conditions of approval into drainage and floodplain those will need to be resolved as well.

Mayor Easton asked Erik if there were some alternations done to relief water standing on the property owners at the north end of their property, and the owner's providing and paying for that, Erik stated, yes that's correct. Mayor Easton asked Erik to explain.

City Planner Erik Enyart explained in previous conversations there was some concerns expressed about the drainage for the residential properties to the south of this, which has historian existing inadequate drainage issues, the current plan is to add drainpipes underneath the buildings to abut these residential properties which will allow for them to drain their own properties into it and which will go through the commercial development drainage system.

Mayor Easton asked **City Engineer Jared Cottle** of this current plan. Jared stated that he has handed council a site plan that show the lines that will be relieving the low points on the south side of the property, there are some minor points that will be worked out, but in general the main line runs east and west which is significantly lower than the back yards to the south, which should allow that water to drain in their system out to Fry Creek.

Mayor Easton asked if there were any properties owner here tonight, there were none.

Vice Mayor Guthrie asked if the property owners were aware of the changes being done; JR Donelson stated that the last time I spoke with them this wasn't the issue, they wanted a privacy wall and not see anything to the north, but nothing else was brought up in regards to their back yards and water standing in their back yards, but this would defiantly solve all their issues, if they have any issues with water standing in their back yards. JR stated that the water would go first into the storm sewer pipe then to the retention pond and into the Fry Creek, this will defiantly work.

Councilman Stewart stated that he did like this because you took a lot of time to protect the current home owners that are there yet allowing a businessman to built a business on his property.

Mayor Easton asked for a motion on item #10. Councilman Todoroff made **motion to approve**, seconded by Councilman Stewart. The vote was taken with the following results:

Carried 4-1
Todoroff
Stewart
Loudermilk
Guthrie

Yes
Yes
No
Yes

PUD NO. 77
BYRNES MINI-STORAGES

AN ADDITION SITUATED IN THE NW/4 OF SECTION 1, T-17-N, R-13-E OF THE INDIAN BASE AND MERIDIAN, BEING A RE-PLAT OF A PORTION OF "THE BOARDWALK ON MEMORIAL" AND "LOT 11, BLOCK 2, SOUTHERN MEMORIAL ACRES NO.2", TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA.

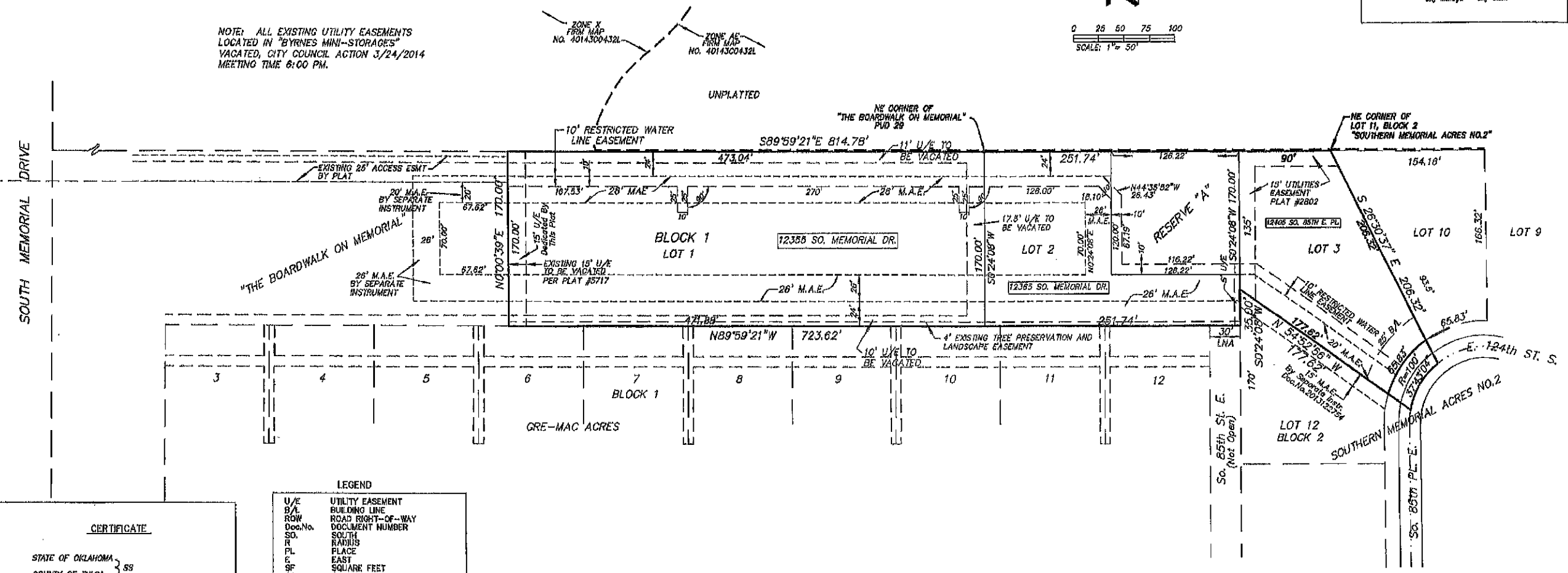
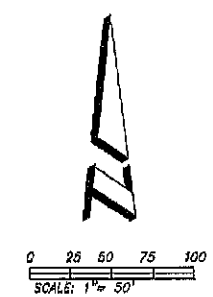
PLAT No.

SURVEYOR:
 TULSA LAND SURVEYING, LLC
 1140 OSWEGO AVE
 TULSA, OK 74112
 PHONE: 918-770-6720
 C.A. NO. 6038 EXP. 6-30-23
 LICENSE NO. 1678

OWNER:
 BOARDWALK SELF STORAGE, LLC
 4512 E. 51ST ST. #100
 TULSA, OK 74135
 CONTACT: JARED JONES
 PHONE: 918-800-0541
 EMAIL: jjones@joneslrwa.com

NOTE: ALL EXISTING UTILITY EASEMENTS LOCATED IN "BYRNES MINI-STORAGES" VACATED, CITY COUNCIL ACTION 3/24/2014 MEETING TIME 8:00 PM.

FINAL PLAT CERTIFICATE OF APPROVAL
 I hereby certify that this plat was approved by the City Council of the City of Bixby on April 11, 2023.
 By: _____
 Mayor - Wes Meyer
 This approval is void if the above signature is not endorsed by the City Manager or City Clerk.
 By: _____
 City Manager - City Clerk



CERTIFICATE
 STATE OF OKLAHOMA }
 COUNTY OF TULSA } ss
 I, Michael Willis, Tulsa County Clerk, in and for the County and State of Oklahoma above named, do hereby certify that the foregoing is a true and correct copy of a like instrument now on file in my office.
 Dated this _____ day of _____
 Michael Willis, Tulsa County Clerk
 Deputy

LEGEND

U/E	UTILITY EASEMENT
B/L	BUILDING LINE
ROW	ROAD RIGHT-OF-WAY
Doc.No.	DOCUMENT NUMBER
SO.	SOUTH
R	RADIUS
PL	PLACE
E	EAST
SF	SQUARE FEET
AC	ACRE
W	WEST
DR.	DRIVE
NE	NORTHEAST
PUD	PLANNED UNIT DEVELOPMENT
NO.	NUMBER
M.A.E.	MUTUAL ACCESS EASEMENT
LNA	LIMITS OF NO ACCESS

*Addresses shown on this plat were accurate at the time this plat was filed. Addresses are subject to change and should never be relied on in place of legal descriptions.

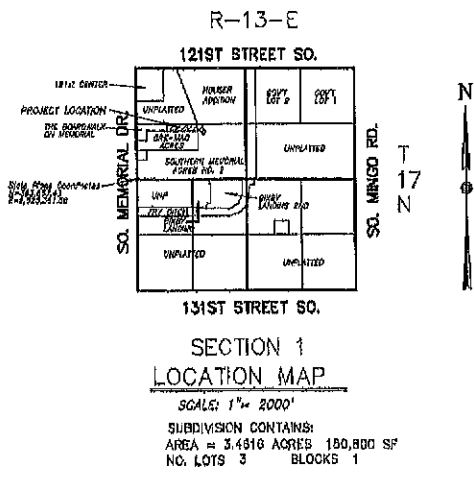
This plat meets the Oklahoma minimum standards for the practice of Land Surveying as adopted by the Oklahoma State Board of Registration for Professional Engineers and Surveyors.

BENCHMARK:
 Flaminge of Sanitary Sewer Manhole, located 10 feet South and 15 feet East of the Northwest Corner of Lot 11, Block 2, Southern Memorial Acres No. 2
 Elevation: 588.42, NOV289

BASIS FOR BEARINGS:
 The basis for bearings is the North line "The Boardwalk on Memorial", with an assumed bearing of S 89°59'21"E.

FEMA FLOODPLAIN NOTE:
 The subject property is contained in Zone X - 500.40 DFE
 Map No. 40143C0432L
 Date: October 16, 2012

PROPERTY DESCRIPTION
 An Addition situated in a part of the NW/4, Section 1, T-17-N, R-13-E, of the Indian Base and Meridian, Tulsa County, State of Oklahoma, being more particularly described by metes and bounds, by Charles K. Howard, LS 297, as follows, to-wit:
 Beginning at the northeast corner of "The Boardwalk on Memorial", PUD 29; thence with an assumed bearing of S 89°59'21"E being the north line of "The Boardwalk on Memorial" a distance of 251.74 feet to the northwest corner of Lot 11, Block 2, Southern Memorial Acres No. 2; thence continuing S 89°59'21"E on along the north line of said Lot 11, Block 2 a distance of 90.00 feet to the northeast corner of said Lot 11, Block 2; thence S 26°30'37"E and along the east line of said Lot 11, Block 2 a distance of 206.32 feet; thence along a curve to the left with a radius of 100.00 feet and a delta angle of 37°43'04" for 85.83 feet, with a chord bearing of S35°48'20"W and a chord distance of 84.85 feet; thence N 84°52'56"W a distance of 177.82 feet; thence S 00°24'08"W a distance of 35.00 feet; thence N 89°09'21"W a distance of 471.88 feet; thence N 00°00'39"E a distance of 170.00 feet to the north line of "The Boardwalk on Memorial"; thence S 89°59'21"E and along the north line of "The Boardwalk on Memorial" a distance of 473.04 feet to the point of beginning and containing 3.4616 acres more or less.



BYRNES MINI-STORAGES
 PUD 77
 Preparation date: March 30, 2022
 SHEET 1 OF 3

DEED OF DEDICATION AND STATEMENT OF RESTRICTIVE COVENANTS

BYRNES MINI-STORAGES

PUD NO. 77

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, Boardwalk Self Storage, LLC is the owner to fee simple to the following described property in the City of Bixby, Tulsa County, Oklahoma, to-wit:

An Addition situated in a part of the NW/4, Section 1, T-17-N, R-13-E, of the Indian Base and Meridian, Tulsa County, State of Oklahoma, being more particularly described by metes and bounds, by Charles K. Howard, L.S. 287, as follows, to-wit:

Beginning at the northeast corner of "The Boardwalk on Memorial", PUD 29; thence with an assumed bearing of S 89°58'21"E being the north line of "The Boardwalk on Memorial" a distance of 261.74 feet to the northwest corner of Lot 11, Block 2, Contained plat of Southern Memorial Acres No. 2; thence continuing S 89°58'21"E and along the north line of said Lot 11, Block 2 a distance of 80.00 feet to the northeast corner of said Lot 11, Block 2; thence S 28°30'37"E and along the east line of said Lot 11, Block 2 a distance of 206.32 feet; thence along a curve to the left with a radius of 100.00 feet and a deflection angle of 37°43'04" for 65.83 feet, with a chord bearing of S 35°45'20"W and a chord distance of 84.86 feet; thence thence N 64°58'06"W a distance of 177.92 feet; thence S 00°24'00"W a distance of 35.00 feet; thence N 89°58'21"W a distance of 471.88 feet; thence N 00°00'39"E a distance of 170.00 feet to the north line of "The Boardwalk on Memorial"; thence S 89°58'21"E and along the north line of "The Boardwalk on Memorial" a distance of 473.04 feet to the point of beginning and containing 3.4018 acres more or less.

and have caused the above-described land to be surveyed, staked, plotted and subdivided into lots, blocks, reserve areas and streets, and have designated the same as "Byrnes Mini-Storage", an Addition to the City of Bixby, Tulsa County, Oklahoma (hereinafter sometimes referred to as the "Subdivision").

SECTION 1. PUBLIC COVENANTS

A. UTILITY EASEMENTS

The Owners hereby dedicate to the public use forever the easements as shown and designated on the accompanying plat for the several purposes of constructing, maintaining, operating, repairing, removing, replacing any and all utilities including storm sewer, sanitary sewer, telephone and communication lines, electric power lines and transformers, gas lines and water lines, together with all fittings, including the poles, wires, conduits, pipes, valves, meters and equipment for each of such facilities and any other appurtenances thereto with the rights of ingress and egress into and upon said utility easements and rights-of-way for the uses and purposes aforesaid. No building, structure, or other above or below ground obstruction that will interfere with the purposes aforesaid, will be placed, erected, installed or permitted upon the easement or rights-of-way as shown, provided however, that the owner hereby reserves the right to construct, maintain, operate, lay and relay water lines and sanitary sewer lines together with the right of ingress and egress for such construction, maintenance, operation, laying and relaying over, across and along all public streets, alleys, and utility easements, shown on said plat, for the purposes of furnishing water and/or sanitary sewer services to the area included in said plat.

B. WATER AND SANITARY SEWER SERVICE

In connection with the provision of water and sanitary sewer service, all lots are subject to the following provisions, to-wit:

The owner of each lot shall be responsible for the protection of the public water mains and the public sanitary sewer facilities located on the lot and within the dedicated street right-of-way and utility easement areas, if ground elevations are altered from the contours existing upon the completion of the installation of a public water or sewer main, all ground level apertures, to include valve boxes, fire hydrants and manholes will be adjusted to the new grade by the owner or at the owner's expense.

The Owners or its successors will be responsible for ordinary maintenance of public water mains and public sanitary sewer facilities, the owner will pay damage for relocation of such facilities or necessitated by the acts of the owner or his agents or contractors.

The City of Bixby or its successors through its agents and employees shall at all times have the right of access with their equipment to all such easement ways shown on said plat, including the "10' Restricted Water Line Easement", (to be used only for water lines) or provided for in this deed of dedication for the purpose of installing, maintaining, removing or replacing any portion of underground water facilities.

The foregoing covenants concerning water and sewer facilities shall be enforceable by the City of Bixby or its successors, and the owner of the lot agrees to be bound hereby.

C. ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICE.

In connection with the installation of underground electric, telephone, cable television and natural gas service lines, the lot is subject to the following:

1. Street light poles or standards shall be served by underground cable and elsewhere throughout said Addition all supply lines shall be located underground, in the easement-ways reserved for the general utility services and streets, shown on the attached plat. Service pedestals and transformers, as sources of supply of secondary voltages, may also be located in said easement-ways.

2. All supply lines in the Subdivision including electric, telephone, cable television and natural gas service lines shall be located underground in the easements reserved for general utility services and streets shown on the plan of the subdivision. Service pedestals and transformers, as sources of supply at secondary voltages, may also be located in said easements.

3. Underground service cables and natural gas service lines to all buildings which may be located in the Subdivision may be run from the nearest natural gas main, service pedestal or transformer to the point of usage determined by the location and construction of such building, as may be located upon said lot provided that upon that the installation of such a service cable or a natural gas service line to a particular building, the supplier of service shall thereafter be deemed to have a definitive, permanent, and effective right-of-way easement on said lot, covering a five-foot strip extending 2.5 feet on each side of such service cable or line, extending from the service pedestal, transformer or natural gas main to the service entrance on the building.

4. The supplier of electric, telephone, cable television and natural gas services, through its authorized agents and employees, shall at all times have right of access to all such easements shown on the plat to the Subdivision or provided for in this deed of dedication for the purpose of installing, maintaining, removing or replacing any portion of the underground electric, telephone, cable television or natural gas service facilities so installed by it.

5. The owner of each lot in the Subdivision shall be responsible for the protection of the underground electric facilities located on the property and shall prevent the alteration of grade or any construction activity which may interfere with said electric, telephone, cable television or natural gas facilities. The supplier of services will be responsible for the ordinary maintenance of underground facilities, but the owner of the lot in the Subdivision will pay for damage or relocation of such facilities caused or necessitated by acts of such owner or his agents or contractors.

D. STORM SEWER

1. The storm sewers will be privately owned and privately maintained.

2. The Helene Y. Byrnes Foundation, or its successors, through its proper agents and employees, shall at all times have right of access with their equipment to all storm sewer systems for the purpose of installing, maintaining, removing or replacing any portion of the underground storm sewer system.

3. No permanent fence, permanent wall, permanent building, or permanent structure which would cause an obstruction shall be placed or maintained in the Reserve "A" area, and any construction activity which would interfere with the storm sewer system shall be prohibited.

4. The storm sewers shall be owned by and maintained, at the sole cost and expense, of the owner of the lot upon which the storm sewers are located.

5. In the event that the storm sewers are accepted by the City of Bixby, the City of Bixby or its successors, shall be responsible for ordinary maintenance of the public storm sewer system, but the owner of each lot will pay for damage or relocation of such system caused or necessitated by the acts of the owner of each lot or its agent or contractors.

6. The owner of each lot shall be responsible for the protection of the storm sewer located on their lot and shall prevent the alteration of grade or any construction activity which may interfere with said storm sewer. The alteration of grade from the contours existing upon the completion of the installation of storm sewer, or any construction activity which would interfere with storm, shall be prohibited.

E. SURFACE DRAINAGE

1. Surface Drainage. Each lot shall receive and drain, in an unobstructed manner, the storm and surface waters from lots and drainage areas of higher elevation and from public streets and easements.

2. No property owner shall construct or permit to be constructed any fencing or other obstructions which would impair the drainage of storm and surface waters over and across his lot. No property owner shall modify or change the direction of drainage of surface stormwater from the original approved construction plans on file at the City of Bixby.

3. The property owner shall prevent the alteration of grade within all easement areas from the original contours (finish grade) and shall prevent any construction activity which may interfere with such public water mains, valves, storm sewers, and or public sanitary sewer facilities.

4. The covenants set forth in this section shall be enforceable by any affected property owner and by the City of Bixby, Oklahoma.

F. OWNER RESPONSIBILITY WITHIN EASEMENTS.

The owner of the lots shall be responsible for the repair and replacement of any landscaping and paving within the utility easements on the lot in the event it is necessary to repair any underground water or sewer mains, electric, natural gas, cable television, or telephone services. The 4'-0" Existing Tree Preservation and Landscape Easement will be maintained by the property owner of the lot. Trees will remain unless they are determined dead by an arborist. A tree can be removed from the easement, once the arborist has determined it is dead.

G. LAND USE

All construction shall be strictly according to the ordinances of the City of Bixby, Oklahoma.

H. "RESERVE A", DETENTION POND.

1. The Stormwater drainage system shall be designed and constructed in accordance with the Adopted Ordinances, Resolutions standards and design requirements as adopted by the City of Bixby, as appropriate, and shall be so designed to collect and pass the runoff from a 100-year frequency flood under conditions of full urbanization. The 2, 5, 10, 50, 100 year flows shall be modeled and 500 year flow analyzed. The entire flow shall be confined within the said stormwater drainage systems.

2. The stormwater detention facility if required by City of Bixby adopted standards, shall be designed and constructed in accordance with said standards.

SECTION 2. PLANNED UNIT DEVELOPMENT RESTRICTIONS

A. DEVELOPMENT AREA A

Table with 2 columns: Land Area (Gross/Net) and Square Feet (123,110). Gross: 2.826 acres, Net: 2.826 acres. 123,110 square feet, 123,110 square feet.

PERMITTED USES (to be allowed by right): These uses permitted are all the Use Units allowed by right within the "R-2" zoning district of the City of Bixby Zoning Code as well as Use Unit 18 mini-storage business use; and all accessory uses permitted in the underlying zoning district and in the Planned Unit Development Chapter of the City of Bixby Zoning Code.

Table with 2 columns: Minimum Frontage, Maximum Building Floor Area, Maximum Building Height (mini-storage buildings), Maximum Building Height (office building), F.A.R. (floor to area ratio). Values: 0, 47,800 sf, 12 sf, 24 sf, 0.387.

Table with 2 columns: Minimum Building Setbacks and Lot dimensions. Lot 1, Block 1: West 17.5 feet, North 0 feet, South 4 feet, East 0 feet. Lot 2, Block 1: West 0 feet, North 0 feet, South 4 feet, East 5 feet.

STORMWATER DETENTION AREA: Minimum 12,311sf, 10% of the development area. Maximum 18,459sf, 15% of the development area.

BUILDING WALL MATERIAL: Building walls and screening fences adjacent to the north, south, and east property lines (adjoining RS-2 zoning) will be of masonry construction. The option is either brick or a split faced concrete block. The east-facing ends of three (3) easternmost buildings adjoining RS-2 zoning and the west-facing ends of three (3) westernmost buildings (visible from RS-2 zoning), will be of masonry construction. Interior facing walls will be metal or masonry.

BUILDING DESIGN: The buildings in Development Area A will have shed roofs slanted inward to the development site, ensuring all roof drainage is directed into the internal storm water drainage system, and will not drain onto adjoining properties. The roof will not overhang adjacent property lines and the roof pitch will be between 1/12 and 4/12.

B. DEVELOPMENT AREA B

Table with 2 columns: Land Area (Gross/Net) and Square Feet (27,690/26,213). Gross: (includes 1/2 abutting ROW) 0.6358 acres, Net: 0.6018 acres. 27,690 sf, 26,213 sf.

PERMITTED USES (to be allowed by right): These uses permitted are all the Use Units allowed by right within the "RS-2" zoning district of the City of Bixby Zoning Code; and all accessory uses permitted in the underlying zoning district and in the Planned Unit Development Chapter of the City of Bixby Zoning Code.

Table with 2 columns: Minimum Frontage, Maximum Building Floor Area, Maximum Building Height, Minimum Building Setbacks, Landscape/Green Area. Values: 65.83 lin.ft, 1 unit, 35 feet, Pursuant to Section 11-78-4 Table J, of the City of Bixby Zoning Code, minimum 3,832sf 15% grass land area.

C. DEVELOPMENT STANDARDS FOR ALL DEVELOPMENT AREAS

1. LANDSCAPED AREA AND SCREENING: a. Preliminary landscaping and screening area represented on Exhibit G of the PUD 77, Development Area A - Any building wall visible from an adjacent residential zoned property will be screened by a 6'-0" concrete block or brick wall. Screening any portion of the North or South property line will be accomplished by siting the exterior wall of the building, which will be either brick or split faced concrete block and/or a 6'-0" concrete block or brick wall and will be a substitute for a screening fence. This is shown on Exhibit G of PUD 77. There will be a 4'-0" landscape area south of the south building adjacent to the south property line. Constructing the south building 4'-0" north of the south property line will allow 14 trees situated along the south property line to remain. Development Area B - The existing trees and landscaping will remain on the site. No screening fence area required. The existing 6' wooden privacy fence west of this site on "The Boardwalk on Memorial" will be replaced with a concrete block wall similar to the existing wall on the east side of "The Boardwalk on Memorial."

b. A 4'-0" easement described as, "Existing Tree Preservation and Landscape Easement", will be shown on the south 4'-0" of the entire Development Area A. c. Three trees are required along the west property line. Two trees are required along the east property line. One tree is required along the north property line. Eight trees are required along the south property line. A total of 24 trees, 6" in diameter or larger will be preserved on the site. The preserved tree credit will be equal to 48 trees. These are shown on Exhibit G of PUD 77. Fourteen trees area required and a 48 tree count is provided. No trees will be planted. d. The south property line area will have a landscape area of 4'-0" x 723.02', which equals 2,894.48 sf. The total landscape area, including the detention area is 18,654.28 sf or 16.15% of Development Area "A".

e. Exhibit G of PUD 77 shows the landscape areas and percentages for each property line.

2. SIGNS: a. Signs shall comply with the PUD Chapter (Chapter 7-1). One (1) ground monument sign will be permitted in Development Area A and shall not exceed 15'-0" in height. b. Flashing signs, changeable copy signs, running light or twinkle signs, animated signs, revolving rotating signs and movement shall be prohibited in this PUD for Development Areas A and B, except as may be permitted by the Bixby Planning Commission as part of the approved detail sign plan.

3. LIGHTING: a. Lighting used to illuminate the development area shall be so arranged as to shield and direct the light away from adjacent properties. Building-mounted lights will not exceed 12 feet in height.

4. TRASH, MECHANICAL AND EQUIPMENT AREAS: a. There shall be no storage of recyclable materials, trash or similar material. All trash, ground supported mechanical and equipment areas, shall be screened from adjacent properties.

5. SITE GRADING: a. According to the adopted and effective FEMA floodplain maps, the site has some amount of Flood Zone "AE" 100 year floodplain along the north line of Development Area A. An Earth Change / Floodplain Development permit will be requested and will determine if and how much area is in the "AE" zone. The Earth Change / Floodplain development permit will be approved by the Bixby City Council to allow site grading as proposed for this development. An Elevation Certificate by an Oklahoma Registered Professional Land Surveyor will be required prior to the issuance of a Building Permit / Floodplain Development Permit for the construction for the foundation of each building within Development Area A, with Elevation Certificate must demonstrate the 100-year Base Flood Elevation for the building site and the existing finished grade. A second Elevation Certificate will be required upon the completion of the foundation of each building in Development Area A prior to the issuance of a Building Permit / Flood Plain Development Permit for the balance of the building and must demonstrate the First Finish Floor of each structure's foundation is at least one (1) foot above the 100 year Base Flood Elevation. Alternately, the Elevation Certificate requirement may be avoided if the lot is fully removed from the adopted and effective FEMA floodplain maps at the time a building permit is sought.

The site will be graded so that storm water runoff flows to surface area drains located in the drive lanes, between the mini-storage buildings. The storm water will flow to a proposed dry storm water detention facility in the northeast portion of Lot 2. An existing French Drain located approximately 2.5 feet north of the south property line presently collects storm water runoff along the south line of Development Area A and directs it to the Fry Ditch. The French Drain will remain in place. Storm water runoff along the east boundary of Development Area A will be collected and directed to the proposed detention facility in the northeast portion of Lot 2. A Professional Engineer registered in the State of Oklahoma shall certify to the appropriate City official that all required storm water drainage requirements serving the Site have been installed in accordance with the approved plans prior to issuance of an Occupancy Permit on that lot. During construction on the property, the owner will provide adequate erosion control methods, and after construction, will provide and maintain vegetative, landscaped ground cover so that soil does not erode on or from the property.

6. TOPOGRAPHY AND UTILITIES

a. Topography. Topography of the Site is depicted on Exhibit F of PUD 77.
 b. Utilities. Water and sanitary sewer service will be provided by the City of Bixby. An existing water line is located on the east side of South Memorial Drive. A water line will be installed connecting the water line along South Memorial Drive to the existing water line along So. 85th Place. An existing sanitary sewer line is located running parallel to the south property line. A sanitary sewer line will be installed along the west property line and extended to the north property line. Storm water runoff will be collected in area inlets and piped to the on site detention facility.

7. ACCESS, CIRCULATION AND PARKING

a. Access, traffic circulation and parking are depicted on Exhibit B of PUD 77. All drives and parking areas within the PUD shall be privately owned and maintained.
 b. There will be two (2) access gates along the west property line of Development Area A. One gate access to the Byrnes Mini-Storages is for customers. The 20' wide gated emergency-only ingress/egress through Lot 11, Block 2, Southern Memorial Acres No. 2 to South 85th Place E. will be accessed using a Knox-switch.
 c. Two (2) mutual access easements across "The Bypass/Link on Memorial", will allow access to "Byrnes Mini-Storages". The mutual access easements will be filed at the Tulsa County Court House prior to the issuance of an occupancy permit for buildings in "Byrnes Mini-Storages".
 d. The access to the site, built un-bulk, So. 85th E. Ave. will not be allowed in the PUD.
 e. A 16 foot Roadway Easement, Doc.No. 2013018388, has been filed on Lot 12, Block 2, Southern Memorial Acres No. 2 allowing emergency access to South 85th E. Place. The south 20 feet of the existing Lot 11, Block 2, Southern Memorial Acres No. 2, which will be Lot 3, "Byrnes Mini-Storages", will be dedicated as a mutual access easement. Eighteen (18') feet of the proposed emergency ingress/egress will be located on Lot 3, Byrnes Mini-Storages and eight (8') feet located on Lot 11, Block 2, Southern Memorial Acres No. 2.
 f. Two (2) mutual access easements will allow cross access between Lots 1 and 2, Development Area A.

8. RESTRICTIVE COVENANTS ENFORCEMENT

a. Restrictive covenants will be adopted and recorded for the PUD as plotted. The hours of daily operation will be from 8:00 am to 10:00 pm. There will be no space used as a residential dwelling. A security system will be installed for the project to monitor client movement within the facility and serve as a deterrent for non clients.

SECTION 3. PRIVATE COVENANTS AND RESTRICTIONS.

Usage of the following words shall having the following meanings, unless the context clearly requires otherwise: "City" shall mean the City of Bixby; "lot" shall mean a lot in the Subdivision; "lot owner" shall mean a lot owner in the Subdivision; "plat" shall mean the accompanying plat of the Subdivision; and "zoning code" shall mean the City of Bixby Zoning Code.

For the purpose of providing an orderly development of the Subdivision and for maintaining conformity of the improvements therein, the following covenants and restrictions hereby are imposed upon the use and occupancy of the lots within the Subdivision.

A. Private Covenants and Restrictions Applicable to all Lots. The following standards shall apply to all lots of the Subdivision unless specifically modified or superseded by more specific provisions adopted by the Owner as hereinafter provided.

1. Mutual Access Easements. Mutual Access Easements, as depicted on the accompanying plat, are hereby established for the purposes of permitting vehicular and pedestrian access to and from all areas adjacent to and contained within the plat, and such easements shall be for the mutual use and benefit of each affected lot owner, their guests, and invitees, and shall be appurtenant to each affected lot. Provided, however, governmental agencies and suppliers of utilities shall have the reasonable use of the easements incidental to the provision of services within the lots within the plat.

2. Mutual Access Easement Maintenance. The Helene V. Byrnes Foundation will be responsible for the maintenance of the Mutual Access Easement and any and all improvements situated in the Mutual Access Easement.

3. Easements for installation and maintenance of utilities and drainage facilities are reserved as shown on the recorded plat. Within these easements no structures, planting or other material, other than properly permitted paved parking, shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities, or which may change the direction of flow or drainage in the easements or which may obstruct or retard the flow of water, and all improvements in it shall be maintained continuously by the owner of the lot, except for those improvements for which a public authority or utility company is responsible or for repairing or replacing any damaged parking lot paving.

4. No lot shall be used or maintained as a dumping ground. Rubbish, trash, garbage and/or other wastes shall not be kept except in approved sanitary containers. All equipment for the storage and/or disposal of such rubbish, trash, garbage or other wastes shall be fenced from view and kept in a clean and sanitary condition.

B. Duration, Amendment and Severability.

1. Duration. These restrictions shall remain in full force and effect until January 1, 2025, and shall automatically be extended thereafter for successive periods of ten (10) years each unless terminated or amended as hereinafter provided.

2. Amendment or Termination. The private covenants and restrictions contained in this Deed of Dedication may be amended, modified, changed or repealed by a written instrument signed and acknowledged by the Helene V. Byrnes Foundation, except Sections 1A, 1B, 1C, 1D, 1E, 3A.3, 3B.2, and 3B.4, and all of Sections 2 (PUD restrictions), which may be altered only with the written consent of the City of Bixby.

3. Severability. Invalidation of any restriction set forth herein, or any part thereof, by an order, judgement or decree of any court or otherwise, shall not invalidate or affect any of the other restrictions of any part thereof as set forth herein, which shall remain in full force and effect.

4. Enforcement. The restrictions herein set forth are covenants to run with the land shall be binding upon the Owner, its successors and assigns and all parties claiming under it, and otherwise shall be enforceable as set forth and shall be binding upon the Owner, its successors and assigns and all parties claiming under it. If the Owner, or its successors or assigns, shall violate any of the covenants herein, it shall be liable for the City of Bixby, Oklahoma (as to the violation of the Covenants contained in Section 1), to maintain any action at law or in equity against the Owner to prevent the Owner from so doing, to compel compliance with the covenants, or to recover damages for such compliance with the covenant.

Any successor(s) in title to the lots within BYRNES MINI-STORAGES, to enforce any given restriction or covenant or condition of any time, or from time to time, shall not be deemed to be a waiver or relinquishment of any right or remedy, nor a modification of these restrictions and protective covenants.

As owner we hereby certify that we have caused the land described in this plat to be surveyed, divided, mapped, granted, donated, conveyed, dedicated and access rights reserved as represented on the plat.

In witness whereof the owner have executed this Deed of Dedication on this _____ day of _____, 2022.

Boardwalk Self Storage, LLC

By: Jared Jones, Managing Member

STATE OF OKLAHOMA)
) SS
 COUNTY OF TULSA)

Before me the undersigned, a Notary Public in and for said County and State, on this _____ day of _____, 2022, personally appeared Jared Jones to me known to be the identical person who subscribed the name thereof to the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed for said limited liability company, for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.

Notary Public

My commission expires: _____

SURVEYORS CERTIFICATE

I, Josh Lamb, a Registered Land Surveyor in the State of Oklahoma, hereby certify that I have fully complied with the requirements of this regulation and the subdivision laws of the State of Oklahoma governing surveying, dividing and mapping of the land that the plat is a correct representation of all the exterior boundaries of the land surveyed and the subdivision of it; and, that the plat represents a survey made under my direct supervision.

WITNESS my hand and seal this _____ day of _____, 2022.

Josh Lamb, RLS #1878
 C.A. No. 6038 Exp.Date: 6/30/2023

STATE OF OKLAHOMA)
) SS
 COUNTY OF TULSA)

Before me, the undersigned, a Notary Public in and for said County and State, on this _____ day of _____, 2022, personally appeared Josh Lamb, to me known to be the identical person who executed the foregoing instrument, and acknowledged to me that he executed the same as his free and voluntary act and deed for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.

Notary Public

My Commission expires: _____



City of Bixby City Council Meeting Minutes

City Hall Municipal Building
116 W. Needles Ave., Bixby, OK 74008
May 09, 2022 at 6:00 P.M.

The agenda for the regularly scheduled meeting of the City Council of the City of Bixby was posted on the bulletin board at City Hall, 116 West Needles Avenue, Bixby, Oklahoma on May 06, 2022 on or before 5:00 p.m.

Mayor Guthrie called the meeting to order at 6:19 p.m.

Deputy City Clerk, Shannon Duran called the roll and the following members were present.

Members Present

Guthrie
Blair
Founds
Girard
Revelis

Staff Present

Phil Frazier, City Attorney
Jared Cottle, City Manager
Charles Barnes, Finance Dir.
Donna Crawford, Community Dev
Justin Dowd, Asst. Engineer
Shannon Duran, Dep. City Clerk

Pledge of Allegiance

Invocation was given by Phil Frazier

Mayor Guthrie said Item #1 on the Consent Agenda is:

City Clerk's Report

Consider and approve:

- a) Minutes for the Work Session meeting dated 04/25/22.
- b) Minutes for the City Council meeting dated 04/25/22.

- c) Consider and/or approve surplus equipment for Planning Department. (General Fund).
- d) Discuss and/or approve the Proclamation for the National Police Officer Week.
- e) Discuss and/or take action on Construction Funding Agreement with Oklahoma Department of Transportation for the East Fry Creek Trail from 131st to 118th.
- f) Discuss and possible action to enter into a contract with CBEW for FY-22 audit for the third year of three year commitment in the amount of \$9,700 (General Fund portion).
- g) Dura Edge Infield Mix for Softball fields known as Quad 3 Fields 9-12 renovation. Sole Source from Dura Edge Engineered Soils \$230.00/ton estimated each field will take 22-25 tons. Quantity 100 tons. Total not to exceed \$23,000.00 budgeted out of Concrete & Aggregate 5-10-7230.

Public comments are limited to items listed on the agenda.

Those wishing to speak on agenda items will need to appear in the City Council Chamber.

Mayor Guthrie asked if there were any comments or questions on the Consent Agenda. Vice Mayor Blair asked to pull item “c” and “e” for discussion.

Discussion continued.

Mayor Guthrie asked for a motion on the Consent Agenda for items “a-g”. Councilor Founds made a motion to approve, seconded by Vice Mayor Blair. The vote was taken with the following results:

Carried 5-0

Ayes: Founds, Blair, Revelis, Girard, Guthrie

Nays: None

Mayor Guthrie said item #1 on the Regular Agenda is:

Discussion, consideration and take action to correct the delay in approving and filing Final Plat for Byrnes Mini Storage PUD-77 and acknowledge and accept final plat approval BXPT-22.07 by Bixby Planning Commission, April 18,2022.

Mayor Guthrie asked for a motion to resend item from the April 25, 2022 council meeting. Councilor Girard made a motion to accept, seconded by Councilor Founds. The vote was taken with the following results:

Carried 4-1

Ayes: Girard, Founds, Revelis, Guthrie

Nays: Blair

Presented by Donna Crawford

Others that spoke: Brian Cozad, 17233 S 92 E Ave., Bixby, OK 74008

Mayor Guthrie asked for a motion on item #1. Councilor Founds made a motion to accept, seconded by Councilor Revelis. The vote was taken with the following results:

Carried 4-1

Ayes: Founds, Revelis, Girard, Guthrie

Nays: Blair

Mayor Guthrie said item #2 on the Regular Agenda is:

Consider and/or take action on awarding contract to PbX Corporation for the Bridge Nos 167 & 168 Rehabilitation; PbX Corporation submitted the lowest and best bid of \$240,9973.

Presented by Justin Dowd

Mayor Guthrie asked for a motion on item #2. Councilor Girard made a motion to accept, seconded by Councilor Founds. The vote was taken with the following results:

Carried 5-0

Ayes: Girard, Founds, Revelis, Blair, Guthrie

Nays: None

City Managers Report

- Press Conference and update on Midland Complex project.
- Posey Creek trail project update.
- Youth Fishing Derby will be held on 5/14/2022 from 7:30am to 12:30pm.
- Snow cone and food truck events will be held once a month on Harmony bridge with the following dates 5/14/2022, 6/11/22, 7/9/2022 and 8/13/2022.
- Car seat check-up will be held on 5/26/2022.
- Green Corn Festival will take place in June.

- July 1st will be the Freedom Celebration.

Upcoming events

New Business

Mayor Guthrie said New Business items on the Regular Agenda is:

Items added to the Agenda under New Business items due to lack of time to have it formally placed on the Agenda, regarding issues which have arisen from the rainfall and flooding event which recently occurred in South Town and Woodland Acres.

Added Item Number 1

Discussion, consideration and take action to use City funds in an amount not to exceed \$20,000.00, to assist those effected by recent rainfall and flooding in South Town and Woodland Acres. City Manager to obtain dumpsters for those effected by the recent rainfall and flooding.

Mayor Guthrie asked for a motion on new business item #1. Councilor Girard made a motion to accept, seconded by Vice Mayor Blair. The vote was taken with the following results:

Carried 5-0

Ayes: Girard, Blair, Revelis, Founds, Guthrie

Nays: None

Added Item Number 2

Discussion, consideration and take action on the possibility of a cost share program to reimburse residents whom have purchased roll offs and/or dumpsters. City Manager to also reach out to Tulsa County for resources that may be available to the residents effected by recent rainfall and flooding damage in South Town and Woodland Acres.

Mayor Guthrie asked for a motion on new business item #2. Councilor Girard made a motion to accept, seconded by Vice Mayor Blair. The vote was taken with the following results:

Carried 5-0

Ayes: Girard, Blair, Revelis, Founds, Guthrie

Nays: None

There being no additional new business items.

Adjournment was called at 7:03 p.m.

Mayor

City Clerk



STAFF REPORT

TO: Planning Commission

FROM: Gladys Gill, Assistant Planner

DATE: September 15, 2025

NAME: South County Industrial Park

CASE(S): **FINAL PLAT** | BXPT-23.17 FP

LOCATION: Near the 14100 block of Kimberly-Clark Place

EXISTING ZONING: Industrial Light (IL)

PROPOSED ZONING: N/A

STR: Section 16, Township 17N, Range 13E

APPLICANT: Select Design

REQUEST:

The applicant requests approval of a Final Plat for *South County Industrial Park*, a replat of part of Lots 2 and 3, Block 1, Sitrin Center Addition. The proposed subdivision contains four (4) lots, three (3) blocks, and one (1) reserve area. The plat implements development standards established in Planned Unit Development No. 12, Major Amendment C, as approved by City Council on September 25, 2023. Additionally, a landscaping plan is also included as required by PUD-12 C.

Site Stats:

Minimum Lot Area: Per IL district

Minimum Width: 50 feet

Setbacks:

- Side property line – 10 feet
- East property line (Reserve area) – 25 feet
- North property line – 20 feet
- South property line (adjacent to office zoning) – 25 feet

Maximum Height: 40 feet

Prohibited Uses: Medical marijuana uses (dispensary, research, testing, warehousing, grow), and sexually oriented businesses as defined by the Bixby Zoning Code.

Site Design Requirements:

- **Screening:** Per IL district requirements and PUD
- **Landscaping:** Enhanced landscape buffer along Kimberly Clark Place, tree preservation in floodway/greenbelt, landscape plan by licensed Landscape Architect required with site plan review. (Landscape plan included in packet for review)
- **Lighting:** Shielded, downward-directed fixtures; max height 15 ft for street and parking lot lights; City Engineer approval required prior to installation.
- **Signage:**
 - Two ground signs along Kimberly Clark Place (max 120 sq. ft. each)
 - Wall/canopy signs limited to 1 sq. ft. per linear ft. of building wall, subject to height and placement restrictions
- **Parking:** As required per Zoning Code based on specific use

Abutting Zoning; Use:

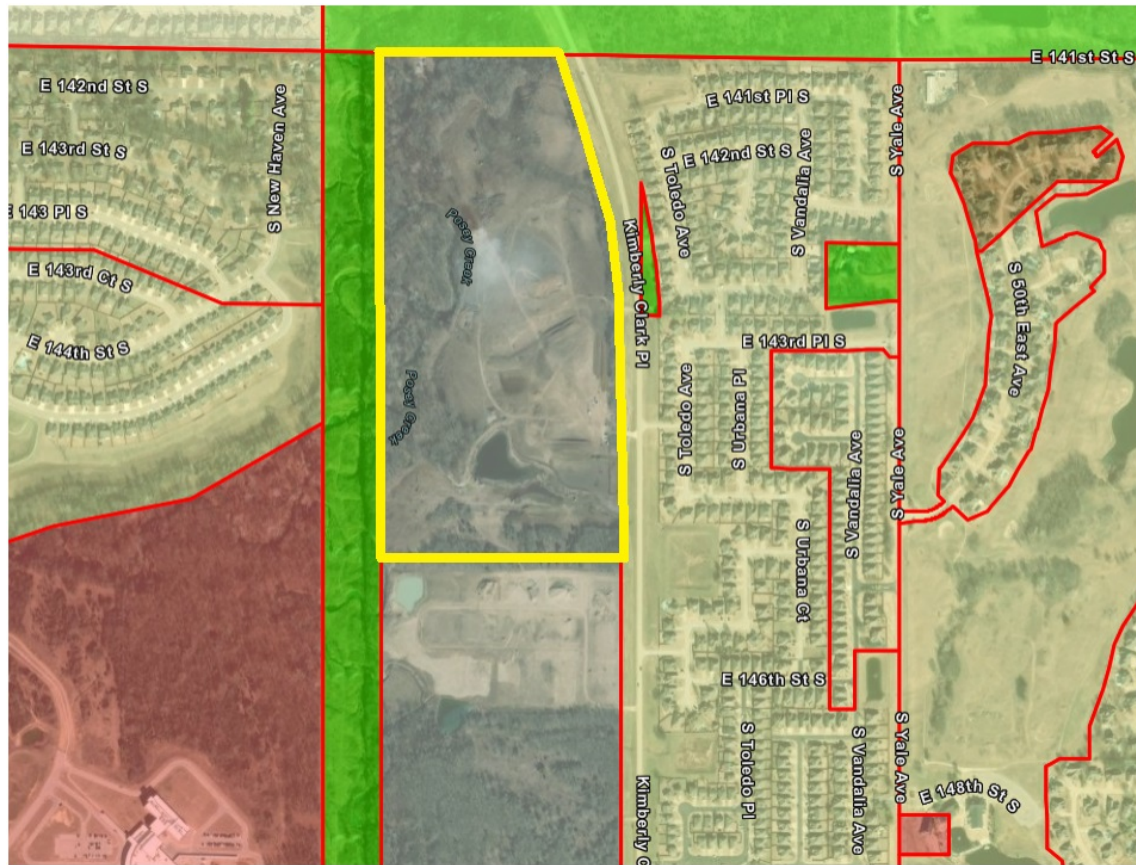
North: (AG) Agriculture: Vacant

East: (RS-3) Residential Single-Family Dwellings: Falcon Ridge Estates

South: (IL) Industrial Light: Bixby Business Park

West: (AG) Agriculture, (RS-1) Residential Single-Family Dwellings: Springtree

Figure 1: City of Bixby Zoning Map



Public Comments: Plats are not subject to public advertising, and at the time of writing, no public comments have been received.

TAC Comments: At the August TAC Meeting, Members had no comments on this development.

Engineering Review Comments: See attached Engineering Memo dated July 24, 2025.

Staff Comments

Staff has reviewed the conditional final plat and landscaping plan and finds it consistent with the previously approved Planned Unit Development (PUD-12 Major Amendment C) for South County Industrial Park.

Staff has no objection to the South County Industrial Park Final Plat (PUD-12, Major Amendment C) and Landscaping plan.

Figures: Figure 1: City of Bixby Zoning Map

Attachments: Conditional Final Plat with Deed of Dedication
Landscaping Plan by licensed Landscape Architect
Engineering Memo dated July 24, 2025

Curve Table

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	55.95'	35.00'	91°35'28.23"	N 61°23'32" W	50.18'
C2	55.17'	35.00'	90°19'05.39"	N 27°39'12" E	49.63'
C3	355.51'	275.00'	74°04'11.49"	S 35°46'39" W	331.27'
C4	290.87'	225.00'	74°04'11.49"	S 35°46'39" W	271.04'
C5	55.35'	35.00'	90°36'14.86"	N 44°02'39" E	49.76'
C6	54.61'	35.00'	89°23'46.04"	N 45°57'20" W	49.24'
C7	62.25'	100.00'	35°39'59.86"	S 19°05'27" E	61.25'
C8	93.38'	150.00'	35°39'59.86"	N 19°05'27" W	91.87'
C9	54.61'	35.00'	89°23'46.04"	S 45°57'20" E	49.24'
C10	93.38'	150.00'	35°39'59.86"	S 19°05'27" E	91.87'
C11	62.25'	100.00'	35°39'59.86"	N 19°05'27" W	61.25'
C12	55.35'	35.00'	90°36'13.96"	N 44°02'40" E	49.76'
C13	45.66'	35.00'	74°44'32.92"	S 51°58'30" W	42.49'
C14	266.77'	60.00'	254°44'32.92"	S 38°01'30" E	95.37'

Line Table

LINE	BEARING	DISTANCE
L1	N 72°48'44" E	93.58'
L2	N 72°48'44" E	94.91'
L3	N 01°15'27" W	1104.82'
L4	N 01°15'27" W	1104.82'
L5	N 36°55'27" W	65.35'
L6	N 01°15'27" W	53.06'
L7	S 89°20'47" W	255.01'
L8	N 36°55'27" W	65.35'
L9	N 01°15'27" W	51.79'
L10	N 89°20'47" E	296.03'
L11	S 89°20'47" W	580.66'

Address Note

ADDRESSES SHOWN ON THIS PLAT WERE ACCURATE AT THE TIME THIS PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF LEGAL DESCRIPTION.

Owner / Developer

SOUTH COUNTY INDUSTRIAL PARK, LLC
802 WEST 91ST STREET
TULSA, OKLAHOMA 74135
PHONE: (918) 284-7552
MR. JAMES ROBERTS

Surveyor

FRITZ LAND SURVEYING, LLC
524 EAST MAIN STREET
JENKS, OKLAHOMA 74037
PHONE: (918) 528-5121
EMAIL: fritzlandsurveying@gmail.com
C.A. # 5848 EXPIRES: 6-30-2026

Engineer

ENGINEERED BY DESIGN, PLLC
10700 MYERS LANE
CHOCTAW, OKLAHOMA 73020
PHONE: (405) 234-0980
EMAIL: ahalne@engineeredbydesign.pro
C.A. # 7655 EXPIRES: 6-30-2026

Planned Unit Development No. 12 (MAJOR AMENDMENT C)

South County Industrial Park

A RE-PLAT OF PART OF SITRIN CENTER ADDITION (PLAT NO. 2993), AN ADDITION TO THE NORTHEAST QUARTER (NE/4) OF SECTION SIXTEEN (16), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA.

Subdivision Statistics

SUBDIVISION CONTAINS FOUR (4) LOTS IN THREE (3) BLOCKS AND ONE (1) RESERVE AREA
GROSS SUBDIVISION AREA: 2,969,261.5 SQUARE FEET OR 68.16 ACRES.

Basis of Bearings

BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83).

Monumentation

ALL LOT CORNERS SHOWN HEREON WERE SET USING A 3/8" x 1/8" STEEL PIN WITH A GREEN PLASTIC CAP STAMPED "FRITZ CA5848".

Floodplain Data

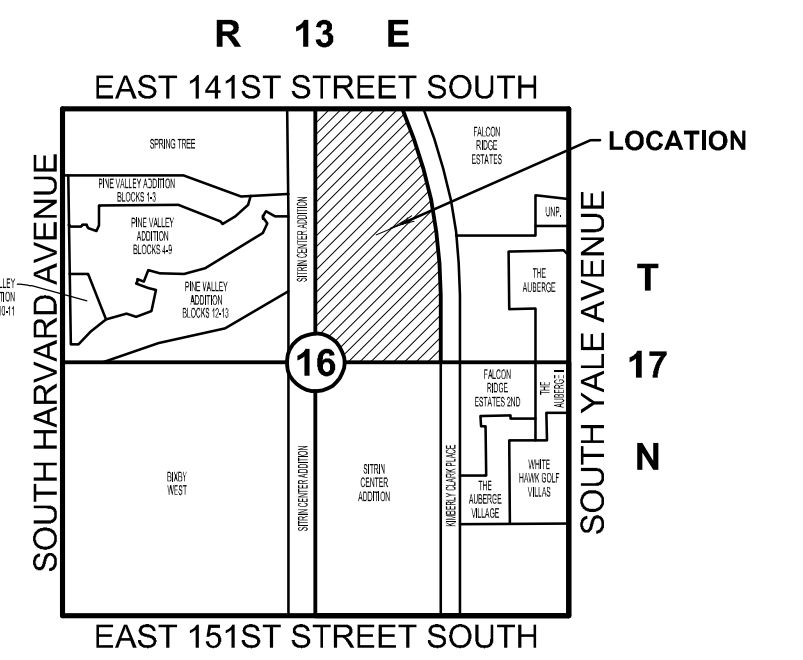
WE HAVE EXAMINED A MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, CITY OF BIXBY, OKLAHOMA, COMMUNITY PANEL NO. 40143C0433L - OCTOBER 16, 2012, WHICH INDICATES THE SURVEYED PROPERTY TO BE WITHIN SHADED ZONE X (AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN), ZONE AE (AREAS DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN) AND THE FLOODWAY WITH A BASE FLOOD ELEVATION OF VARYING FROM 619' TO 624.6' AS SHOWN HEREON.

Legend

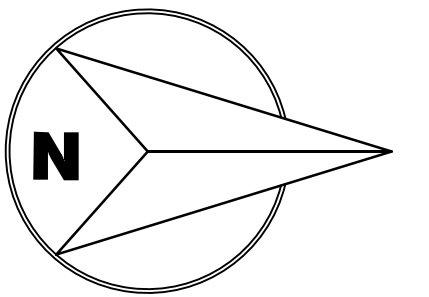
- B/L - BUILDING SETBACK LINE
- L.N.A. - LIMITS OF NO ACCESS
- OD/E - OVERLAND DRAINAGE EASEMENT
- U/E - UTILITY EASEMENT
- 14500 - STREET ADDRESS

Hatch Legend

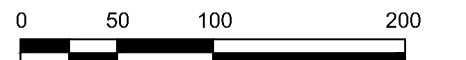
- = FEMA FLOODWAY
- = ZONE AE 1.0% CHANCE OF FLOOD



Location Map
SCALE: 1"=2000'



Scale: 1" = 100'



STATE OF OKLAHOMA)
COUNTY OF TULSA) SS

I, MICHAEL WILLIS, TULSA COUNTY CLERK, IN AND FOR THE COUNTY AND STATE ABOVE, DO HEREBY CERTIFY THAT THE FORGING IS A TRUE AND CORRECT COPY OF A LIKE INSTRUMENT NOW ON FILE IN MY OFFICE.

DATED THE _____ DAY OF _____, 2025.

MICHAEL WILLIS, TULSA COUNTY CLERK

DEPUTY

FEMA ZONE AE
PANEL NO. 40143C0433L
EFFECTIVE DATE: 10/16/2012

FINAL PLAT
CERTIFICATE OF APPROVAL

I hereby certify that this plat was approved by the City Council of the City of Bixby on _____, 2025.

on _____

MAYOR - VICE MAYOR

This approval is void if the above signature is not endorsed by the City Manager or City Clerk.

CITY MANAGER - CITY CLERK

DRAFT FINAL
COUNTY TREASURER STAMP
PLAT #1

**SOUTH COUNTY INDUSTRIAL PARK
DEED OF DEDICATION & RESTRICTIVE COVENANTS**

KNOW ALL MEN BY THESE PRESENTS:

SOUTH COUNTY INDUSTRIAL PARK, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, HEREINAFTER REFERRED TO AS THE "OWNER/DEVELOPER" IS THE OWNER OF THE FOLLOWING DESCRIBED LAND IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA:

A TRACT OF LAND THAT IS A RE-PLAT OF PART OF LOTS TWO (2) AND THREE (3), BLOCK ONE (1), SITRIN CENTER ADDITION, AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 2, THENCE SOUTH 01°12'40" EAST ALONG THE WEST LINE THEREOF 123.76 FEET TO THE POINT OF BEGINNING, THENCE NORTH 89°31'17" EAST AND PARALLEL WITH THE NORTH LINE OF SAID LOT 2 A DISTANCE OF 249.17 FEET; THENCE NORTH 00°28'43" WEST 76.08 FEET; THENCE NORTH 89°31'17" EAST 476.79 FEET; THENCE SOUTH 20°35'42" EAST 73.15 FEET; THENCE SOUTH 00°31'34" EAST 31.31 FEET; THENCE NORTH 89°31'17" EAST 214.21 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF KIMBERLY CLARK PLACE AND A POINT OF CURVATURE, THENCE SOUTHEASTERLY ALONG SAID RIGHT-OF-WAY LINE FOLLOWING A CURVE TO THE RIGHT HAVING A RADIUS OF 3636.66 FEET, AN ARC LENGTH OF 1185.52 FEET, A CHORD BEARING OF SOUTH 13°40'11" EAST AND A CHORD LENGTH OF 1190.28 FEET TO THE SOUTH LINE OF SAID LOT 2 AND A POINT OF COMPOUND CURVATURE; THENCE CONTINUING SOUTHEASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 3636.63 FEET, AN ARC LENGTH OF 174.28 FEET, A CHORD BEARING OF SOUTH 02°57'54" EAST AND A CHORD LENGTH OF 174.26 FEET, THENCE SOUTH 01°15'27" EAST AND CONTINUING ALONG SAID WESTERLY RIGHT-OF-WAY LINE 1146.99 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SECTION SIXTEEN (16), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST; THENCE SOUTH 89°20'47" WEST ALONG SAID SOUTH LINE 1225.91 FEET TO THE SOUTHWEST CORNER OF THE NE¼ OF SAID SECTION 16; THENCE NORTH 01°12'40" WEST ALONG THE WEST LINE THEREOF 2497.98 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 2,969,261.5 SQ. FEET OR 68.16 ACRES.

BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83) USING THE NORTH LINE OF LOT 2, BLOCK 1, SITRIN CENTER ADDITION AS NORTH 89°31'17" EAST.

THE OWNER/DEVELOPER HAS CAUSED THE SUBDIVISION PARCEL TO BE SURVEYED, STAKED, PLATTED AND SUBDIVIDED INTO LOTS, BLOCKS, RESERVE AREAS AND PUBLIC STREETS, IN CONFORMITY WITH THE ACCOMPANYING PLAT, AND HAS DESIGNATED THE SUBDIVISION AS 'SOUTH COUNTY INDUSTRIAL PARK, A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA.

SECTION I. STREETS, EASEMENTS AND UTILITIES

A. STREETS AND UTILITY EASEMENTS

THE OWNER/DEVELOPER DOES HEREBY DEDICATE FOR PUBLIC USE THE STREETS DEPICTED ON THE ACCOMPANYING PLAT AND DOES FURTHER DEDICATE FOR PUBLIC USE THE UTILITY EASEMENTS AS DEPICTED ON THE ACCOMPANYING PLAT AS "UE" OR "UTILITY EASEMENT", FOR OWNER/DEVELOPER AND ALL UTILITY SERVICES WITH FRANCHISE RIGHTS WITHIN TULSA COUNTY FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING AND/OR REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, TELEPHONE AND COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATER LINES AND CABLE TELEVISION LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO, WITH RIGHTS OF INGRESS AND EGRESS TO AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES AFORESAID; PROVIDED HOWEVER, THE OWNER/DEVELOPER HEREBY RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND RE-LAY ALL UTILITY LINES, INCLUDING WATER LINES, EXCLUDING GAS LINES AND GAS SERVICE LINES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING AND RE-LAYING OVER, ACROSS AND ALONG ALL OF THE UTILITY EASEMENTS DEPICTED ON THE PLAT, FOR THE PURPOSE OF FURNISHING WATER SERVICE AND ALL UTILITY SERVICES, EXCLUDING NATURAL GAS, TO THE AREA INCLUDED IN THE PLAT AND ELSEWHERE, AS MAY BE REQUIRED. THE OWNER/DEVELOPER HEREBY IMPOSES A RESTRICTIVE COVENANT, WHICH SHALL BE BINDING ON EACH LOT OWNER AND SHALL BE ENFORCEABLE BY TULSA COUNTY, OKLAHOMA AND BY THE SUPPLIER OF ANY AFFECTED UTILITY SERVICE, THAT WITHIN THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, NO BUILDING, STRUCTURE OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION SHALL BE PLACED, ERECTED, INSTALLED OR MAINTAINED, PROVIDED HOWEVER, NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING, LANDSCAPING, CUSTOMARY SCREENING FENCES AND WALLS THAT DO NOT CONSTITUTE AN OBSTRUCTION.

B. UNDERGROUND SERVICE

- OVERHEAD LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICES MAY BE LOCATED ALONG THE EASTERN PERIMETER EASEMENTS OF THE SUBDIVISION. STREET LIGHT POLES OR STANDARDS MAY BE SERVED BY UNDERGROUND CABLE. ALL SUPPLY LINES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS LINES SHALL BE LOCATED UNDERGROUND IN THE EASEMENT WAYS DEDICATED FOR GENERAL UTILITY SERVICES AS DEPICTED ON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN THE EASEMENT WAYS.
- UNDERGROUND SERVICE CABLES AND GAS SERVICE LINES TO ALL STRUCTURES WHICH ARE LOCATED WITHIN THE SUBDIVISION MAY BE RUN FROM THE NEAREST GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURE AS MAY BE LOCATED UPON THE LOT, PROVIDED THAT UPON THE INSTALLATION OF A SERVICE CABLE OR GAS SERVICE LINE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, EFFECTIVE AND NON-EXCLUSIVE RIGHT-OF-WAY EASEMENT ON THE LOT, COVERING A 5-FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE OR LINE EXTENDING FROM THE GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE SERVICE ENTRANCE ON THE STRUCTURE.
- THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS SERVICES, THROUGH ITS AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL EASEMENT WAYS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES INSTALLED BY THE SUPPLIER OF THE UTILITY SERVICE.
- THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND SERVICE FACILITIES LOCATED ON HIS LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES. EACH SUPPLIER OF SERVICE SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF UNDERGROUND FACILITIES, BUT THE OWNER OF THE LOT SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OR HIS AGENTS OR CONTRACTORS.
- THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY EACH SUPPLIER OF THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE AND THE OWNER OF THE LOT AGREES TO BE BOUND HEREBY.

C. WATER, SANITARY SEWER AND STORM SEWER

- THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS, SANITARY SEWER MAINS, AND STORM SEWERS LOCATED ON THE OWNER'S LOT.
- WITHIN UTILITY EASEMENTS, RESTRICTED WATERLINE, SANITARY SEWER, STORM SEWER AND DRAINAGE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF GRADE FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER MAIN, SANITARY SEWER MAIN, OR STORM SEWER OR ANY CONSTRUCTION ACTIVITY WHICH, IN THE JUDGMENT OF THE CITY OF BIXBY, WOULD INTERFERE WITH PUBLIC WATER MAINS, SANITARY SEWER MAINS, AND STORM SEWERS SHALL BE PROHIBITED.
- THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER SYSTEMS, SANITARY SEWER MAINS, AND STORM SEWERS BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER, OR THE OWNER'S AGENTS AND/OR CONTRACTORS.
- THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS, RESTRICTED WATERLINE, SANITARY SEWER, STORM SEWER AND DRAINAGE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION, FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF UNDERGROUND WATER, SANITARY SEWER, OR STORM SEWER FACILITIES.
- THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, AND THE OWNER OF EACH LOT AGREES TO BE BOUND BY THESE COVENANTS.

D. GAS SERVICE

- THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND GAS FACILITIES LOCATED WITHIN THE LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY OTHER CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH GAS SERVICE. THE SUPPLIER OF GAS SERVICE SHALL BE RESPONSIBLE FOR THE ORDINARY MAINTENANCE OF ITS FACILITIES, BUT THE LOT OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF FACILITIES CAUSE OF NECESSITATED BY ACTS OF THE LOT OWNER, OR THE LOT OWNER'S AGENTS OR CONTRACTORS.
- THE SUPPLIER OF GAS SERVICE THROUGH ITS AGENTS AND EMPLOYEES SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR AS OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, REMOVING, REPAIRING, OR REPLACING ANY PORTION OF THE FACILITIES INSTALLED BY THE SUPPLIER OF GAS SERVICE.
- THE FOREGOING COVENANTS CONCERNING UNDERGROUND GAS FACILITIES SHALL BE ENFORCEABLE BY THE SUPPLIER OF GAS SERVICE, AND THE OWNER OF THE LOT AGREES TO BE BOUND HEREBY.

E. PAVING AND LANDSCAPING WITHIN EASEMENTS

THE OWNER OF ANY LOT DEPICTED ON THE ACCOMPANYING PLAT SHALL BE RESPONSIBLE FOR THE REPAIR OF DAMAGE TO LANDSCAPING AND PAVING OCCASIONED BY INSTALLATION OR NECESSARY MAINTENANCE OF UNDERGROUND WATER, SANITARY SEWER, STORM SEWER, NATURAL GAS, COMMUNICATION, CABLE TELEVISION OR ELECTRIC FACILITIES WITHIN THE EASEMENT AREAS DEPICTED UPON THE ACCOMPANYING PLAT, PROVIDED THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, OR THE SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

F. RESERVE AREA "A"

RESERVE AREA "A" IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A STORM WATER DETENTION AND OVERLAND DRAINAGE EASEMENT AND IS RESERVED FOR

SUBSEQUENT CONVEYANCE TO THE SOUTH COUNTY CROSSING INDUSTRIAL PARK PROPERTY OWNERS' ASSOCIATION, FOR THEIR USE AND MAINTENANCE, AS SET FORTH WITHIN SECTION III HEREOF.

G. LIMITS OF NO ACCESS

THE UNDERSIGNED OWNER/DEVELOPER HEREBY RELINQUISHES RIGHTS OF VEHICULAR INGRESS OR EGRESS WITHIN THE BOUNDS DESIGNATED AS "LIMITS OF NO ACCESS" (L.N.A.) ON THE ACCOMPANYING PLAT, WHICH "LIMITS OF NO ACCESS" MAY BE AMENDED OR RELEASED BY THE CITY OF BIXBY, STATE OF OKLAHOMA AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, STATE OF OKLAHOMA.

SECTION II. PLANNED UNIT DEVELOPMENT RESTRICTIONS

WHEREAS, "SOUTH COUNTY INDUSTRIAL PARK" WAS SUBMITTED AS PART OF A PLANNED UNIT DEVELOPMENT NO. 12 (MAJOR AMENDMENT C), AS PROVIDED WITHIN THE PROVISIONS OF THE CITY OF BIXBY ZONING CODE PERTAINING TO PLANNED UNIT DEVELOPMENTS, AND

WHEREAS PUD NO. 12 (MAJOR AMENDMENT C) WAS AFFIRMATIVELY RECOMMENDED BY THE BIXBY PLANNING COMMISSION ON SEPTEMBER 18, 2023 AND APPROVED BY BIXBY CITY COUNCIL ON SEPTEMBER 25, 2023, AND

WHEREAS, THE PLANNED UNIT DEVELOPMENT PROVISIONS OF THE BIXBY ZONING CODE REQUIRE THE ESTABLISHMENT OF COVENANTS OF RECORD, INURING TO AND ENFORCEABLE BY THE CITY OF BIXBY, STATE OF OKLAHOMA, SUFFICIENT TO ASSURE THE IMPLEMENTATION AND CONTINUED COMPLIANCE WITH THE APPROVED PLANNED UNIT DEVELOPMENT AND AMENDMENTS THERETO, AND

WHEREAS, THE OWNER/DEVELOPER ESTABLISHED RESTRICTIONS FOR THE PURPOSE OF PROVIDING FOR AN ORDERLY DEVELOPMENT AND TO INSURE ADEQUATE RESTRICTIONS FOR THE MUTUAL BENEFIT OF THE OWNER, ITS SUCCESSORS AND ASSIGNS, AND CITY OF BIXBY, STATE OF OKLAHOMA, AND

THEREFORE, THE OWNER/DEVELOPER DOES HEREBY IMPOSE RESTRICTIONS AND COVENANTS TO ALL LOTS CONTAINED WITHIN THIS SUBDIVISION PLAT (SOUTH COUNTY INDUSTRIAL PARK), AND WHICH COVENANTS SHALL BE COVENANTS RUNNING WITH THE LAND AND SHALL BE BINDING UPON THE OWNER/DEVELOPER, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE ENFORCEABLE AS HEREINAFTER SET FORTH.

GROSS LAND AREA: 68.16 ACRES

SOUTH COUNTY INDUSTRIAL PARK NEIGHBORHOOD P.U.D. DEVELOPMENT STANDARDS INCLUDES ALL LOTS LOCATED WITHIN SOUTH COUNTY INDUSTRIAL PARK.

PROHIBITED USES: THE FOLLOWING USES SHALL BE PROHIBITED BY THE PUD AND NOT ALLOWED ON THE PROPERTY:
(THERE ARE USE UNITS NOT IN A PERMITTED USE THAT ARE IDENTIFIED TO BE CLEAR THAT THEY CANNOT BE INTRODUCED AS AN ACCESSORY USE.)

- USE UNIT 13- MEDICAL MARIJUANA DISPENSARY (TO INCLUDE TRANSPORTING USE)
- USE UNIT 22- MEDICAL MARIJUANA RESEARCH FACILITY.
- USE UNIT 22A- MEDICAL MARIJUANA TESTING LABORATORY.
- USE UNIT 23- MEDICAL MARIJUANA WAREHOUSING AND WHOLESALING FACILITY; MEDICAL MARIJUANA GROW FACILITY; SEXUALLY ORIENTED BUSINESS AS DEFINED IN SECTION 11-7D-6 BIXBY ZONING CODE.

MINIMUM LOT AREA PER UNIT:	PER IL ZONE
MINIMUM WIDTH:	50 FEET
MINIMUM SETBACK FROM SIDE PROPERTY LINE:	10 FEET
MINIMUM SETBACK FROM DEVELOPMENT EAST PROPERTY LINE; (RESERVE AREA)	25 FEET
MINIMUM SETBACK FROM DEVELOPMENT NORTH PROPERTY LINE:	20 FEET
MINIMUM SETBACK FROM SOUTH PROPERTY LINE; (OFFICE ZONING)	25 FEET
MAXIMUM PERMITTED BUILDING HEIGHT:	40 FEET

A. SCREENING

PER IL - LIGHT INDUSTRIAL ZONING

B. LANDSCAPING

SUBMITTAL WITH THE REQUIRED SITE PLAN WILL BE AN EXTENSIVE LANDSCAPE PLAN. THE PLAN WILL COMPLY WITH ALL REQUIREMENTS OF THE CITY OF BIXBY CODES. AN ADDITIONAL LANDSCAPE BUFFER IS PLANNED ALONG THE RIGHT OF WAY OF KIMBERLY CLARK PLACE. THIS IS DESIGNED TO PROTECT THE RESIDENTIAL USES ALONG THIS ROADWAY. THE PLAN WILL ALSO INCLUDE PROTECTION OF EXISTING TREES, IF POSSIBLE, AND INCORPORATE FEATURES THAT THAT AIDE IN PROTECTING ADJACENT RESIDENTIAL USE FROM THE ACTIVITIES ON THE SITE. THE APPLICANT SHALL SUBMIT A LANDSCAPING PLAN PREPARED BY A LANDSCAPE ARCHITECT THAT MAXIMIZES VISUAL AESTHETICS AND POSSIBLE SOUND IMPROVEMENT TECHNIQUES DIRECTED AT RESIDENTIAL PROPERTIES LOCATED EAST OF KIMBERLY CLARK PLACE. THE PUD CRITERIA ALLOWS THE LANDSCAPE PLAN TO UTILIZE THE RIGHT OF WAY OF KIMBERLY CLARK PLACE. THE LANDSCAPE PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE BIXBY PLANNING COMMISSION.

PRESERVATION OF MATURE TREES IS REQUIRED IN THE GREENBELT AREA ON THE WEST SIDE OF THE TRACT AND FURTHER DESCRIBED AS WITHIN THE BOUNDARY OF THE 100 YEAR FLOODPLAIN (FLOODWAY).

C. LIGHTING:

EXTERIOR AREA LIGHTING SHALL BE LIMITED TO SHIELDED FIXTURES DESIGNED TO DIRECT LIGHT DOWNWARD AND AWAY FROM ANY ADJACENT RESIDENTIAL PROPERTIES. STREET AND PARKING LOT LIGHTING SHALL NOT EXCEED 15 FEET IN HEIGHT AND BE APPROVED BY CITY ENGINEER PRIOR TO INSTALLATION.

D. SIGNAGE:

- GENERAL REQUIREMENTS:
 - THE DEVELOPMENT MAY PLACE TWO GROUND SIGN ALONG KIMBERLY CLARK PLACE AT EACH ENTRANCE TO THE DEVELOPMENT THAT INCORPORATES THE USES WITHIN THE DEVELOPMENT.
 - GROUND SIGNS ASSOCIATED WITH THE USES SHALL BE LIMITED 120 SQUARE FEET AND SHALL BE SUBMITTED TO CITY FOR APPEARANCE APPROVAL.
- WALL OR CANOPY SIGNS WITHIN THE DEVELOPMENT SHALL NOT EXCEED AN AGGREGATE DISPLAY SURFACE AREA OF 1 SQUARE FOOT PER EACH LINEAL FOOT OF THE BUILDING WALL TO WHICH THE SIGN OR SIGNS ARE AFFIXED. WALL AND CANOPY SIGNS SHALL BE FURTHER RESTRICTED AS FOLLOWS:
 - A WALL OR CANOPY SIGN SHALL NOT EXTEND ABOVE THE TOP OF THE PARAPET OR BUILDING WALL ON WHICH IT IS LOCATED
- DURING THE PERIOD OF CONSTRUCTION, BUT NOT EXCEEDING 24 MONTHS, A MAXIMUM OF ONE SIGN ADVERTISING THE CONSTRUCTION MAY BE ERRECTED ON THE KIMBERLY CLARK PLACE FRONTAGE OF THE DEVELOPMENT. THIS SIGN SHALL COMPLY WITH THE CITY OF BIXBY SIGN CODE FOR DISPLAY AREA ALLOWED.

E. PARKING:

PARKING SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE FOR THE USE BEING INSTALLED.

F. DRAINAGE AND UTILITIES:

ALL PUBLIC UTILITIES ARE AVAILABLE TO THE SITE AND SHALL BE ADDRESSED IN THE REQUIRED PLATTING REQUIREMENTS ASSOCIATED WITH THE REQUESTED ZONE CHANGE.

THE DEVELOPMENT WILL BE REQUIRED TO SUBMIT A DETAILED DRAINAGE PLAN TO THE CITY ENGINEER FOR REVIEW AND APPROVAL IN THE PLATTING PROCESS.

G. SITE PLAN REVIEW:

APPROVAL OF THE PUD ALSO REQUIRES THE SUBMITTAL OF BUILDING ELEVATIONS WITH A DETAILED SITE PLAN TO BE SUBMITTED WITH THE ASSOCIATED LOT SPLIT. THE REQUIRED PLATTING AS SPECIFIED IN THE ZONING CODE WILL BE ESTABLISHED WHEN THE SITE IS FIRST DEVELOPED. THE SITE PLAN REVIEW WILL INCORPORATE THE ELEVATION OF THE BUILDING AND LANDSCAPING PLANS.

SECTION III. PROPERTY OWNERS' ASSOCIATION

A. FORMATION OF PROPERTY OWNERS' ASSOCIATION: A PROPERTY OWNERS' ASSOCIATION, KNOWN AS 'SOUTH COUNTY INDUSTRIAL PARK ASSOCIATION', AN OKLAHOMA NOT-FOR-PROFIT

CORPORATION, HAS BEEN OR SHALL BE ESTABLISHED PURSUANT TO 60 O.S. 1991, § 851, ET SEQ., TO MAINTAIN THE RESERVE AREA IN THE SUBDIVISION AND FOR SUCH OTHER PURPOSES AS SHALL BE DEEMED ADVISABLE. ALL LAWFUL ACTS, IF ANY, OF SOUTH COUNTY INDUSTRIAL PARK ASSOCIATION (THE 'ASSOCIATION'), MADE UNDER AND PURSUANT TO ITS CERTIFICATE OF INCORPORATION AND BY-LAWS SHALL BE BINDING UPON THE LOTS CONTAINED IN THE ADDITION AND THE OWNERS THEREOF. MEMBERSHIP IN THE ASSOCIATION SHALL CONSIST OF ALL OWNERS OF LOTS IN THE ADDITION AND ALL OWNERS OF SUCH ADDITIONAL PROPERTY DESIGNATED BY THE DEVELOPER.

B. MEMBERSHIP

EVERY PERSON OR ENTITY WHO IS A RECORD OWNER OF THE FEE INTEREST OF A LOT SHALL BE A MEMBER OF THE PROPERTY OWNERS' ASSOCIATION. MEMBERSHIP SHALL BE APPURTENANT TO AND MAY NOT BE SEPARATED FROM THE OWNERSHIP OF A LOT.

C. ASSESSMENT

EACH RECORD OWNER OF A LOT SHALL BE SUBJECT TO ASSESSMENT BY THE PROPERTY OWNERS' ASSOCIATION FOR THE PURPOSES OF IMPROVEMENT AND MAINTENANCE OF THE STORM WATER DETENTION FACILITIES AND OTHER COMMON AREAS, ALL AS MORE PARTICULARLY PROVIDED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF SOUTH COUNTY INDUSTRIAL PARK AND THE BYLAWS OF THE ASSOCIATION.

SECTION IV. ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

A. ENFORCEMENT

THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE BINDING UPON THE OWNERS, THEIR SUCCESSORS AND ASSIGNS, WITHIN THE PROVISIONS OF SECTION I, STREETS, EASEMENTS AND UTILITIES, AND SECTION II, PLANNED UNIT DEVELOPMENT RESTRICTIONS, ARE SET FORTH CERTAIN COVENANTS AND THE ENFORCEMENT RIGHTS PERTAINING THERETO, AND ADDITIONALLY THE COVENANTS WITHIN SECTIONS I AND II, WHETHER OR NOT SPECIFICALLY THERIN SO STATED, SHALL INURE TO THE BENEFIT OF THE OWNERS OF THE LOTS WITHIN SOUTH COUNTY INDUSTRIAL PARK AND THE CITY OF BIXBY, STATE OF OKLAHOMA AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, STATE OF OKLAHOMA. IF THE UNDERSIGNED OWNER/DEVELOPER, OR ITS SUCCESSORS OR ASSIGNS OR OWNERS OF ANY LOTS WITHIN SOUTH COUNTY INDUSTRIAL PARK SHALL VIOLATE ANY OF THE COVENANTS HEREIN, IT SHALL BE LAWFUL FOR THE CITY OF BIXBY, STATE OF OKLAHOMA, ANY OWNER OF A LOT OR A PROPERTY OWNERS' ASSOCIATION FORMED FOR THIS SUBDIVISION TO MAINTAIN ANY ACTION AT LAW OR IN EQUITY AGAINST THE PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY SUCH COVENANT, TO PREVENT HIM OR THEM FROM SO DOING OR TO COMPEL COMPLIANCE WITH THE COVENANT IN ANY JUDICIAL ACTION BROUGHT BY A PROPERTY OWNERS' ASSOCIATION OR AN OWNER OF A LOT WHICH ACTION SEEKS TO ENFORCE THE COVENANTS OR RESTRICTIONS SET FORTH HEREIN OR TO RECOVER DAMAGES FOR THE BREACH THEREOF. THE PREVAILING PARTY SHALL BE ENTITLED TO RECOVER REASONABLE ATTORNEYS FEES AND COSTS AND EXPENSES INCURRED IN SUCH ACTION.

B. DURATION

THESE RESTRICTIONS, TO THE EXTENT PERMITTED BY APPLICABLE LAW, SHALL BE PERPETUAL AND SHALL BE IN FORCE AND EFFECT FOR A TERM OF NOT LESS THAN THIRTY (30) YEARS FROM THE DATE OF THE RECORDING OF THIS DEED OF DEDICATION UNLESS TERMINATED OR AMENDED HEREINAFTER PROVIDED.

C. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I, STREETS, EASEMENTS AND UTILITIES MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE CITY OF BIXBY, STATE OF OKLAHOMA, OR ITS SUCCESSORS. THE COVENANTS WITHIN SECTION II, PLANNED UNIT DEVELOPMENT RESTRICTIONS, MAY BE AMENDED AT ANY TIME WITH 75 PERCENT AGREEMENT OF ALL LOT OWNERS AND APPROVAL BY THE CITY OF BIXBY, STATE OF OKLAHOMA. THE COVENANTS WITHIN SECTION II, PROPERTY OWNERS' ASSOCIATION, MAY BE AMENDED OR TERMINATED AT ANY TIME WITH 75 PERCENT AGREEMENT OF ALL LOT OWNERS. THE PROVISIONS OF ANY INSTRUMENT AMENDING OR TERMINATING COVENANTS SHALL BE EFFECTIVE FROM AND AFTER THE DATE IT IS PROPERLY RECORDED.

D. SEVERABILITY

INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OR ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

CERTIFICATE OF OWNERSHIP

IN WITNESS WHEREOF, SOUTH COUNTY INDUSTRIAL PARK, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, HAS EXECUTED THIS INSTRUMENT THIS ____ DAY OF _____, 2025.

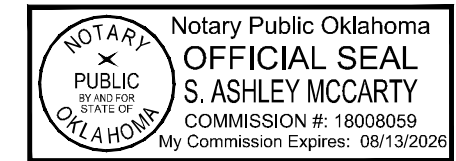
SOUTH COUNTY INDUSTRIAL PARK, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY

BY _____
JAMES ROBERTS, MANAGING MANAGER

STATE OF OKLAHOMA)
) SS.
COUNTY OF TULSA)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR THE SAID COUNTY AND STATE, ON THIS ____ DAY OF _____, 2025, PERSONALLY APPEARED TO ME JAMES ROBERTS, MANAGING MANAGER OF SOUTH COUNTY INDUSTRIAL PARK, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS NAME TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED ON BEHALF OF SOUTH COUNTY INDUSTRIAL PARK, LLC FOR THE USES AND PURPOSES THEREIN SET FORTH.

S. ASHLEY MCCARTY
MY COMMISSION EXPIRES: 8/13/2026
MY COMMISSION NUMBER: 18008059



CERTIFICATE OF SURVEY

I, ANDY FRITZ, OF FRITZ LAND SURVEYING, LLC, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA UNDER CERTIFICATE OF AUTHORIZATION #5848, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT DESIGNATED HEREIN AS "SOUTH COUNTY INDUSTRIAL PARK, A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, IS A TRUE REPRESENTATION OF THE SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES, AND MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

ANDY FRITZ
LICENSED PROFESSIONAL LAND SURVEYOR
OKLAHOMA NO. 1694

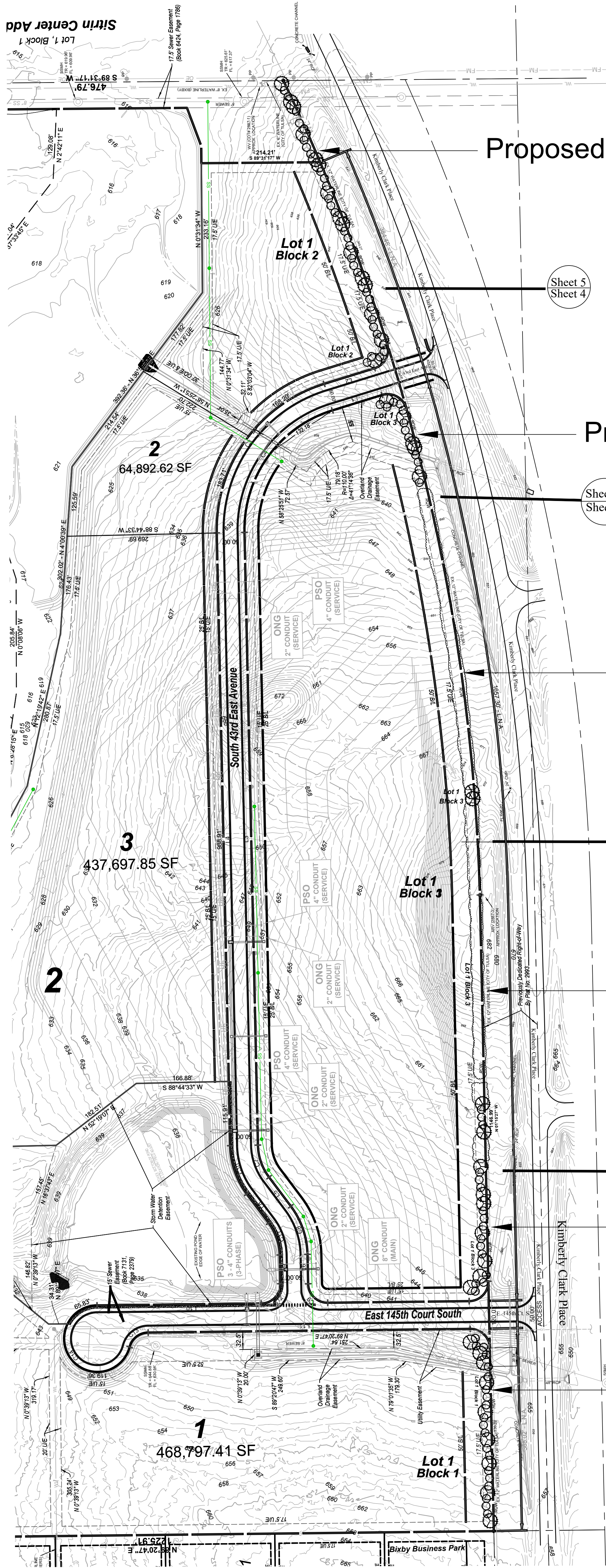
STATE OF OKLAHOMA)
) SS.
COUNTY OF TULSA)

BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS ____ DAY OF _____, 2025, PERSONALLY APPEARED ANDY FRITZ, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS NAME AS A LICENSED LAND SURVEYOR TO THE FOREGOING CERTIFICATE OF SURVEY AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.

JENNIFER FRITZ
MY COMMISSION EXPIRES: 6/23/2026
MY COMMISSION NUMBER: 14005589



South County Industrial Park



Proposed Evergreen Screen

Sheet 5
Sheet 4

Proposed Evergreen Screen

Sheet 4
Sheet 3

Keep Existing Tree and Understory Growth on Top of Berm

Sheet 4
Sheet 3

Keep Existing Tree and Understory Growth on Top of Berm

Sheet 3
Sheet 2

Proposed Evergreen Screen

Proposed Evergreen Screen



A Canaerti Juniper
Streetscape Planting Screen



B Loblolly Pine
Streetscape Planting Screen

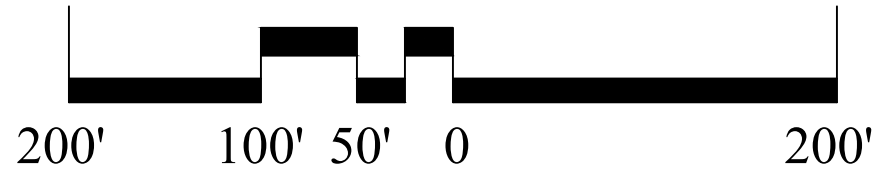


C Existing Tree and Understory Screen
Streetscape Planting Screen

A Plan View - Overall Property
Streetscape Planting Screen

Plant and Material List			
Type	Latin Name	Size	Spacing
Trees			
Juniper - 'Canaerti'	<i>Juniperus virginiana</i> 'Canaertii'	8' B&B	9' O.C.
Pine 'Loblolly'	<i>Pinus taeda</i>	12' B&B	22' O.C.

Scale: 1"=100'-0"



Development: South County Industrial Park
Project: Streetscape Design - Kimberly Clark Place
Sheet No. 1 Overall Streetscape Plan
Owner: South County Industrial Park, L.L.C. 802 West 91st Street Tulsa, Oklahoma 74132 918-284-7552
Engineering: Engineering by Design 10700 Myers Lane Choctaw, Oklahoma 73020 405-234-0980
Landsaped Entrance and Perimeter Design By: Richard Conrad & Assoc., L.L.C. 5705 East 71st Street Ste 240 Tulsa, Oklahoma 74136 918-855-8821 Date: August 15, 2025







South County Industrial Park

Plant and Material List

Type	Latin Name	Size	Spacing
Trees			
Juniper - 'Canaerti'	<i>Juniperus virginiana</i> 'Canaertii'	8' B&B	9' O.C.
Pine 'Loblolly'	<i>Pinus taeda</i>	12' B&B	22" O.C.



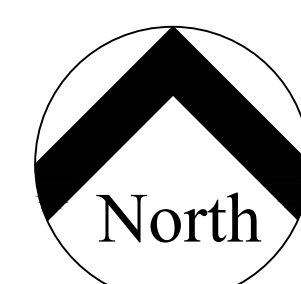
A Canaerti Juniper
Streetscape Planting Screen



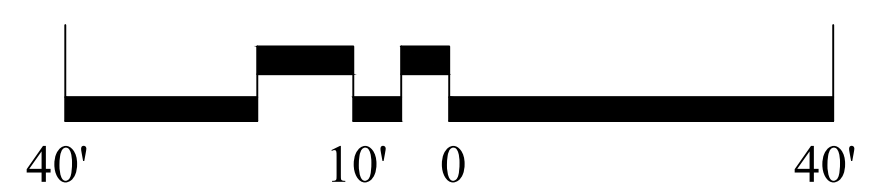
B Loblolly Pine
Streetscape Planting Screen



C Existing Tree and Understory Screen
Streetscape Planting Screen



Scale: 1"=20'-0"



Development: South County Industrial Park

Project: Streetscape Design - Kimberly Clark Place

Sheet No. 2 Streetscape Planting Plan

Owner:

South County Industrial Park, L.L.C.

802 West 91st Street
Tulsa, Oklahoma 74132
918-284-7552

Engineering:

Engineering by Design

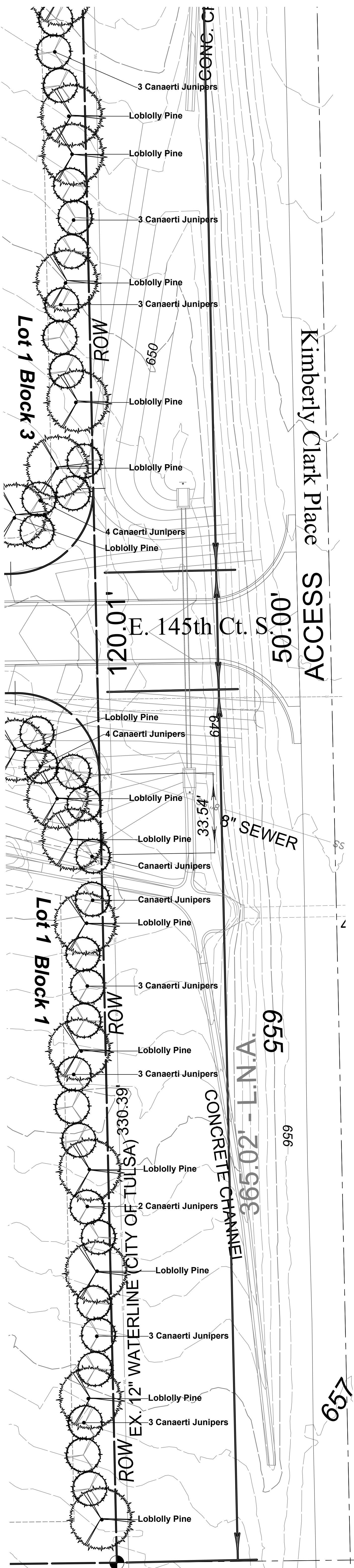
10700 Myers Lane
Choctaw, Oklahoma 73020
405-234-0980

Landsaped Entrance and Perimeter Design By:

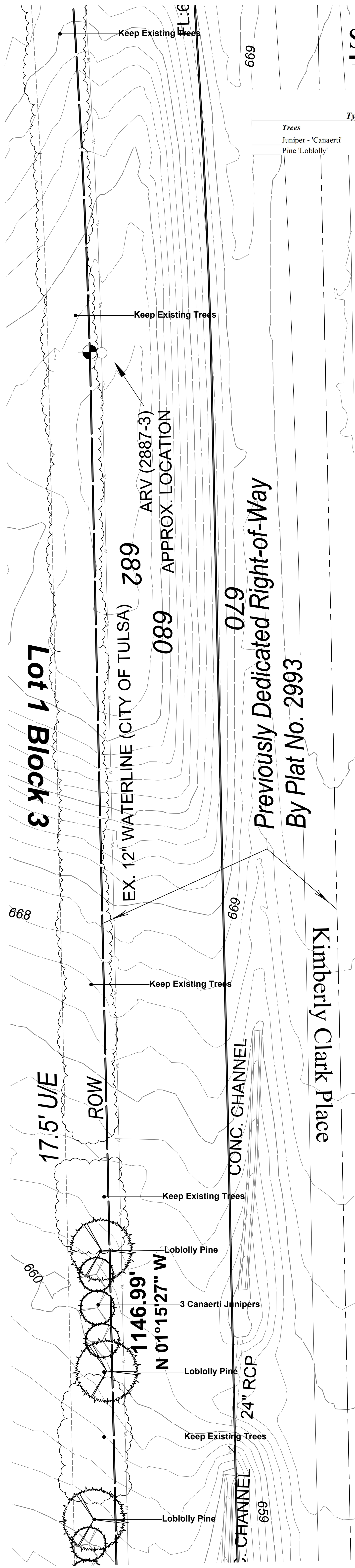
Richard Conrad & Assoc., L.L.C.

5705 East 71st Street Ste 240
Tulsa, Oklahoma 74136
918-855-8821

Date: August 15, 2025



A Plan View - Southeast Corner of Property
Scale: 1"=20'-0"
Streetscape Planting Screen



B Plan View - North of South of Entrance
Scale: 1"=20'-0"
Streetscape Planting Screen

South County Industrial Park

Plant and Material List

Trees	Type	Latin Name	Size	Spacing
Juniper - 'Canaerti'		<i>Juniperus virginiana 'Canaertii'</i>	8' B&B	9' O.C.
Pine 'Loblolly'		<i>Pinus taeda</i>	12' B&B	22' O.C.



A **Canaerti Juniper**
Streetscape Planting Screen



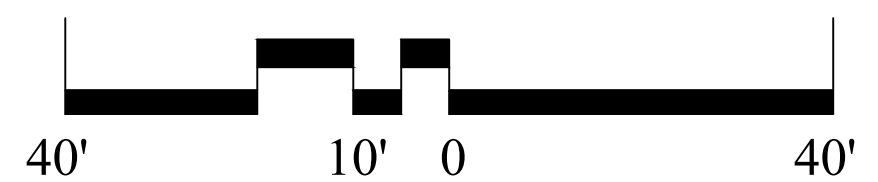
B **Loblolly Pine**
Streetscape Planting Screen



C **Existing Tree and Understory Screen**
Streetscape Planting Screen



Scale: 1"=20'-0"



Development: South County Industrial Park

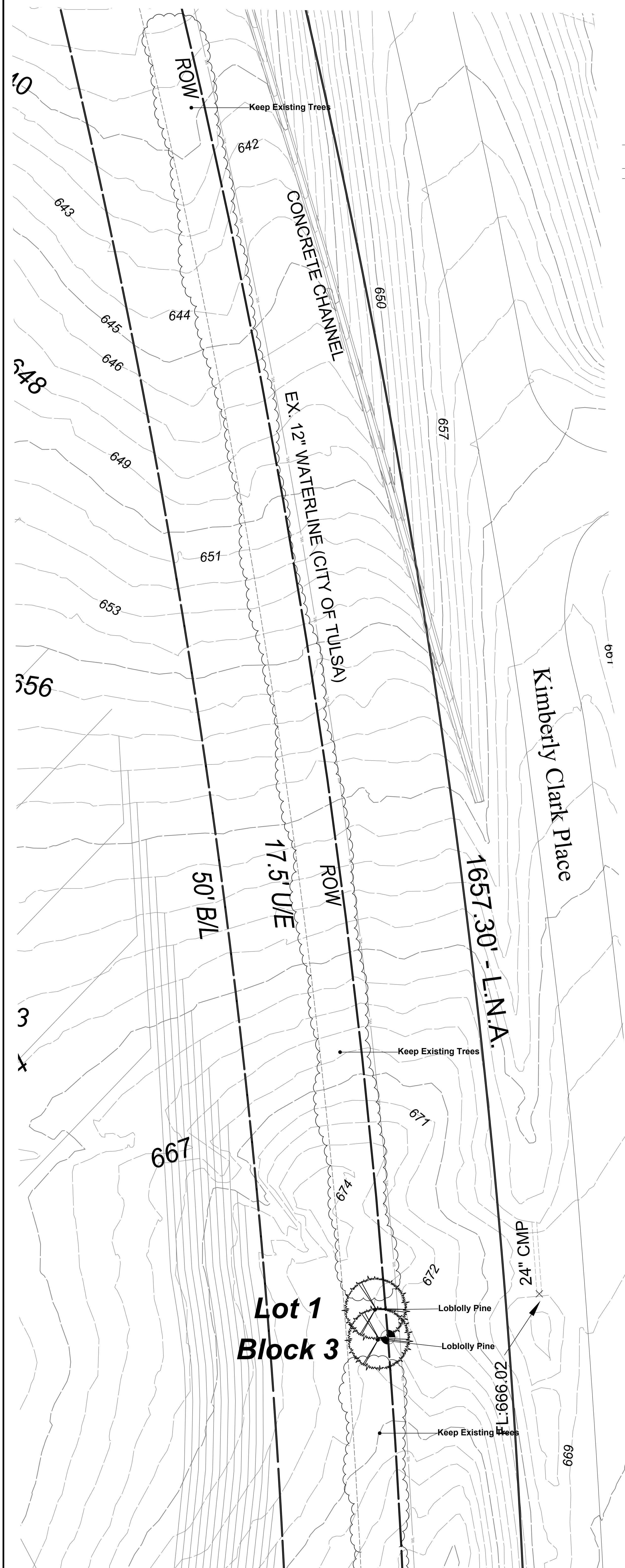
Project: Streetscape Design - Kimberly Clark Place

Sheet No. 3 Streetscape Planting Plan

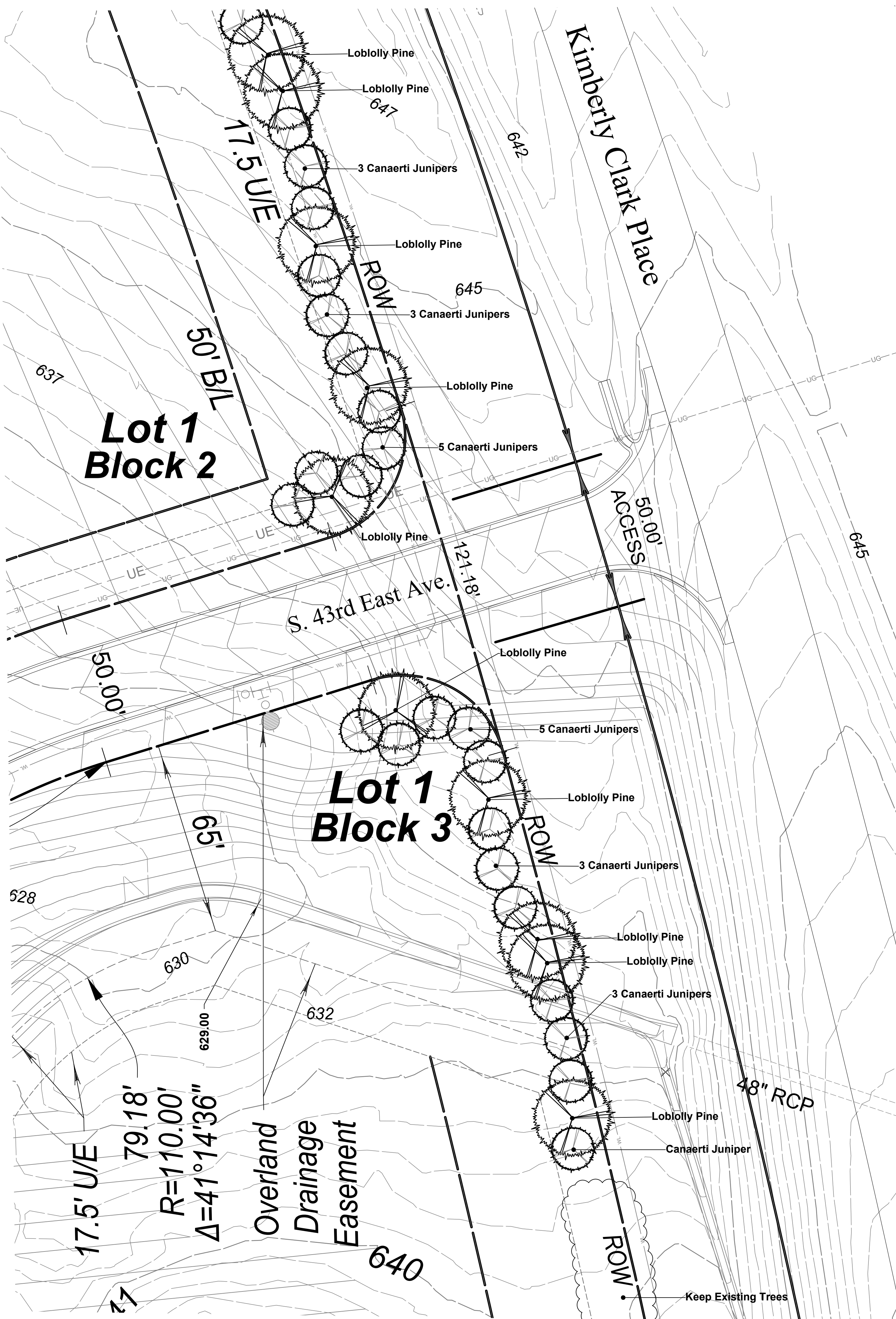
Owner:
South County Industrial Park, L.L.C.
802 West 91st Street
Tulsa, Oklahoma 74132
918-284-7552

Engineering:
Engineering by Design
10700 Myers Lane
Choctaw, Oklahoma 73020
405-234-0980

Landscaped Entrance and Perimeter Design By:
Richard Conrad & Assoc., L.L.C.
5705 East 71st Street Ste 240
Tulsa, Oklahoma 74136
918-855-8821
Date: August 15, 2025



C **Plan View - South of North Entrance**
Scale: 1"=20'-0" Streetscape Planting Screen



D Plan View - North of North Entrance
Scale: 1"=20'-0"
Streetscape Planting Screen



A Canaerti Juniper
Streetscape Planting Screen



B Loblolly Pine
Streetscape Planting Screen



C Existing Tree and Understory Screen
Streetscape Planting Screen

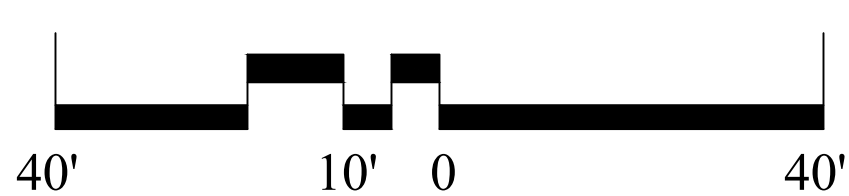
South County Industrial Park

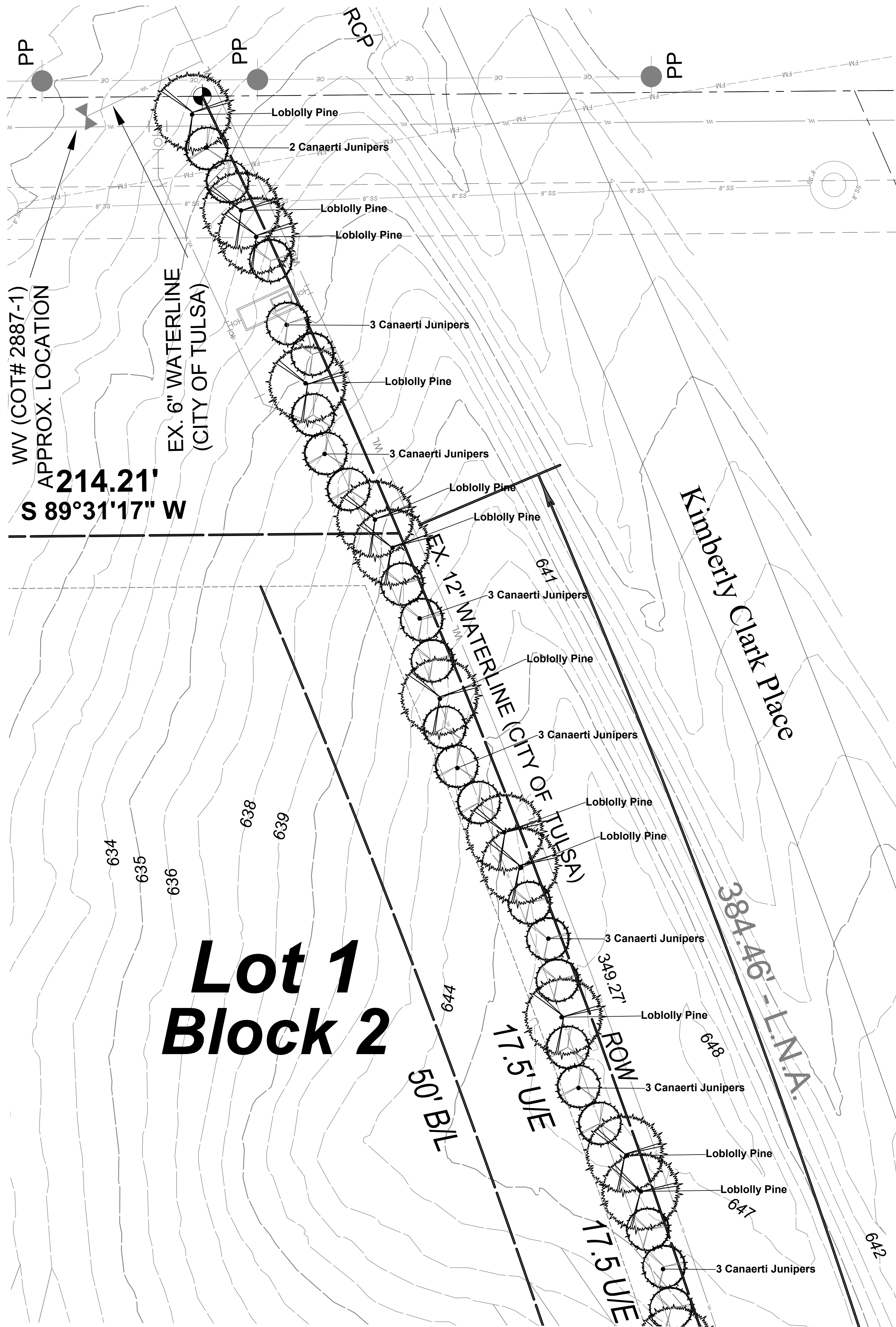
Plant and Material List

Type	Latin Name	Size	Spacing
Trees			
Juniper - 'Canaerti'	Juniperus virginiana 'Canaertii'	8' B&B	9' O.C.
Pine 'Loblolly'	Pinus taeda	12' B&B	22' O.C.

Development: South County Industrial Park
Project: Streetscape Design - Kimberly Clark Place
Sheet No. 4 Streetscape Planting Plan
Owner: South County Industrial Park, L.L.C. 802 West 91st Street Tulsa, Oklahoma 74132 918-284-7552
Engineering: Engineering by Design 10700 Myers Lane Choctaw, Oklahoma 73020 405-234-0980
Landscaped Entrance and Perimeter Design By: Richard Conrad & Assoc., L.L.C. 5705 East 71st Street Ste 240 Tulsa, Oklahoma 74136 918-855-8821 Date: August 15, 2025

Scale: 1"=20'-0"





A Canaerti Juniper
Streetscape Planting Screen



B Loblolly Pine
Streetscape Planting Screen



C Existing Tree and Understory Screen
Streetscape Planting Screen

E Plan View - North Corner Boundary
Scale: 1"=20'-0"
Streetscape Planting Screen

South County Industrial Park

Plant and Material List				
Type	Latin Name	Size	Spacing	
Trees				
Juniper - 'Canaerti'	<i>Juniperus virginiana</i> 'Canaertii'	8' B&B	9' O.C.	
Pine 'Loblolly'	<i>Pinus taeda</i>	12' B&B	22" O.C.	

Development: South County Industrial Park

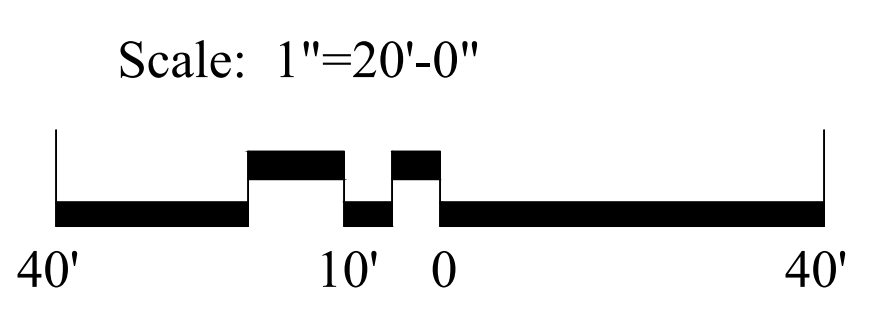
Project: Streetscape Design - Kimberly Clark Place

Sheet No. 5 Streetscape Planting Plan

Owner:
South County Industrial Park, L.L.C.
 802 West 91st Street
 Tulsa, Oklahoma 74132
 918-284-7552

Engineering:
Engineering by Design
 10700 Myers Lane
 Choctaw, Oklahoma 73020
 405-234-0980

Landscaped Entrance and Perimeter Design By:
Richard Conrad & Assoc., L.L.C.
 5705 East 71st Street Ste 240
 Tulsa, Oklahoma 74136
 918-855-8821
 Date: August 15, 2025



CITY OF BIXBY

P.O. Box 70
116 W. Needles Ave.
BIXBY, OK 74008
(918) 366-4430
(918) 366-6373 (fax)

To: Aaron Hale, Engineered by Design
Ryan McCarty, Select Design

From: Bea Aamodt, PW Director/City Engineer

CC: Public Works
File

Date: July 24, 2025

Re: **South County Industrial Park – Drainage Report dated October 16, 2024**

This review is a follow-up to the comments provided on the Drainage Report dated the June 25, 2024. The design concept is the same for both Reports:

1. One (1) conventionally analyzed stormwater detention pond
2. One (1) overflow that is to be constructed below existing flood elevations, receiving flow from both the site and from Posey Creek into their “Compensatory Storage” pond

In order to model Overbank Storage, a simple volume calculation is not sufficient to demonstrate flow attenuation within the “Compensatory Storage” area. Instead, a Storage-Discharge (Modified Puls) routing method is required. A summary of this approach is described in the Tulsa Drainage Manual, Section 607.3.1:

The storage-discharge relationship for a routing reach can be defined by calculating the storage volume (acre-feet) in the reach for each discharge that passes through the reach from low flow to beyond the highest flow that will be studied. This can be accomplished by hydraulic analysis of the reach for a range of discharges with HEC-RAS or HEC-2. Care should be taken to include the non-conveyance portions of all the cross sections, such as ineffective flow areas.

In addition to the storage-discharge relationship for a routing reach, the number of routing “subreaches” must also be determined for use in the HEC-HMS model. The number of subreaches is determined by comparing the hydrograph travel time to the computational interval:

$$\text{Subreaches} = \frac{K}{\Delta t}$$

Where: K = Average Travel Time, in minutes

Δt = Computational Time Interval, in minutes

The K value is reported as the “Trvl Tme Avg” variable in the HEC-RAS summary table for the reach. The computational time interval, Δt , is defined in the Control Specifications section of the HEC-HMS model.

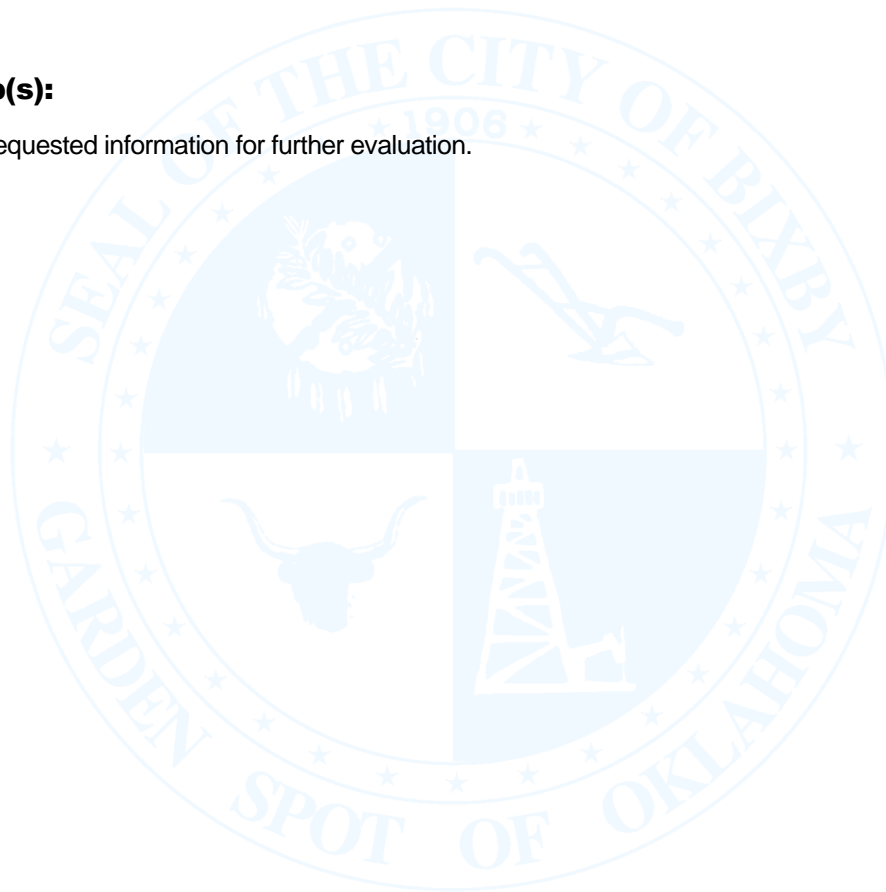
From the data provided, it appears that only HEC-HMS and HY-8 (culvert analysis software) were used to model the drainage facilities. A HEC-RAS model verifying the Storage-Discharge characteristics of the “Compensatory Storage” was not provided.

Additional modeling information is needed to fully evaluate the “Compensatory Storage” area.

1. While adding floodplain storage can be used to lower flood elevations within a region, it does not necessarily follow that flow rates are reduced to downstream properties.
2. Further modeling is required to verify the flow reductions attributed to the “Compensatory Storage” pond as it relates to Posey Creek.
3. A HEC-RAS model is required to incorporate the Compensatory Storage into the HEC-HMS model.

Next Step(s):

- Submit requested information for further evaluation.



East 146th Street South
and
South Kimberly Clark Place
Bixby Oklahoma

Planned Unit Development Number 12 Major Amendment C
Industrial and Services Park with restricted uses

SOUTH COUNTY INDUSTRIAL
PARK



Bell Land Use LLC
918-902-0462

Jim Roberts, Principal
South County Industrial Park and
Industrial Developers of Oklahoma (IDO)

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Exhibit C	Existing Zoning
Exhibit D	Site Plan and Floodplain
Exhibit E	FEMA Map
Exhibit F	Mature Tree Preservation Area

EXHIBIT 'A'
LEGAL DESCRIPTION

TRACT A

A TRACT OF LAND THAT IS A PORTION OF LOT (2), BLOCK ONE (1), SITRIN CENTER ADDITION, TULSA COUNTY, OKLAHOMA, ACCORDING TO THE RECORDED PLAT NO. 2993, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 2; THENCE S 01°12'20" E, A DISTANCE OF 1298.58 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE N 89°25'40" E, ALONG THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 1218.15 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF SOUTH YALE PLACE; THENCE N 04°19'15" W A DISTANCE OF 0.00 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 1337.80 FEET, A RADIUS OF 3636.68 FEET, A CHORD BEARING OF N 14°51'36" W AND A CHORD LENGTH OF 1330.27 FEET, SAID CURVE BEING ALONG THE WEST LINE OF SAID YALE PLACE; THENCE N 25°23'54" W A DISTANCE OF 8.96 FEET TO A POINT THAT IS THE INTERSECTION OF SAID WEST LINE OF YALE PLACE AND THE NORTH LINE OF SAID LOT 2; THENCE S 89°30'23" W ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 900.44 FEET TO THE POINT OF BEGINNING.

AND

TRACT B:

A TRACT OF LAND THAT IS A PORTION OF LOT THREE (3), BLOCK ONE (1), SITRIN CENTER ADDITION, TULSA COUNTY, OKLAHOMA, ACCORDING TO THE RECORDED PLAT NO. 2993, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 3; THENCE S 01°12'20" E ALONG THE WEST LINE OF SAID LOT 3, A DISTANCE OF 1323.58 FEET; THENCE N 89°20'58" E, A DISTANCE OF 1223.81 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF SOUTH YALE PLACE; THENCE N 01°13'14" W, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 1125.25 FEET TO A POINT OF CURVE; THENCE ALONG A TANGENT CURVE TO THE LEFT HAVING AN ARC LENGTH OF 196.81 FEET, A RADIUS OF 3636.68 FEET, A CHORD BEARING OF N 02°46'16" W AND A CHORD LENGTH OF 196.79 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 3; THENCE S 89°25' 40" W ALONG THE NORTH LINE OF SAID LOT 3, A DISTANCE OF 1218.15 FEET TO THE POINT OF BEGINNING.

I. Executive Summary

Industrial Developers of Oklahoma (IDO) deliver unrivaled expertise in development, property management and leasing throughout Oklahoma. Through years of developing a trusted reputation as the premier industrial developer in Oklahoma, IDO is well positioned to assist with the development of buildings which surpass the needs of its clients.

Since 1991, principals of IDO have focused exclusively on the development of state-of-the-art industrial facilities. With over 75 years of collective real estate experience and a portfolio of buildings approaching one billion dollars, no other development group in Oklahoma can match the track record and experience of IDO.

Unlike the typical merchant developer, IDO approaches each project with the intent of holding the facility as a long-term investment. Consequently, each project is engineered and constructed beyond standards typically adhered to for warehouse/R&D facilities. Our design, development practices and follow-up ensure that our clients enjoy the long-term benefits of buildings developed by IDO.

The subject property is designated Industrial by the Bixby Comprehensive Plan and is currently Zoned IL – PUD 12. The Planned Unit Development is a replacement PUD that is being submitted to create a maximum development flexibility condition that allows for ease of lot creation, development standards for employment-based manufacturing users and those service users that are important to the manufacturers and the community, development standards that are in compliance with the City of Bixby 151st Street Appearance Overlay, and to restrict certain uses that would be inappropriate for the site.

II. Development Text

The subject property is not in the Corridor Appearance Review District. The district is specified to be an area six hundred feet (600') from center 151st Street at Memorial West to Bixby city limits.

The developer does want to institute a variation of the Corridor Appearance review standards and guidelines to achieve aesthetically pleasing and environmentally sensitive development and maintain a consistent look with areas in the district. These standards shall include landscaping, building material selection, structural design and color scheme provisions, sound reduction methods, improved air quality, and to provide attractive sites for industrial development to the benefit of the city's visitors and residents. The minimum development standards and exceptions are as follows:

- A. All sides of administrative buildings shall be 100% masonry to include brick, stucco, tilt up concrete, or similar masonry like product, stone, or some combination thereof. The manufacturing/warehousing buildings shall be finished in a product that resembles a masonry product.
- B. The development will establish a plat with four lots that will allow a lot split to three parcels to be approved by the review of the planning staff for each lot upon verification of compliance to the subdivision regulations. See section related to Plat and Lot Splits.
- C. The development must submit building elevations with a site plan, legal description and a surveyor's lot split exhibit with each proposed building.
- D. With the site plan submittal will be an extensive landscape plan. This plan will include protection of existing trees, if possible, and incorporate features that that aide in protecting nearby residential uses from the activities on the site. Protection of existing trees shall include the preservation of mature trees in greenbelt reserve areas.
- E. The City Planner may refer a proposed structure to the City Council for approval if determined to be of exceptional character, iconic, or potentially offensive.

The majority of the land area within the development will be dedicated for employment-based manufacturing type users. It is recognized that certain industrial style service users are important to the manufacturers and to the community. These businesses usually require less space and require more parking area to accommodate a small retail component. It is important that the service businesses be located appropriately not to cause interference to larger type industrial uses. The development may have service type users which can be located as a single tenant in a building or multiple tenants in a single building. The service tenant will be limited to no more than 25% of the space they occupied can be used for retail sales of their product.

Maximum development of the site is expected to be approximately 12 lots. The initial plat will be submitted with 4 lots strategically located to allow future development through a Lot Split program. A parcel located on the west side of the development will be created as a reserve area with requirements associated with the floodplain that is located in this area of the development.

Recognizing that users of the site will require specific sizes and criteria, each lot will be allowed to be divided into three parcels with the submittal of a legal description and surveyor's lot split exhibit. The Planning Staff will be authorized to approve the lot split upon verification of compliance to the subdivision regulations. For example, each lot shall have direct access to City Water and Sewer and easement to Storm water and meet the minimum standards of the IL Light Industrial Zoning District.



The development standards of the Planned Unit Development will specify permitted uses that are allowed within the property and will specify several uses that are not allowed.

The land Areas of the development are as follows:

	Square Footage	Acres
80' ROW	271,746	6.24
Lot Area	2,462,917	56.54
Land Conservancy/Floodplain	<u>626,974</u>	<u>14.39</u>
Total	3,361,638	77.1

III. Development Standards

The Property will be Zoned IL (Light Industrial)

Permitted Uses:

All uses allowed by right in the Use Unit 22, Use Unit 22A, Use Unit 23, and Use Unit 25 except as defined below.

Prohibited Uses:

The following uses shall be prohibited by the PUD and not allowed on the Property:

(There are use units not in a permitted use that are identified to be clear that they cannot be introduced as an accessory use.)

- Use Unit 13- Medical Marijuana Dispensary (To include transporting use)
- Use Unit 22 - Medical marijuana research facility.
- Use Unit 22A - Medical marijuana testing laboratory.
- Use Unit 23 – Medical Marijuana Warehousing and Wholesaling Facility.
- Medical Marijuana Grow Facility
- Sexually Oriented Business as defined in Section 11-7D-6 Bixby Zoning Code

Minimum Lot Area Per Unit:	Per IL Zone
Minimum Width	50 Feet
Minimum Setback from side Property Line	10 Feet
Minimum Setback from Development east property Line: (Reserve Area)	25 Feet
Minimum Setback from Development north Property Line:	20 Feet
Minimum Setback from south Property Line (Office Zoning)	25 Feet
Maximum Permitted Building Height:	40 Feet

Screening:

Per IL Light Industrial Zoning

Landscaping:

Submittal with the required site plan will be an extensive landscape plan. The plan will comply with all requirements of the City of Bixby codes. An additional landscape buffer is planned along the right of way of Kimberly Clark Place. This is designed to protect the residential uses along this roadway. The plan will also include protection of existing trees, if possible, and incorporate features that aid in protecting adjacent residential use from the activities on the site. The applicant shall submit a Landscaping Plan prepared by a Landscape Architect that maximizes visual aesthetics and possible sound improvement techniques directed at residential properties located east of Kimberly Clark Place. The PUD criteria allows the landscape plan to utilize the right of way of Kimberly Clark Place. The Landscape plan shall be submitted for review and approval by the Bixby Planning Commission.

Preservation of mature trees is required in the greenbelt area on the west side of the tract. The area will be identified as a Reserve Area. This area will be allowed for Direct Drainage to the area creeks to help facilitate the removal of storm water to the river prior to the introduction of storm water from upstream properties. The area of mature tree preservation is identified by the following metes and bounds legal description and as further shown on Exhibit F. Tree Preservation/Reserve Area is described as:

A TRACT OF LAND IS A PORTION OF LOT TWO (2), BLOCK ONE (1), SITRIN CENTER ADDITION, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT NO. 2993, SAID TRACT BEING DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 2; THENCE SOUTH 00°12'40" EAST ALONG THE WEST LINE OF SAID LOT 2, A DISTANCE OF 1298.58 FEET TO THE SOUTHWEST CORNER OF LOT 2 AND THE NORTHWEST CORNER OF LOT 3; THENCE SOUTH 00°12'40" EAST ALONG THE WEST LINE OF SAID LOT 3, A DISTANCE OF 814.71 FEET; THENCE NORTH 21°33'28" EAST A DISTANCE OF 256.40 FEET; THENCE NORTH 08°42'28" EAST A DISTANCE OF 256.05 FEET; THENCE NORTH 29°20'27" EAST A DISTANCE OF 281.54 FEET; THENCE NORTH 39°11'17" EAST A DISTANCE OF 122.34 FEET; THENCE NORTH 08°28'15" EAST A DISTANCE OF 186.35 FEET; THENCE NORTH 00°08'06" WEST A DISTANCE OF 205.84 FEET; THENCE NORTH 17°56'20" WEST A DISTANCE OF 224.06 FEET; THENCE NORTH 09°49'15" WEST A DISTANCE OF 272.29 FEET; THENCE NORTH 37°33'45" EAST A DISTANCE OF 298.85 FEET; THENCE NORTH 02°42'11" EAST A DISTANCE OF 176.83 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE SOUTH 89°31'17" WEST ALONG THE NORTH LINE OF LOT 2 A DISTANCE OF 494.96 FEET TO THE POINT OF BEGINNING.

Lighting:

Exterior area lighting shall be limited to shielded fixtures designed to direct light downward and away from any adjacent residential properties. Street and parking lot lighting shall not exceed 15 feet in height and be approved by City Engineer prior to installation.

IV. Signage

1. General requirements:
 - a. The Development may place two ground sign along Kimberly Clark Place at each entrance to the development that incorporates the uses within the development.
 - b. Ground signs associated with the uses shall be limited 120 square feet and shall be submitted to City for appearance approval
2. Wall or canopy signs within the development shall not exceed an aggregate display surface area of 1 square foot per each lineal foot of the building wall to which the sign or signs are affixed. Wall and canopy signs shall be further restricted as follows:
 - a. A wall or canopy sign shall not extend above the top of the parapet or building wall on which it is located.
 - b. On lots with frontage to Kimberly Clark Road wall signs will be prohibited from facing Kimberly Clark Road. All wall signage shall be intended for view from the internal streets of the subdivision.
3. During the period of construction, but not exceeding 24 months, a maximum of one sign advertising the construction may be erected on the Kimberly Clark Place frontage of the development. This sign shall comply with the City of Bixby Sign Code for display area allowed.

V. Parking

Parking Spaces shall comply with the requirements of the Zoning Code for the use being installed.

VI. Drainage and Utilities

All public utilities are available to the site and shall be addressed in the required platting requirements associated with the requested zone change.

The development will be required to submit a detailed drainage plan to the City Engineer for review and approval in the platting process.

VII. Existing Zoning and Comprehensive Plan

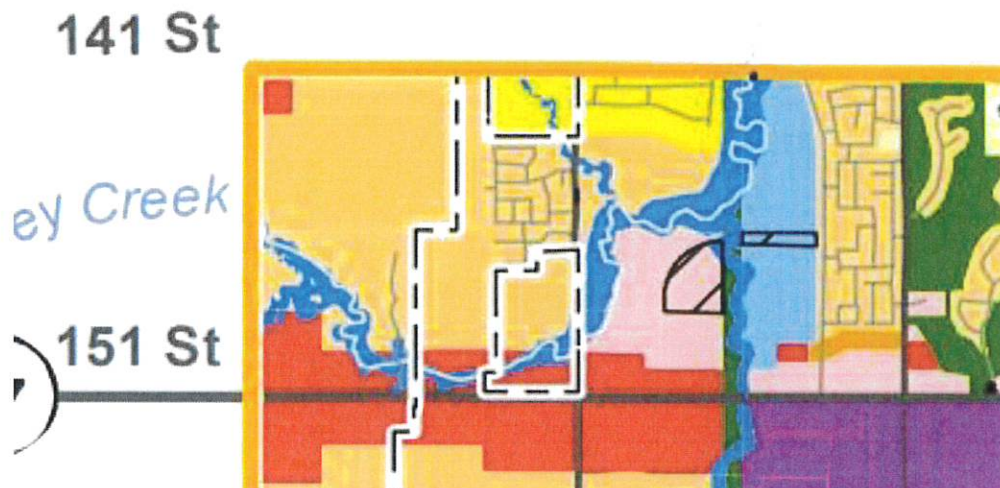
The subject property is designated as Industrial by the Bixby Comprehensive Plan. The Property is currently zoned IL PUD - 12.

VIII. Site Plan Review

Approval of the PUD also requires the submittal of building elevations with a detailed site plan to be submitted with the associated Lot Split. The required Platting as specified in the Zoning Code will be established when the site is first developed. The site plan review will incorporate the elevation of the building and Landscaping plans. The site, elevation, and Landscaping plan are subject to the review and approval of the Bixby Planning Commission.

EXHIBIT 'A'

Bixby Comp Plan Subject Area



Legend

Future Land Use

- Rural Agriculture (Unincorporated)
- Agricultural
- Rural Residential
- Low Density Residential
- Medium Density Residential
- Medium-High Density Residential
- High Density Residential
- Mixed Use
- Residential Manufactured Home Park

Density (du/ac.)

- 0 - 0.5
- 0 - 1
- 0 - 1.5
- 1.5 - 4
- 4 - 6
- 6 - 10
- 10 +
- 10 +
- 8

Future Land Use

- Neighborhood Commercial
- Commercial
- Industrial
- Public/Institutional
- Recreation and Open Space
- Flood District
- Water

- City Owned Parcels
- Bixby Fenceline
- Bixby City Limit
- County
- Highway
- Major Street
- Local Street
- Railroad



EXHIBIT 'B'
Aerial Photo of Site

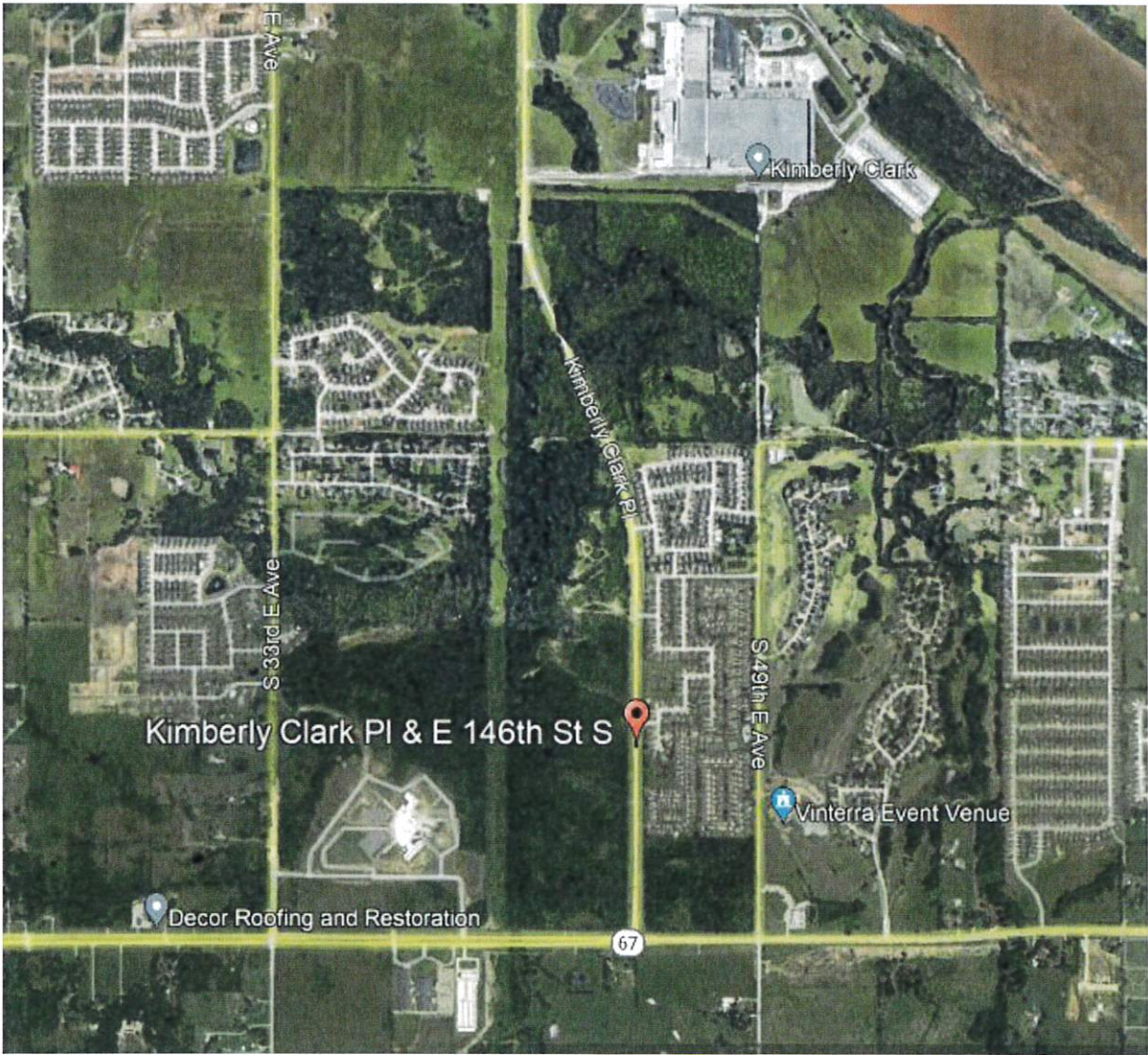


EXHIBIT 'C' CURRENT ZONING

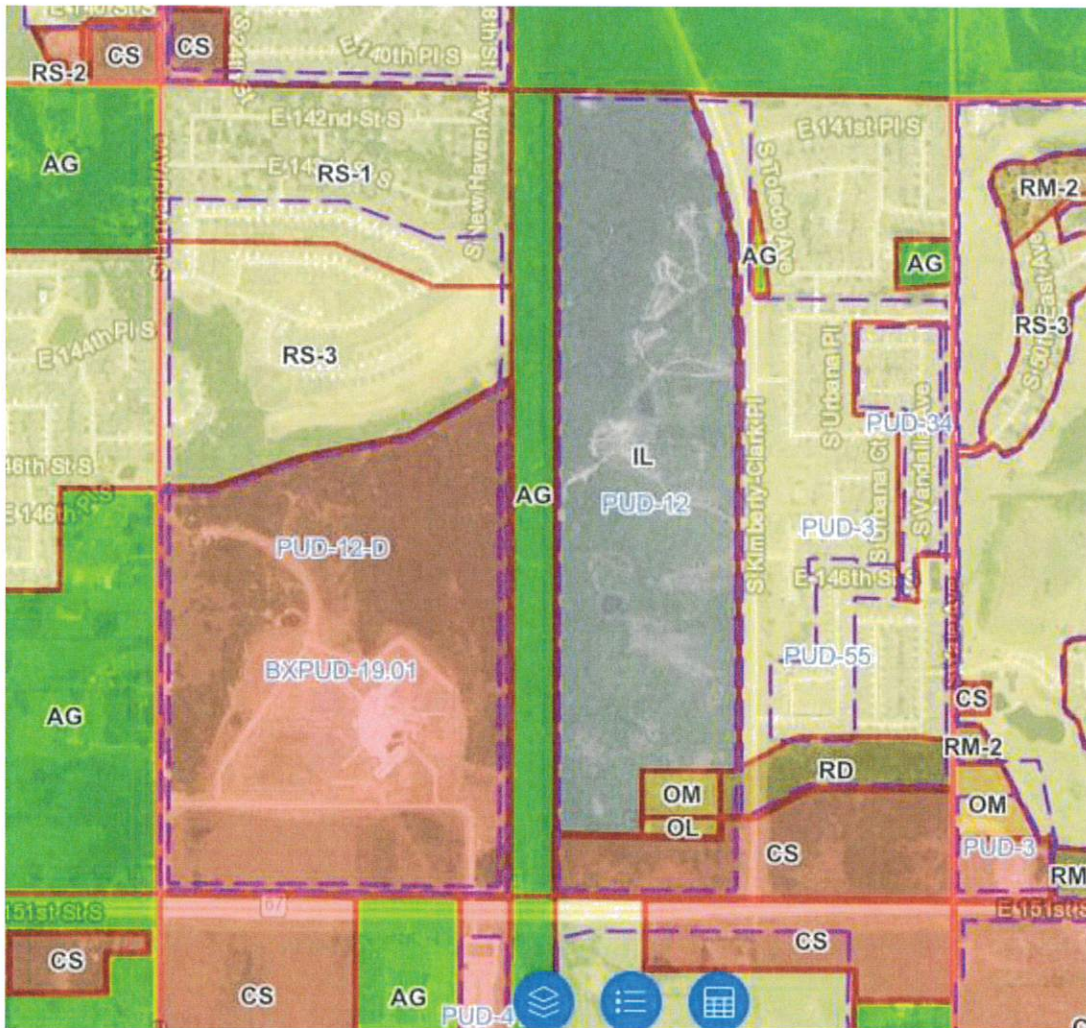


EXHIBIT D SITE PLAN AND FLOODPLAIN



EXHIBIT E
FEMA FIRM MAP

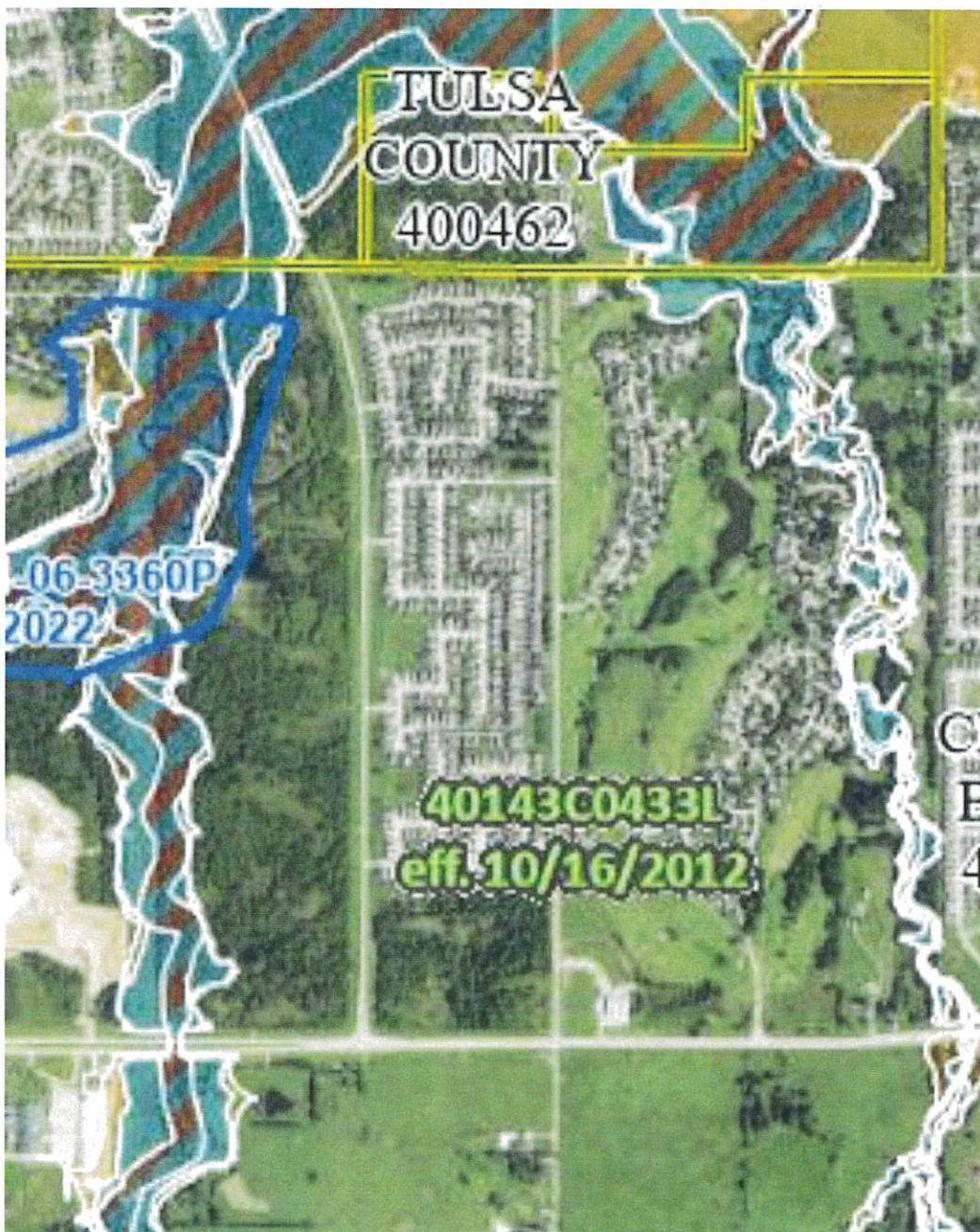


EXHIBIT F TREE PRESERVATION RESERVE AREA

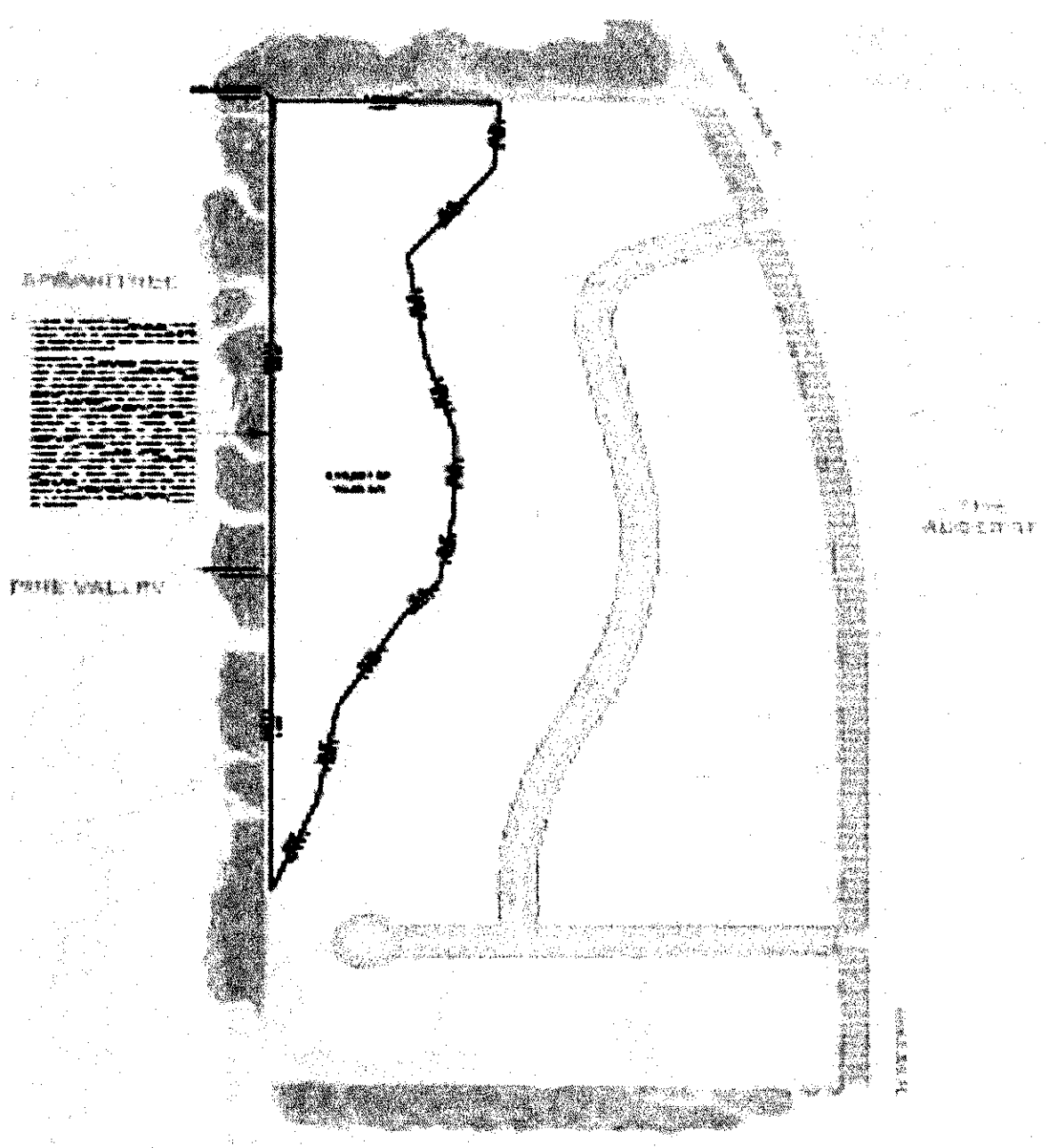


TABLE 1. BULK AND AREA REQUIREMENTS IN INDUSTRIAL DISTRICTS				
	Districts			
	IR	IL	IM	IH
Frontage (minimum feet):				
Arterial	200	150	200	200
Not an arterial	200	50	50	50
Floor area ratio (maximum)	0.50	n/a	n/a	n/a
Setback from centerline of abutting street (minimum feet): Measured from centerline of abutting street; add to the distance designated in the column to the right ½ of the right-of-way width designated on the major street plan or 25 feet if the street is not designated on the major street plan:				
Arterial	50	50	50	50
Not an arterial	50	25	25	25
Setback from abutting AG, R or O district boundary lines (minimum feet)	50	75	75	75
Building height (maximum feet)	26	26	26	26



CITY OF BIXBY
111 N Cabaniss Ave
Bixby, OK 74008
(918) 366-4430

STAFF REPORT

TO: Planning Commission

FROM: Gladys Gill, Planner

DATE: September 15, 2025

NAME: Binney – Bixby Plains

CASE(S): **LOT SPLIT** | (BXLS-25.02)

LOCATION: South of East 161st Street, approximately 660 feet east of South Riverview Drive

EXISTING ZONING: Residential Single-Family (RS-2) and (RS-3)

PROPOSED ZONING: N/A

STR: Section 25, Township 17N, Range 13E

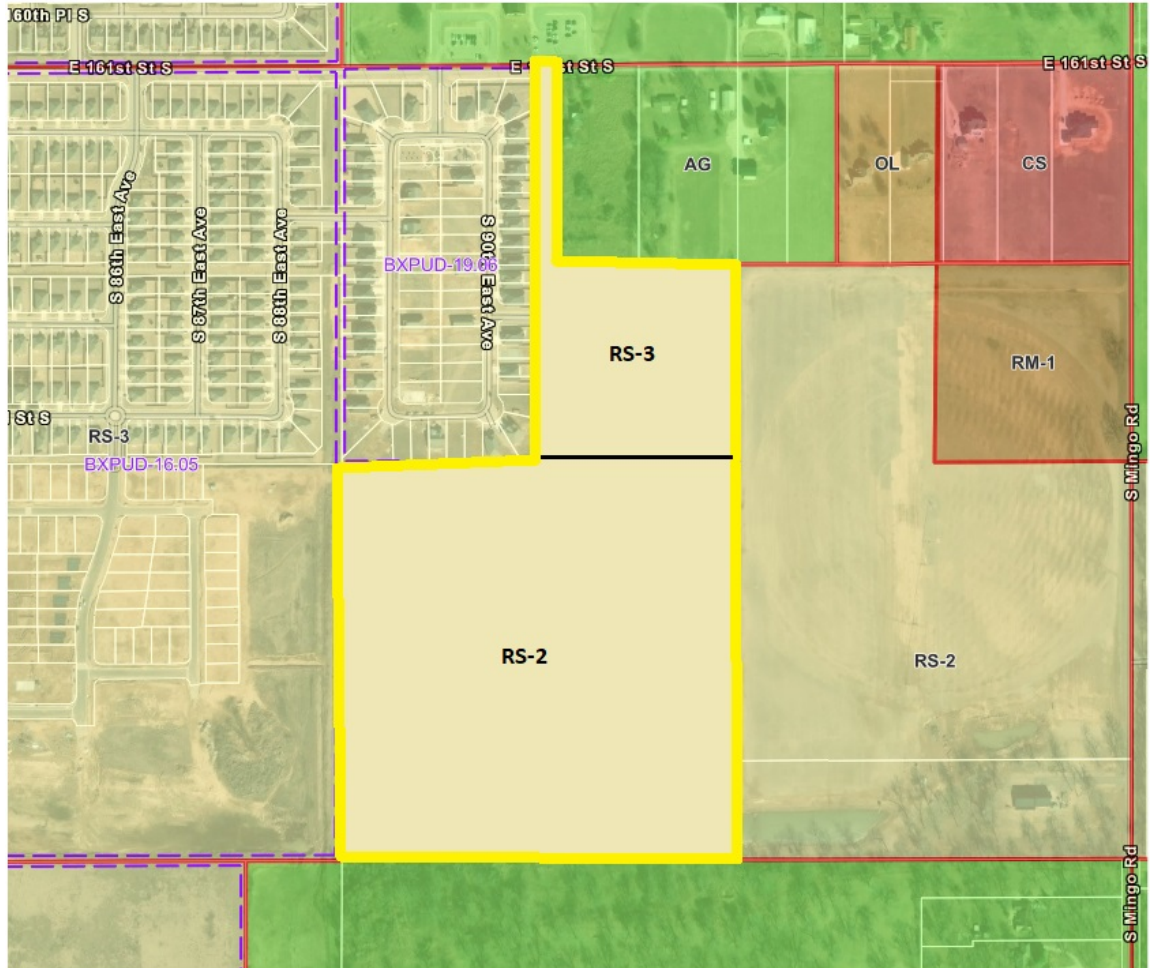
APPLICANT: Tanner Consulting, LLC

REQUEST: The applicant, Tanner Consulting, on behalf of the property owner, is requesting approval for a Lot Split.

SURROUNDING ZONING AND LAND USE:

- North: (RS-3) Residential Single-Family with BXPUD-19.06: Bixby Village
- South: (AG) Agriculture
- East: (RS-2) Residential Single-Family
- West: (RS-3) Residential Single-Family with BXPUD-16.05: Robinson Ranch IV

Figure 1: Existing zoning for surrounding areas.



PUBLIC INPUT: Staff posted a public notice of the requested lot split in accordance with Chapter 8 procedures, which require posting 15 days prior to review. No comments received to date.

ENGINEERING COMMENTS: No comments.

TAC COMMENTS: No comments from TAC Members during the September 3, 2025, meeting.

STAFF COMMENTS: Staff finds that Lot Split BXLS-25.02:

- Meets the dimensional, access, and utility requirements.
- Does not require any waivers or variances.

Staff recommends approval of Lot Split BXLS-25.02, subject to the following conditions:

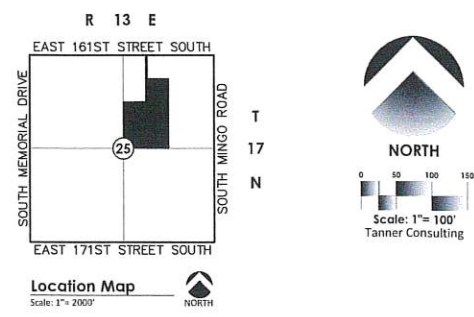
Filing of the approved lot split certificate with the Tulsa County Clerk in accordance with 12-8-1 Certificate of Approval provisions, as well as the executed deeds.

FIGURES:

Figure 1: Existing Zoning

ATTACHMENTS:

Attachment 1: Lot Split Survey



- Survey Notes**
1. ABSTRACT OF TITLE OR ATTORNEY'S TITLE OPINION NOT AVAILABLE TO SURVEYOR AT DATE OF SURVEY.
 2. THIS FIRM WAS NOT CONTRACTED TO RESEARCH EASEMENTS OR ENCUMBRANCES OF RECORD. NO ATTEMPT TO RESEARCH THE COUNTY RECORDS OR OTHER RECORD OFFICES WAS PERFORMED BY THIS FIRM. THEREFORE EASEMENTS MAY AFFECT THE SUBJECT TRACT THAT ARE NOT REFLECTED BY THIS SURVEY.
 3. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN.
 4. DATE OF LAST SITE VISIT: JULY 30TH, 2025.
 5. THIS SURVEY MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
 6. THIS FIRM WAS NOT CONTRACTED TO LOCATE IMPROVEMENTS ON THE SUBJECT PROPERTY, THEREFORE ALL IMPROVEMENTS MAY NOT BE SHOWN.
 7. THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM NORTH ZONE (SS01), NORTH AMERICAN DATUM 1983 (NAD83).
 8. SUBJECT PROPERTY CONTAINS 2,208,287 SQUARE FEET OR 50.695 ACRES.
 9. ALL MONUMENTS SET ARE 3/8" IRON PINS WITH YELLOW CAP STAMPED "TANNER CA2561" UNLESS OTHERWISE NOTED.

Legal Description as Provided

THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; AND
 THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER; AND
 THE WEST 60 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER;
 IN SECTION 25, TOWNSHIP 17 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, OKLAHOMA.

Boundary Survey
Part of the NE/4, Section 25
Township 17N Range 13E
 City of Bixby, Tulsa County, Oklahoma

Surveyor's Statement

I, DAN E. TANNER, A REGISTERED LAND SURVEYOR IN THE STATE OF OKLAHOMA, HEREBY STATE THAT THE ABOVE REPRESENTS A SURVEY PERFORMED ON THE GROUND UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

WITNESS MY HAND AND SEAL THIS 31ST DAY OF JULY, 2025.



BY: DAN E. TANNER, PLS
 OKLAHOMA PLS NO. 1435

Legend

BL	BUILDING LINE	PP	POWER POLE
CONC	CONCRETE	R/W	RIGHT OF WAY
DIP	DOWN IN PIPE	SS	SANITARY SEWER
ESMT	EASEMENT	SSMH	SANITARY SEWER MANHOLE
RI	RIPE INCIDENT	TRN	TELEPHONE
FQ/FOPT	FIBER OPTIC	UC	UNDERGROUND CABLE
IPF	IRON PIN FOUND	UG	UNDERGROUND GAS LINE
IPFC	IRON PIN FOUND WITH YELLOW CAP	UE	UNDERGROUND ELECTRIC
IPSYC	IRON PIN SET WITH YELLOW CAP	UT	UNDERGROUND TELEPHONE
MKR	MARKER	U/E	UTILITY EASEMENT
NS	NAIL SET	WL	WATERLINE
OE	OVERHEAD ELECTRIC	WM	WATER METER
		WV	WATER VALVE
		XFMR	TRANSFORMER

SW CORNER NE/4
 RCAP FOUND

SE CORNER NE/4
 2" PIP

1319.80'
 S 88°35'41" W

Exhibit "A.1"
Part of the NE/4
Section 25, T-17-N R-13-E
Original Tract Exhibit

Description

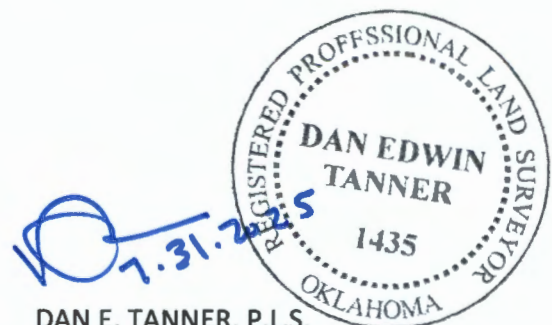
THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW/4 NE/4) AND SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (SE/4 NW/4 NE/4) AND THE WEST SIXTY (60) FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (W/2 NE/4 NW/4 NE/4) ALL IN SECTION TWENTY-FIVE (25), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.

Basis of Bearing

THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83).

Certification

I, DAN E. TANNER, OF TANNER CONSULTING, LLC, CERTIFY THAT THE ATTACHED DESCRIPTION CLOSES IN ACCORD WITH EXISTING RECORDS, IS A TRUE REPRESENTATION OF THE REAL PROPERTY AS DESCRIBED, AND MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING OF THE STATE OF OKLAHOMA.

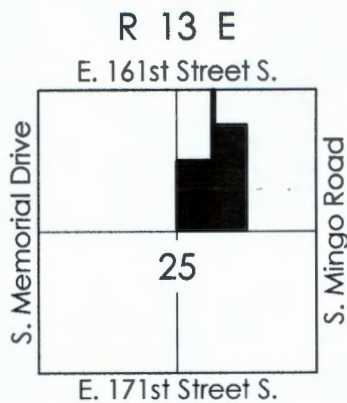


DAN E. TANNER, P.L.S.
OKLAHOMA P.L.S. #1435
OKLAHOMA CA #2661
EXPIRATION DATE: 6/30/27

Exhibit "A.2"

Part of the NE/4 Section 25, T-17-N R-13-E

Original Tract Exhibit



Location Map

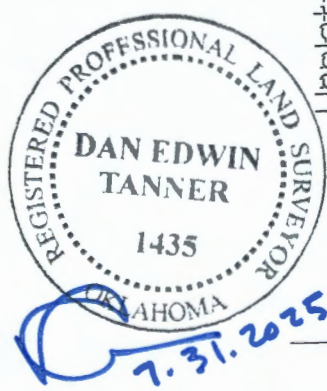
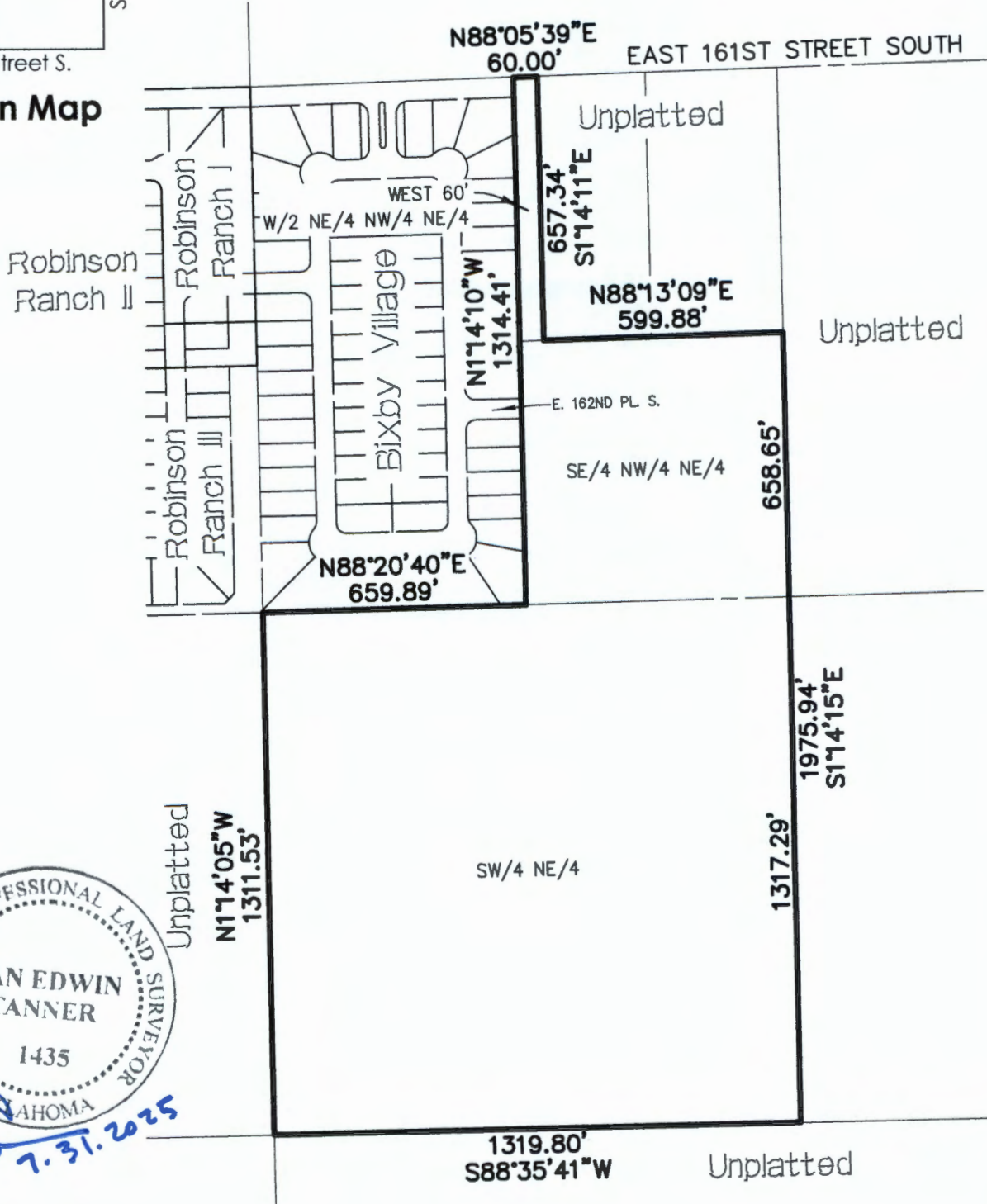


Exhibit "B.1"
Part of the NE/4
Section 25, T-17-N R-13-E
Split Tract Exhibit

Description

THE WEST SIXTY (60) FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (W/2 NE/4 NW/4 NE/4) ALL IN SECTION TWENTY-FIVE (25), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.

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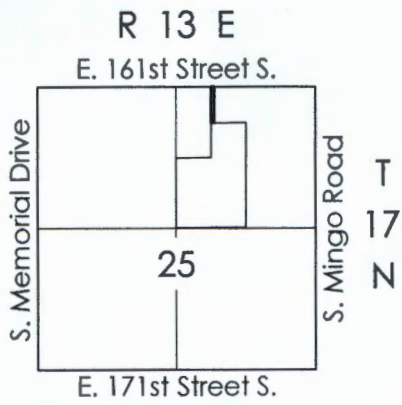


DAN E. TANNER, P.L.S.
OKLAHOMA P.L.S. #1435
OKLAHOMA CA #2661
EXPIRATION DATE: 6/30/27

Exhibit "B.2"

Part of the NE/4 Section 25, T-17-N R-13-E

Split Tract Exhibit



Location Map

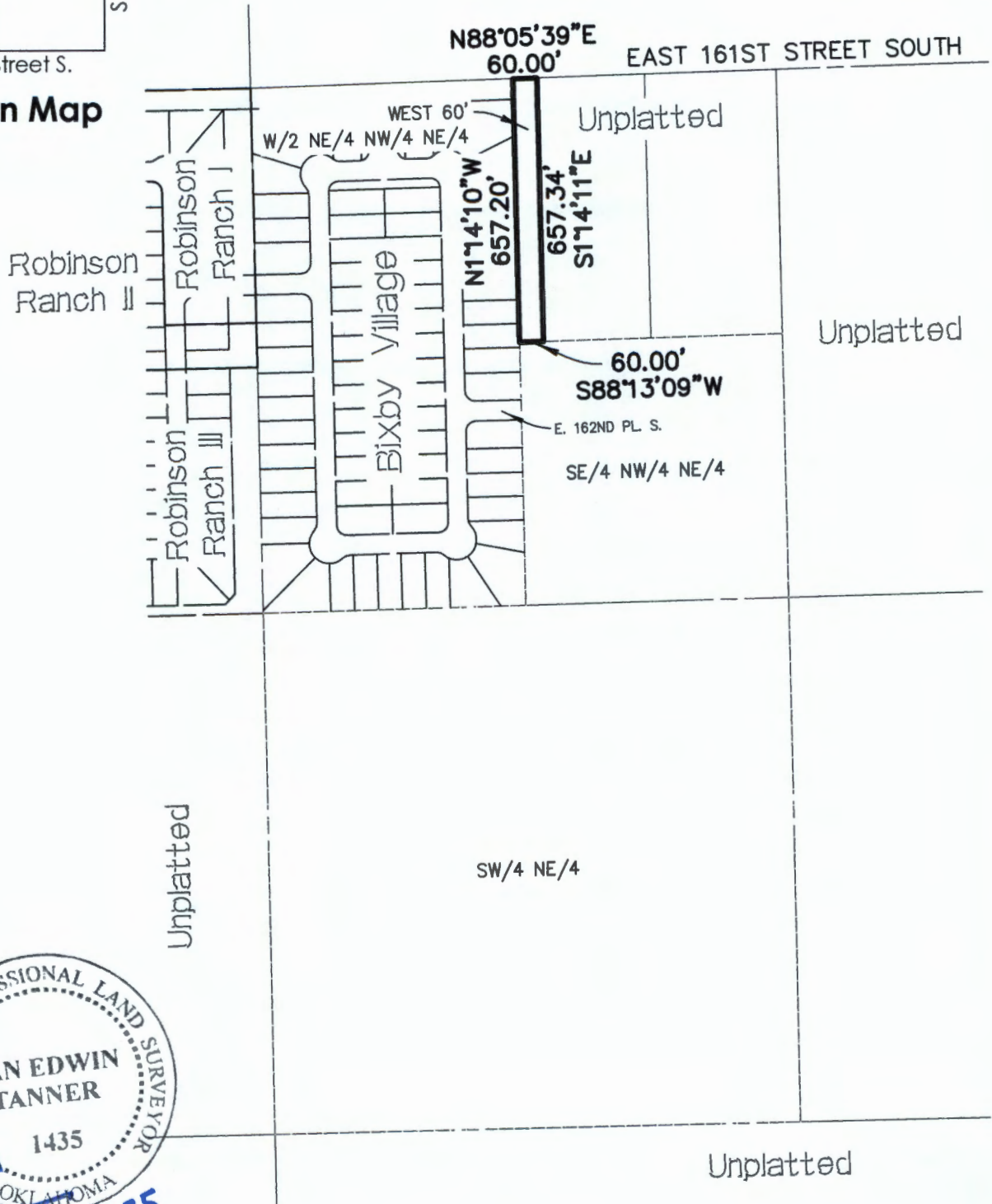


Exhibit "C.1"
Part of the NE/4
Section 25, T-17-N R-13-E
Remainder Tract Exhibit

Description

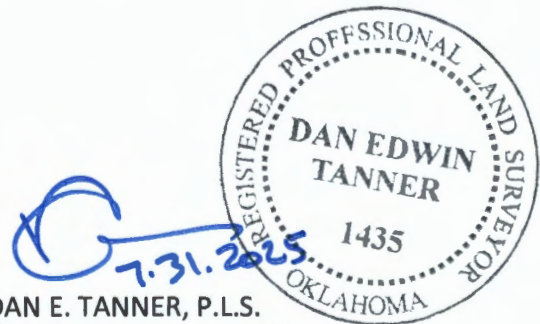
THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW/4 NE/4) AND SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (SE/4 NW/4 NE/4), ALL IN SECTION TWENTY-FIVE (25), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.

Basis of Bearing

THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83).

Certification

I, DAN E. TANNER, OF TANNER CONSULTING, LLC, CERTIFY THAT THE ATTACHED DESCRIPTION CLOSES IN ACCORD WITH EXISTING RECORDS, IS A TRUE REPRESENTATION OF THE REAL PROPERTY AS DESCRIBED, AND MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING OF THE STATE OF OKLAHOMA.



DAN E. TANNER, P.L.S.
OKLAHOMA P.L.S. #1435
OKLAHOMA CA #2661
EXPIRATION DATE: 6/30/27

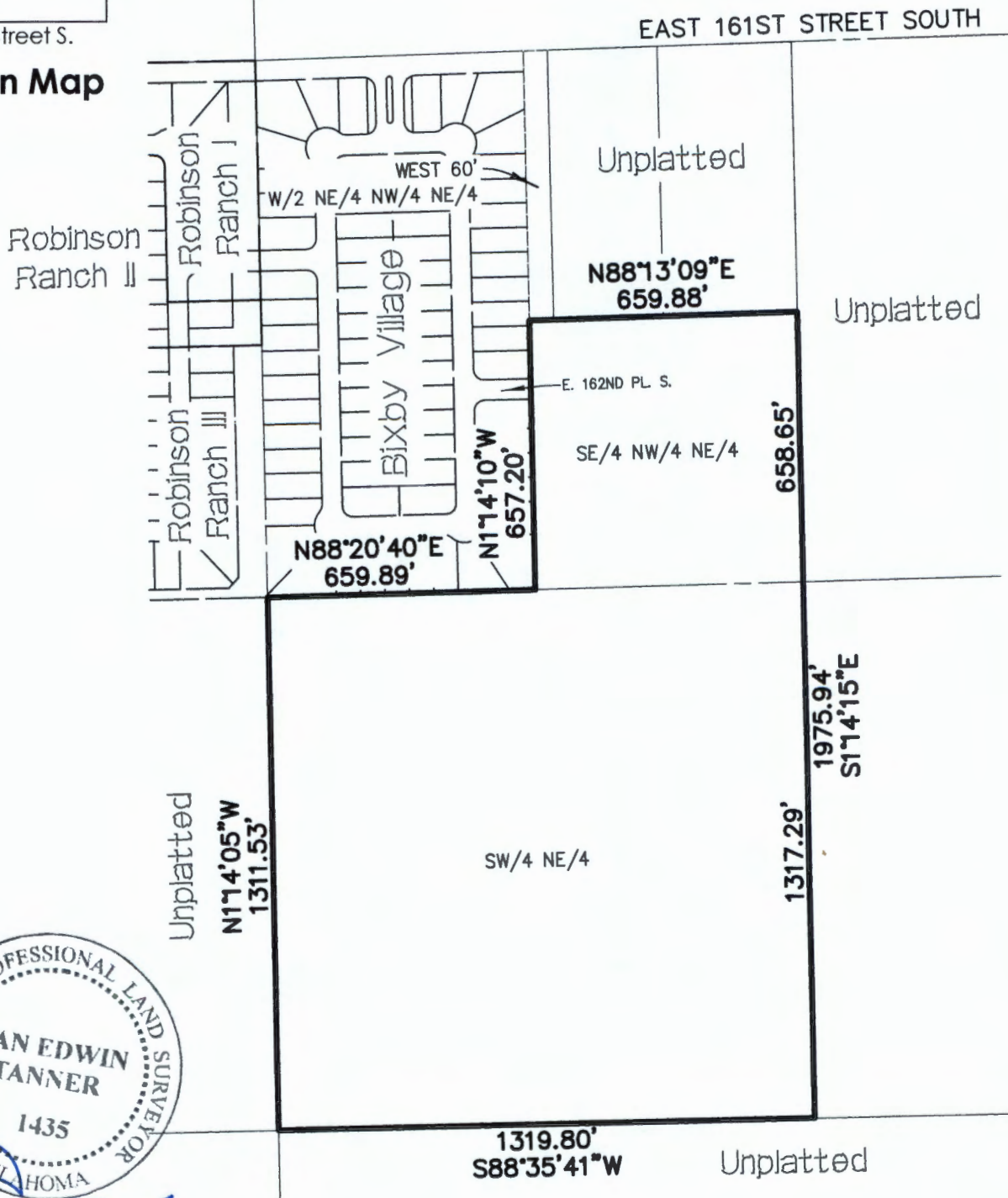
Exhibit "C.2"

Part of the NE/4 Section 25, T-17-N R-13-E

Remainder Tract Exhibit



Location Map



CERTIFICATE OF APPROVAL

City of Bixby, Oklahoma

RE: Lot Split – BXLS-25.02

Pursuant to the provisions of Title 12, Chapter 8, Lot Splits, Exceptions, and Change of Limits of Access of the City of Bixby Code of Ordinances, this lot split has been reviewed and approved by the City of Bixby Planning Commission.

The lots created by this lot split conform to applicable zoning, subdivision, and utility requirements, and access has been determined to be legally and adequately provided.

Accordingly, this certificate of approval is hereby affixed to the attached instrument of transfer and may be filed with the Tulsa County Clerk in accordance with state statute.

Approved this 15th day of September, 2025
at the City of Bixby, Oklahoma.

CITY OF BIXBY

By: _____
Chair or Vice Chair
Planning Commission

Attest: _____
Gladys Gill, Secretary
City of Bixby

AFFIDAVIT OF PUBLICATION

Tulsa World
315 S. Boulder Ave. , Tulsa, OK 74103
(918) 582-0921

I, Anjana Bhadoriya, of lawful age, being duly sworn upon oath depose and say that I am an agent of Column Software, PBC, duly appointed and authorized agent of the Publisher of Tulsa World, a publication that is a "legal newspaper" as that phrase is defined for the city of Tulsa, for the County of Tulsa, in the state of Oklahoma, that this affidavit is Page 1 of 2 with the full text of the sworn-to notice set forth on the pages that follow, and that the attachment hereto contains the correct copy of what was published in said legal newspaper in consecutive issues on the following dates:

Publication Dates:

- Aug 30, 2025

Notice ID: kleMkJs49TW5U2pANtr3

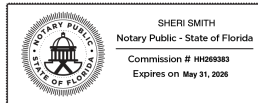
Notice Name: BXLS-25.02; BINNEY

Publication Fee: \$43.23

I state under penalty of perjury under the laws of Oklahoma that the foregoing is true and correct.

Anjana Bhadoriya

Agent



VERIFICATION

State of Florida
County of Broward

Signed or attested before me on this: 09/01/2025

S. Smith

Notary Public

Notarized remotely online using communication technology via Proof.

**Published in the Tulsa World, Tulsa, Tulsa County, Oklahoma,
August 30, 2025**

**CITY OF BIXBY
PLANNING COMMISSION MEETING
PUBLIC NOTICE**

Notice is hereby given that the Bixby Planning Commission will hold a public hearing to consider a Lot Split Application for the following property:

CASE NUMBER: BXLS-25.02 BINNEY

LOCATION: On the south side of East 161st Street, approximately 660 feet east of South Riverview Drive in the City of Bixby, Oklahoma.

LEGAL DESCRIPTION: THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW/4 NE/4) OF SECTION 25, TOWNSHIP 17 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA.

REQUEST: The applicant seeks approval to split the above-described property into separate legal lots in accordance with the Bixby Subdivision Regulations and Title 11 of the Bixby City Code.

PUBLIC HEARING INFORMATION:

DATE: Monday, September 15, 2025

TIME: 6:00 P.M.

PLACE: Bixby Municipal Building

ADDRESS: 111 N. Cabaniss Ave, Bixby, OK 74008

All persons interested in this matter may appear at the foregoing time and place and present arguments for or against the proposed lot split. Written comments will also be accepted prior to the meeting and made part of the official record.

For questions, contact the Bixby Planning Department at (918) 366-4430 or visit www.bixbyok.gov

For more information, contact:

City of Bixby Planning Department

P.O. Box 70, Bixby, OK 74008

Call (918) 366-4430 or visit www.bixbyok.gov
COL-TUL-103054



CITY OF BIXBY
111 N Cabaniss Ave
Bixby, OK 74008
(918) 366-4430

STAFF REPORT

TO: Planning Commission

FROM: Gladys Gill, Planner

DATE: September 15, 2025

NAME: Chick-fil-A North

CASE(S): **LOT SPLIT** | (BXLS-25.04)
LOT COMBO | (BXLC-25.04)

LOCATION: 10437 S Memorial Dr, Tulsa, OK 74133

EXISTING ZONING: Commercial Shopping with PUD-40

PROPOSED ZONING: N/A

STR: Section 25, Township 18N, Range 13E

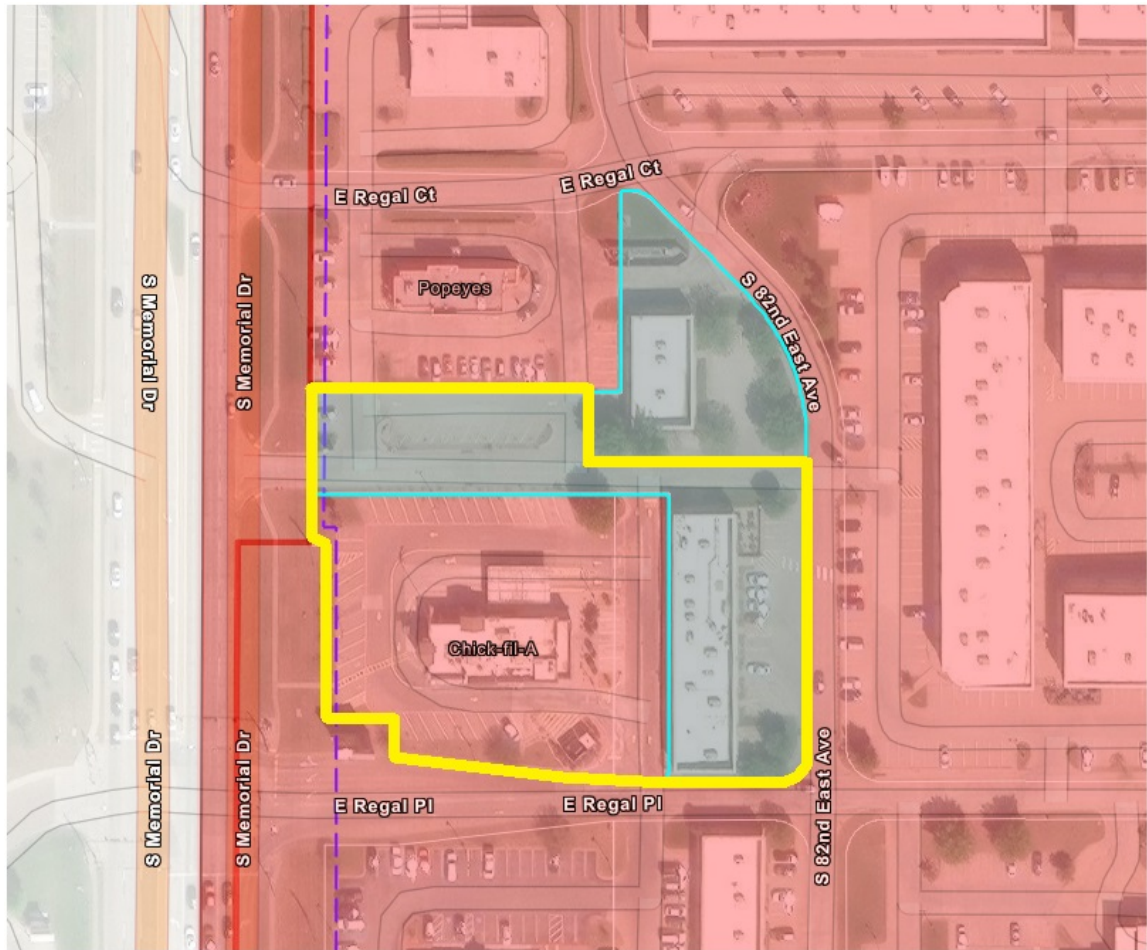
APPLICANT: Atwell

REQUEST: The applicant, Atwell, represents the property owner in requesting approval for a lot split and lot combination for the Chick-fil-A North, located at 10437 S Memorial Drive. This request aims to facilitate the expansion and reconfiguration of the drive-thru and parking lot.

SURROUNDING ZONING AND LAND USE:

- North: (CS) Commercial Shopping: Popeyes
- South: (CS) Commercial Shopping: Hideaway Pizza
- East: (CS) Commercial Shopping: Multiple commercial businesses
- West: South Memorial Drive and City of Tulsa City Limits

Figure 1: Existing zoning for surrounding areas.



PUBLIC INPUT: Staff gave public notice of the requested lot split and lot combo in accordance with Chapter 8 procedures, which require posting 15 days prior to review. No comments received to date.

ENGINEERING COMMENTS: No comments.

STAFF COMMENTS: Staff finds that Lot Split BXLS-25.04 and Lot Combo BXLC-25.04 meet the dimensional, access, and utility requirements and do not require any waivers or variances.

Staff recommends approval of Lot Split BXLS-25.04 and Lot Combo BXLC-25.04, subject to the following conditions:

Filing of the approved lot split and lot combo certificate with the Tulsa County Clerk in accordance with 12-8-1 Certificate of Approval provisions, as well as the executed deeds.

FIGURES:

Figure 1: Existing Zoning

ATTACHMENTS:

Attachment 1: Lot Split Survey
Lot Combo Survey

ATTACHMENT "A"

LOT SPLIT TRACT

LEGAL DESCRIPTION

A tract of land being a part of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019 in the Tulsa County Clerk's Office, being more particularly described as follows:

BEGINNING at the northwest corner of said Lot 4;

THENCE North 88°32'30" East, along the northerly line of said Lot 4, a distance of 200.20 feet;

THENCE South 01°27'30" East, and perpendicular to said northerly line, a distance of 43.51 feet;

THENCE North 88°57'32" East, a distance of 142.78 feet, to a point on the east line of said Lot 4;

THENCE South 01°27'13" East, along said east line, a distance of 197.80 feet;

THENCE Southwesterly along a curve to the right and along said east line having a radius of 25.00 feet (said curve subtended by a chord which bears South 43°32'37" West a distance of 35.35 feet) for an arc distance of 39.27 feet, to a point on the south line of said Lot 4;

THENCE, South 88°32'27" West, along said south line, a distance of 72.01 feet;

THENCE North 01°00'28" West, a distance of 199.30 feet;

THENCE South 88°32'30" West, a distance of 248.04 feet to a point on the west line of said Lot 4;

THENCE North 01°01'09" West, along said west line, a distance of 68.06 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 36,119 square feet or 0.8292 acres, more or less.

The bearing of North 01°01'09" West as shown on the west line of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019, Tulsa County Clerk's Office, was used as the basis of bearing for this description.

Prepared by:

Justin Smith, PLS No. 1868
 Smith Roberts Baldischwiler, LLC
 100 N.E. 5th Street
 Oklahoma City, OK 73104
 (405) 840-7094
 Date: 07/01/2025



File: Z:\117611\TASK 6 - CHICK FILE A BIXBY\117611 LOT SPLIT LOT COMBO.DWG

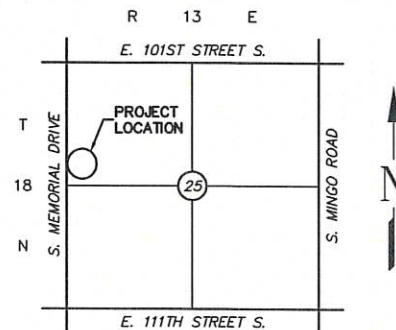
Project Number 117,611 Scale 1"=80'		ENGINEERING SURVEYING PLANNING	OKLAHOMA CITY 100 N.E. 5th Street Oklahoma City, Oklahoma 73104 T: 405 840 7094 F: 405 840 9116 www.srbok.com
		NORMAN 2507 McGee Drive, Suite 100 Norman, OK 73072 T: 405 418 2288 F: 405 418 2289 srb@srbok.com	CERTIFICATE OF AUTHORIZATION NO. 3849

ATTACHMENT "B"

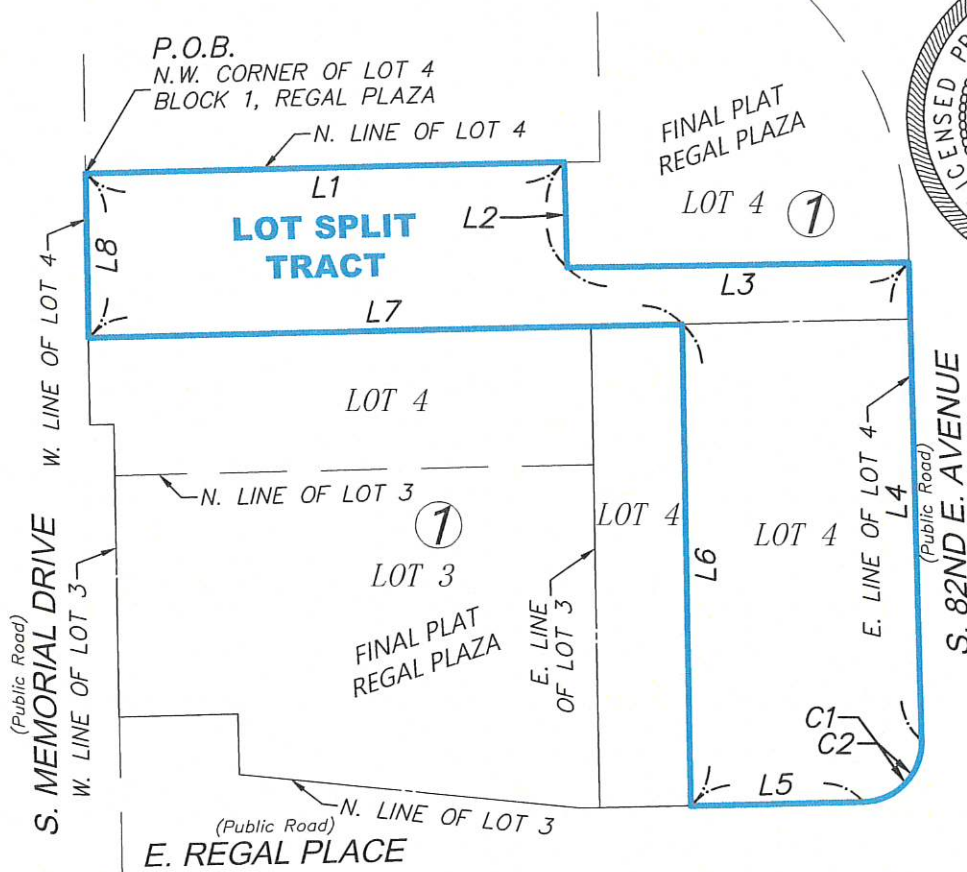
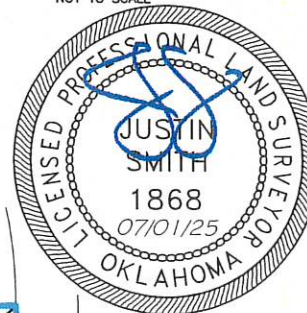
LOT SPLIT TRACT

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L1	N 88°32'30" E	200.20'	L5	S 88°32'27" W	72.01'
L2	S 01°27'30" E	43.51'	L6	N 01°00'28" W	199.30'
L3	N 88°57'32" E	142.78'	L7	S 88°32'30" W	248.04'
L4	S 01°27'13" E	197.80'	L8	N 01°01'09" W	68.06'

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.27'	25.00'	89°59'40"	S 43°32'37" W	35.35'



LOCATION MAP
NOT TO SCALE



SEE ATTACHMENT "A"
FOR LEGAL DESCRIPTION

Project Number
117,611

Scale
1"=80'



**ENGINEERING
SURVEYING
PLANNING**

OKLAHOMA CITY
100 N.E. 5th Street
Oklahoma City,
Oklahoma 73104
T: 405.840.7094
F: 405.840.9116
www.srbok.com

NORMAN
2500 McGee Drive,
Suite 100
Norman, OK 73072
T: 405.418.2288
F: 405.418.2289
srb@srbok.com

CERTIFICATE OF AUTHORIZATION NO. 3949

File: Z:\117611\TASK 6 - CHICK FLA B\B\117611\LOT SPLIT LOT COMBO.DWG

ATTACHMENT "A"

LOT COMBO TRACT

LEGAL DESCRIPTION

A tract of land being a part of Lots Three (3) and Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019 in the Tulsa County Clerk's Office, being more particularly described as follows:

BEGINNING at the northwest corner of said Lot 4;

THENCE North 88°32'30" East, along the northerly line of said Lot 4, a distance of 200.20 feet;

THENCE South 01°27'30" East, and perpendicular to said northerly line, a distance of 43.51 feet;

THENCE North 88°57'32" East, a distance of 142.78 feet, to a point on the east line of said Lot 4;

THENCE South 01°27'13" East, along said east line, a distance of 197.80 feet;

THENCE Southwesterly along a curve to the right and along said east line having a radius of 25.00 feet (said curve subtended by a chord which bears South 43°32'37" West a distance of 35.35 feet) for an arc distance of 39.27 feet, to a point on the south line of said Lot 4;

THENCE South 88°32'27" West, along said south line, a distance of 110.01 feet, to a point being the southeast corner of said Lot 3;

The following Four (4) calls are along the south line of said Lot 3:

1. **THENCE** continuing South 88°32'27" West, a distance of 9.02 feet;
2. **THENCE** North 84°34'17" West, a distance of 141.87 feet;
3. **THENCE** North 01°01'09" West, a distance of 25.00 feet;
4. **THENCE** South 88°32'27" West, a distance of 50.00 feet, to a point on the west line of said Lot 3;

THENCE North 01°01'09" West, along said west line, a distance of 99.96 feet, to a point being the northwest corner of said Lot 3;

The following Three (3) calls are along the west line of said Lot 4:

1. **THENCE** continuing North 01°01'09" West, a distance of 21.25 feet;
2. **THENCE** South 88°32'30" West, a distance of 10.00 feet;
3. **THENCE** North 01°01'09" West, a distance of 104.13 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 80,615 square feet or 1.8507 acres, more or less.

The bearing of North 01°01'09" West as shown on the west line of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019, Tulsa County Clerk's Office, was used as the basis of bearing for this description.

Prepared by:

Justin Smith, PLS No. 1868
 Smith Roberts Baldischwiler, LLC
 100 N.E. 5th Street
 Oklahoma City, OK 73104
 (405) 840-7094
 Date: 07/10/2025



Project Number 117,611	SMITH ROBERTS SRB BALDISCHWILER, LLC	ENGINEERING SURVEYING PLANNING	OKLAHOMA CITY 100 N.E. 5th Street Oklahoma City, Oklahoma 73104 T: 405.840.7094 F: 405.840.9116 www.srbok.com
Scale 1"=80'	NORMAN 2500 McCree Drive, Suite 100 Norman, OK 73072 T: 405-418-2288 F: 405-418-2399 srb@srbok.com		

CERTIFICATE OF AUTHORIZATION NO. 3949

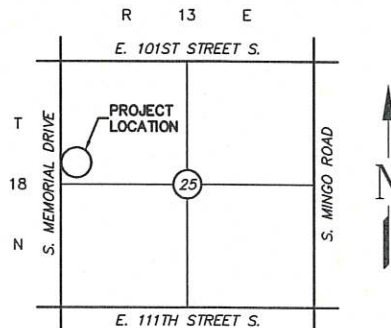
File: Z:\117611\TASK 6 - CHICK.FL.A.BIXBY\117611 LOT SPLIT LOT COMBO.DWG

ATTACHMENT "B"

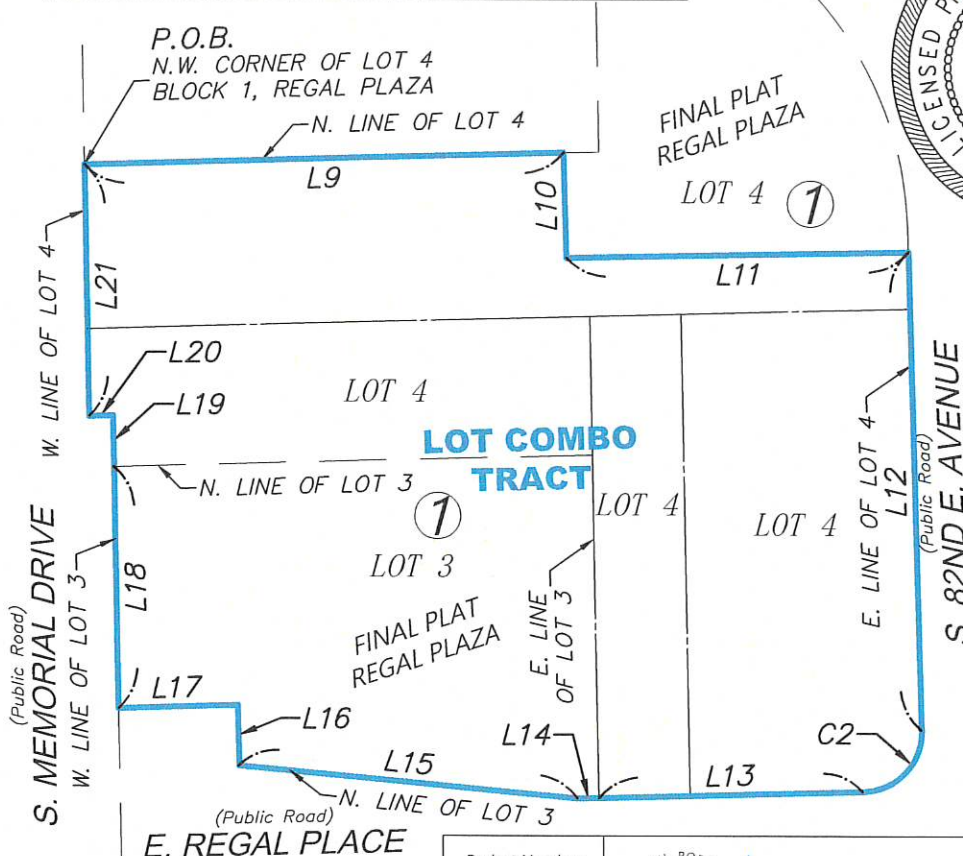
LOT COMBO TRACT

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L9	N 88°32'30" E	200.20'	L16	N 01°01'09" W	25.00'
L10	S 01°27'30" E	43.51'	L17	S 88°32'47" W	50.00'
L11	N 88°57'32" E	142.78'	L18	N 01°01'09" W	99.96'
L12	S 01°27'13" E	197.80'	L19	N 01°01'09" W	21.25'
L13	S 88°32'27" W	110.01'	L20	S 88°32'30" W	10.00'
L14	S 88°32'27" W	9.02'	L21	N 01°01'09" W	104.13'
L15	N 84°34'17" W	141.87'			

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C2	39.27'	25.00'	89°59'40"	N 43°32'37" E	35.35'



LOCATION MAP
NOT TO SCALE



SEE ATTACHMENT "A"
FOR LEGAL DESCRIPTION

Project Number
117,611

Scale
1"=80'



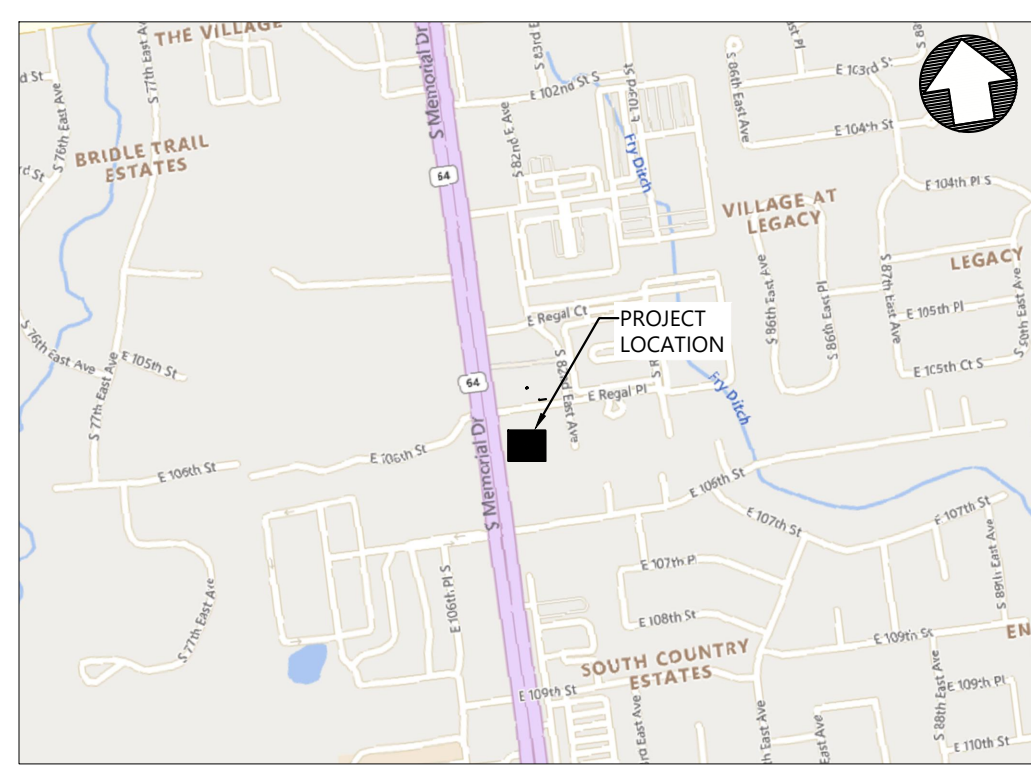
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CERTIFICATE OF AUTHORIZATION NO. 3949

File: Z:\117611\TASK 6 - CHICK FIL-A B\B\X\117611 LOT SPLIT LOT COMBO.DWG



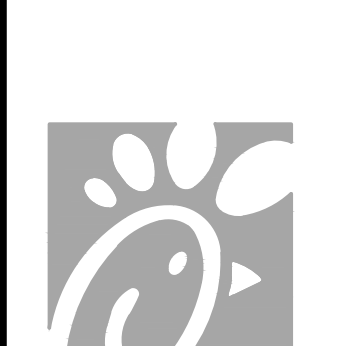
VICINITY MAP
SCALE 1" = 1000'

SITE NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, ETC.
3. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO ATWELL, LLC: TRAVERSE LAND SURVEYING, LLC.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
5. ALL STRIPED OR CURBED RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
6. ALL ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
7. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF TEXAS DEPARTMENT OF TRANSPORTATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
9. SITE LIGHTING SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S SCOPE OF WORK. ALL PARKING LOT LIGHTING POLES, BASES AND FIXTURES WITH LAMPS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR AND SHALL SUPPLY A ONE YEAR WARRANTY CERTIFICATE.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
11. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
12. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
13. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
14. PROJECT SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
15. ALL CURB AND GUTTER WITHIN THE DEVELOPMENT SHALL BE 6" - IT SHALL BE 6" WITHIN THE R.O.W. UNLESS NOTED OTHERWISE.
16. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (M/M).
17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
18. THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCE TO WITHIN 1' OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPSTER PADS AS WELL AS ALL UTILITY CONDUITS.

SITE NOTES AND DETAILS:

- NOTE NUMBER**
- 1 PAINTED TRAFFIC ARROW
 - 2 DRIVE-THROUGH STRIPING
 - 3 PAINTED ACCESSIBLE PARKING SYMBOL
 - 4 PARKING STALLS / 4' PAINTED STRIPE
 - 5 INTEGRAL CONCRETE CURB
 - 6 CURBED RAMP "A" FLARED SIDES
"B" SHORT FLARED SIDES
"C" RETURNED
 - 7 TYPICAL SIDEWALK DETAIL "A" - PICTURE FRAME PATTERN
"B" - BROOM FINISH
 - 8 SIDEWALK ADJACENT TO CURB
 - 9 STRIPING
 - 10 CONCRETE PAVEMENT
 - 11 PROP. MENU BOARD / CANOPY ORDERING STATION
 - 12 CANOPY COLUMN (TO REMAIN)
 - 13 CROSSWALK MARKINGS
 - 14 OUTSIDE MEAL DELIVERY CANOPY (TO REMAIN)
 - 15 OUTSIDE ORDER POINT CANOPY (TO REMAIN)
 - 16 EX. PYLON SIGN
 - 17 PROP. CHICK-FIL-A EXIT/ENTER SIGN (REFER TO SIGNAGE PLANS)
 - 18 MATCH LOCATION & ELEVATION OF EX. CONCRETE CURB
 - 19 LANDSCAPE/IRRIGATION PROTECTION
 - 20 ADJUST EX. LANDSCAPING & IRRIGATION
 - 21 PIPE BOLLARD
 - 22 EX. FIRE LANE STRIPING
 - 23 EX. STRIPING
 - 24 MATCH EX. CONCRETE PAVEMENT
 - 25 PROP. DELINEATOR STAGING AREA
 - 26 PROP. DELINEATOR "A" - MAGNETIC BASE
"B" - RUBBER BASE
 - 27 DRIVE THRU ORDER POINT ISLAND
 - 28 RELOCATED FLAG POLE LOCATION (REFER TO SIGNAGE PACKAGE)
 - 29 PROP. CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)
 - 30 EX. LIGHT POLE
 - 31 EX. GRATE INLET
 - 32 EX. CURB INLET (NOT USED)
 - 33 SOLID PLASTIC WHEEL STOP (TYP.)
 - 34 PROP. CURB INLET (NOT USED)
 - 35 LIGHT POLE RELOCATION
 - 36 PROP. STOP BAR GRAPHICS
 - 37 SCREENED REFUSE ENCLOSURE (TO REMAIN)
 - 38 EX. GAS METER
 - 39 EX. POWER POLE
 - 40 PROP. REFUSE ENCLOSURE DRAIN (NOT USED)
 - 41 MATCH EX. SIDEWALK
 - 42 EX. BARRIER FREE RAMP (NOT USED)
 - 43 PROP. GRATE INLET
 - 44 PROP. IRRIGATION RELOCATION
 - 45 PROP. WATER METER RELOCATION (NOT USED)
 - 46 EX. CONCRETE PAVEMENT
 - 47 PROP. RIP-RAP (NOT USED)
 - 48 PROP. STOP SIGN
 - 49 PROP. TEAM MEMBER CROSSING FLEX SIGN
 - 50 PROP. SECURITY CAMERA
 - 51 EX. TREES TO BE PROTECTED (REFER LANDSCAPE ARCHITECTURE PLANS)
 - 52 EX. CHICK-FIL-A EXIT/ENTER SIGN (REFER TO SIGNAGE PLANS)
 - 53 EX. TRAFFIC ARROW (NOT USED)
 - 54 EX. STOP BAR (NOT USED)
 - 55 PROP. DO NOT ENTER SIGN
 - 56 ELECTRIC POLE SUPPORT
 - 57 PATIO FURNITURE (REFER TO ARCH)
 - 58 EX. ASPHALT PAVEMENT (NOT USED)
 - 59 PROP. FENCE (REFER TO ARCH)
 - 60 PROP. FIBER OPTIC PEDESTAL (NOT USED)
 - 61 EX. TREE
 - 62 F.D.C. LOCATION (NOT USED)
 - 63 EX. TRANSFORMER PAD
 - 64 EX. WATER METER
 - 65 EX. ROOF DRAIN (NOT USED)
 - 66 PROP. MONUMENT SIGN LOCATION (NOT USED)
 - 67 EX. WATER VALVE (NOT USED)
 - 68 EX. PARKING SIGN
 - 69 EX. BOLLARD
 - 70 PROP. 5' SIDEWALK
 - 71 EX. BUILDING (NOT USED)
 - 72 EX. TELEPHONE PEDESTAL
 - 73 PROP. PARKING SIGN (REFER TO SIGNAGE PLANS)
 - 74 EX. SANITARY SEWER MANHOLE
 - 75 EX. DRAINAGE DITCH STORM CULVERTS
 - 76 EX. FIRE HYDRANT
 - 77 EX. WATER VAULT (NOT USED)
 - 78 EX. IRRIGATION METER
 - 79 EX. GREASE TRAP
 - 80 EX. SAMPLE WELL
 - 81 EX. ORDER POINT MENU
 - 82 EX. OVERHEAD ELECTRIC LINE
 - 83 PROP. FIRE LANE STRIPING
 - 84 EX. STOP SIGN
 - 85 EX. CLEANOUT
 - 86 EX. ELECTRIC BOX
 - 87 EX. PULL BOX
 - 88 EX. STORM DRAIN MANHOLE
 - 89 PROP. CURB-GRATE INLET COMBINATION



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



ON THE CORNER OF MEMORIAL DRIVE & E. REGAL PL.
10437 S. MEMORIAL DRIVE
CITY OF BIXBY
TULSA COUNTY, OKLAHOMA

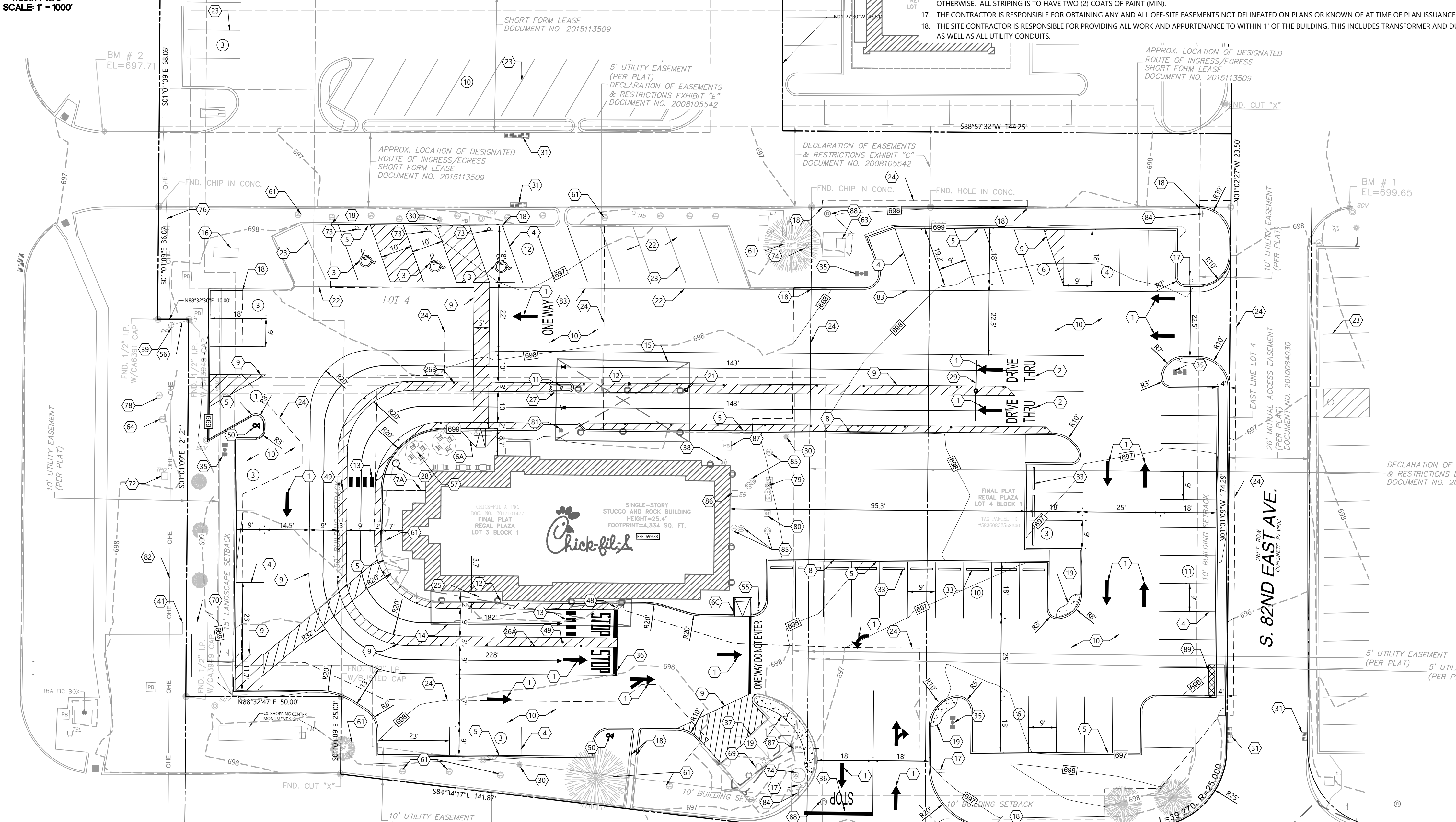
CHICK-FIL-A
STORE #02292 CONSTRUCTION PLANS
SITE PLAN

DATE 08/05/2025

REVISIONS 08/05/2025

CARLOS CASAS
140218
LICENSED PROFESSIONAL ENGINEER

DRAWN BY: BG
CHECKED BY: CC
PROJECT MANAGER: CC
JOB #: 24004241
FILE CODE: N/A
SHEET NO. C-2.0



SITE DISTURBANCE TABLE

SITE AREA	0.85 ACRE (36,923 S.F.)
SITE AREA ACQUISITION	1.00 ACRE (43,639 S.F.)
TOTAL SITE AREA	1.85 ACRE (80,756 S.F.)
DISTURBED AREA	0.87 ACRE (37,884 S.F.)

ENGINEER
ATWELL, LLC
CARLOS CASAS, P.E.
9001 AIRPORT FREEWAY, STE 660
NORTH RICHLAND HILLS, TEXAS 76180
PHONE: 307-760-3103
EMAIL: ccasas@atwell.com

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 03691 DATED 10/16/2012.

SITE DATA

ZONING:	COMMERCIAL SHOPPING CENTER (GS)
EXISTING SITE AREA	0.85 ACRE (36,923 S.F.)
ACQUIRED SITE AREA	1.00 ACRE (43,639 S.F.)
TOTAL SITE AREA	1.85 ACRE (80,756 S.F.)
PROPOSED USE	RESTAURANT
EX. BUILDING AREA	4,334 S.F.
BUILDING EXPANSION	4,334 S.F.
TOTAL BUILDING AREA	8,668 S.F.
TOTAL SEATING	XX SEATS
PARKING REQUIRED	1 PER 150 SQ.FT.
PARKING PROVIDED	4,334 SQ.FT. = 29 SPACES
TOTAL PAVEMENT AREA PROVIDED	75 SPACES @ ADA SPACES, 1 VAN ACCESSIBLE
BUILDING HEIGHT	16.5% COVERAGE OF SITE
	20' (1-STORY)

SITE BENCHMARK

1. BM#1	ELEV. = 699.65 N: 375009.454 E: 2593990.88
2. BM#2	ELEV. = 698.24 N: 375023.786 E: 2593990.129
3. BM#3	ELEV. = 698.24 N: 374757.788 E: 2593622.597

811
Know what's below.
Call before you dig.
THE LOCATION OF UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE TRULY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

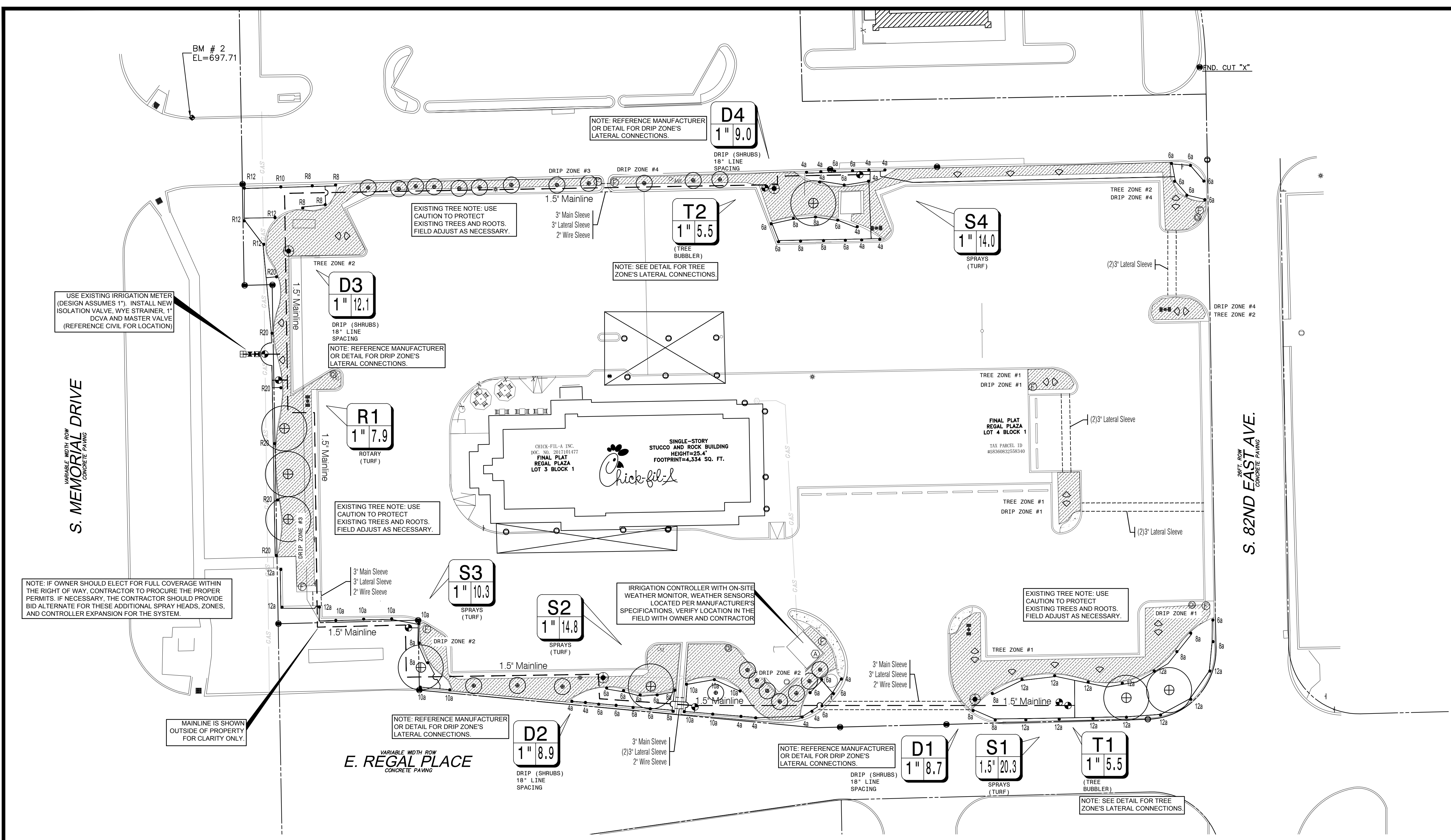
NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.

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SITE LEGEND

[Symbol]	FIRE LANE STRIPING	[Symbol]	EXISTING TREE
[Symbol]	EXISTING PROPERTY LINE	[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	EXISTING RIGHT-OF-WAY	[Symbol]	
[Symbol]	6" CURB AND GUTTER	[Symbol]	
[Symbol]	EXISTING MINOR CONTOURS	[Symbol]	
[Symbol]	EXISTING MAJOR CONTOURS	[Symbol]	
[Symbol]	PROPOSED MINOR CONTOUR	[Symbol]	
[Symbol]	PROPOSED MAJOR CONTOUR	[Symbol]	

FILE NAME: K:\24004241_C-2_SIT PLAN.dwg LAST SAVED: 08/05/2025 10:40:00 AM PLOTTED BY: [Redacted] DATE PLOTTED: 08/05/2025 10:40:00 AM PLOTTER: HP DesignJet 2400 Series



NOTE:
 1. ENTIRE SYSTEM SHALL BE INSTALLED PER STATE STANDARDS, MANUFACTURER'S SPECIFICATIONS AND ALL CITY CODES.
 2. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GROUND IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
 3. VARIOUS AREAS ON PLAN ARE SHOWING SINGLE HEAD COVERAGE. IF OWNER SHOULD ELECT FOR FULL COVERAGE, CONTRACTOR TO PROCURE THE PROPER PERMITS AND BID ALTERNATE FOR THESE ADDITIONAL SPRAY HEADS, ZONES, AND CONTROLLER EXPANSION FOR THE SYSTEM.
 4. IRRIGATION CONTRACTOR IS TO COORDINATE LOCATION AND PLACEMENT OF ALL IRRIGATION ITEMS WITH THE GENERAL CONTRACTOR. CONTRACTOR IS TO USE EXTREME CAUTION IN TRENCHING TO AVOID EXISTING AND PROPOSED UTILITIES. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO IRRIGATION INSTALLATION.
 5. IRRIGATION SPRAY NOZZLES TO BE ADJUSTED TO AVOID PAVEMENT, BUILDINGS, WALLS, FENCES, UTILITIES, EQUIPMENT, SIGNAGE, AND CALL BOX.
 6. REFERENCE LANDSCAPE PLAN FOR LOCATION OF GRAVEL, STEEL EDGING AND ALL PROPOSED PLANT MATERIAL.
 7. IN TURF AREAS (BOTH SOD AND HYDROMULCH AREAS) OUTSIDE OF IRRIGATION PERMANENT COVERAGE, CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION UNTIL ESTABLISHED, TYP.
 8. CONTRACTOR TO TAKE ALL NECESSARY MEASURES TO PREVENT WATER HAMMER AND SYSTEM COLLAPSE BY DISCHARGING AIR DURING STARTUP AND ALLOWING AIR TO ENTER DURING SHUTDOWN. INSTALL THRUST BLOCKS AND AIR/VACUUM RELIEF VALVES AS NECESSARY TO PROTECT MAINLINE SYSTEM. FOR 3 INCH AND LARGER MAINLINE, INSTALL JOINT RESTRAINTS AT TURNS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 9. ALL MAINLINE PIPING 3 INCHES AND LARGER SHALL BE BELL AND GASKETED CLASS 200 PVC PIPE. SDR 21. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONTACT MANUFACTURER OR DISTRIBUTOR FOR PRODUCT DEMONSTRATION.
 10. GROUP VALVES IN FIELD AS NECESSARY FOR MAINLINE SIZING. CENTER FEED LATERALS WHEN POSSIBLE.

NOTE TO CONTRACTOR:
 1. PLAN SHEETS DO NOT SHOW EXISTING AND PROPOSED UTILITIES FOR CLARITY ONLY. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO INSTALLATION. CONTRACTOR IS TO USE EXTREME CAUTION IN DIGGING AND TRENCHING TO AVOID EXISTING AND PROPOSED UTILITIES.



Know what's below.
 Call before you dig.

SLEEVING NOTES

1. PIPING AND CONTROL WIRES SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER PAVING. REFERENCE DRAWINGS FOR SLEEVE SIZE AND LOCATION.
2. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
3. INSTALLATION OF SLEEVES SHALL BE TWENTY (20) FEET ABOVE TOP OF PAVEMENT OR FINISHED GRADE.
4. SLEEVES SHALL EXTEND ONE (1) FOOT BEYOND EDGE OF ALL PAVEMENT AND STAKED FOR LOCATION.
5. ALL SLEEVES SHALL BE SCHEDULE 40 PVC PIPE, CAPPED ON BOTH ENDS AND SIZED AT LEAST TWO TIMES LARGER THAN THE DIAMETER OF THE PIPE INSIDE THE SLEEVE.
6. SLEEVE LOCATIONS SHALL BE MARKED ONTO THE CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE TWO (2) INCHES LONG AND ONE (1) APART.
7. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SLEEVES AND SHALL ALSO BE RESPONSIBLE FOR LOCATING ANY SLEEVE THAT CANNOT BE FOUND DURING THE INSTALLATION OF THE SYSTEM.
8. CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN 'AS-BUILT' DRAWING SHOWING ALL SLEEVE LOCATIONS.

IRRIGATION GENERAL NOTES

1. THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE IRRIGATION DESIGNER OF SITE CONDITIONS OR ASSUME FULL RESPONSIBILITY FOR ANY AND ALL ON-SITE REVISIONS NECESSARY.
3. CONTRACTOR TO VERIFY DESIGN AND ITS INTENT TO PROVIDE FULL COVERAGE TO ALL PLANTING MATERIAL.
4. NOTIFY IRRIGATION DESIGNER OF ANY LAYOUT DISCREPANCIES PRIOR TO BIDDING.
5. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE IRRIGATION INSTALLATION BEGINS.
6. IRRIGATION CONTRACTOR TO PROCURE ALL PERMITS, LICENSES AND GIVE ALL NECESSARY NOTICES THROUGHOUT THE DURATION OF THE PROJECT.
7. THE CONTRACTOR SHALL BE IN GOOD STANDING WITH STATE BOARDS AND REGULATORS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PLANT MATERIAL UPON ACCEPTANCE AND THROUGH THE WARRANTY PERIOD FOR DAMAGE DUE TO IRRIGATION SYSTEM FAILURE.
9. ALL ASPECTS OF THE IRRIGATION INSTALLATION SHALL CONFORM WITH THE PROPERTY GOVERNING AUTHORITIES, CODES AND ORDINANCES.
10. SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
11. ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
12. ZONE VALVES SHALL NOT BE LOCATED WITHIN THREE (3) FEET OF ANY DRIVEWAY, TRAFFIC AISLE, ISLAND ETC. WHERE THEY WILL BE DAMAGED BY VEHICLES DRIVING OVER CURBS.

13. ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
14. AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITH FIVE (5) FEET OF CONTROLLER. LOCATION BY OTHER TRADES, RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
15. ELECTRICAL SPICES SHOULD BE LOCATED AT EACH VALVE AND CONTROLLER ONLY.
16. PROVIDE A 3/4" BLOW DOWN DRAIN TEE TO ALLOW WATER TO BE BLOWN FROM THE IRRIGATION LINES SYSTEM.
17. DISTURBED AREAS IN NEED OF TURF ESTABLISHMENT MAY EXIST BEYOND COVERAGE LIMITS OF THE PERMANENT IRRIGATION SYSTEM. IN THESE AREAS, CONTRACTOR TO DETERMINE A TEMPORARY MEANS TO ESTABLISH NECESSARY TURF. CONTRACTOR IS ENCOURAGED TO BEGIN TURF ESTABLISHMENT IMMEDIATELY UPON FINAL GRADE IN ACCORDANCE WITH AND TO SATISFY SWPPP.
18. PROVIDE WITH OWNER A COPY OF ALL INSTALLED EQUIPMENT AND LINES AS BUILT PLANS.)
19. PLACE COPY OF ZONE MAP WITH ALL ZONE VALVE LOCATIONS SHOWN AND APPROVED IRRIGATION PLAN IN PROTECTIVE JACKET IN MAIN CONTROL PANEL.

IRRIGATION PROJECT NOTES

1. THE LOCATION OF MAINLINE AND VALVES ON THIS PLAN MAY BE SHOWN IN PAVED AREAS FOR DESIGN CLARITY ONLY. IRRIGATION ELEMENTS HAVE BEEN SHOWN ON THIS PLAN AS ACCURATELY AS POSSIBLE WITHOUT THE FORFEIT OF DESIGN CLARITY AND INTENT. ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN PERVIOUS AREAS. ALL PIPE AND WIRES THAT CROSS UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES AS SPECIFIED.
2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE HUNTER EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
3. TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. THE IRRIGATION SYSTEM FOR THIS SITE IS DESIGNED TO OPERATE WITH A PRESSURE OF SIXTY FIVE (65) PSI POUNDS PER SQUARE INCH. SHOULD THE DESIGN PRESSURE FOR THE SYSTEM BE HIGHER THAN THE EXISTING PRESSURE, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE IRRIGATION DESIGNER IMMEDIATELY.
4. IRRIGATION CONTRACTOR SHALL COORDINATE THE LOCATION OF THE CONTROLLER AND SENSORS WITH THE GENERAL CONTRACTOR AND OWNER. A 110 VOLT ELECTRICAL SERVICE TO POWER THE IRRIGATION CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AT THE LOCATION SHOWN ON THIS PLAN.
5. WATER SERVICE TAP, METER AND LEAD FOR THE IRRIGATION SYSTEM SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. SERVICE LINE AND METER SHALL BE SIZED AS NOTED ON THIS PLAN.
6. TYPE AND INSTALLATION OF THE WATER METER AND BACK FLOW PREVENTION DEVICE SHALL BE DETERMINED BY THE GOVERNING AUTHORITY. AN ISOLATION VALVE SHALL BE PROVIDED BETWEEN THE WATER METER AND BACK FLOW DEVICE.
7. ALL CALCULATIONS FOR THIS IRRIGATION SYSTEM ARE BASED ON PRODUCTS AND EQUIPMENT INFORMATION PROVIDED BY HUNTER. INSTALLATION OF THESE PRODUCTS SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS.
8. REFERENCE HUNTER GUIDELINES AND SPECIFICATIONS PRIOR TO INSTALLATION. CONFIRM REQUIREMENTS FOR CONTROLLER, WATERPROOF CONNECTIONS TO POWER THE SENSORS, PROTECTORS, DECODERS, VALVES, AND WIRING PRIOR TO INSTALLATION. HUNTER TECHNICAL SERVICES (760) 591-7383. WWW.HUNTERINDUSTRIES.COM
9. SPRAY HEADS LOCATED IN TURF AREAS SHALL BE HUNTER PROS-06-PRS30 SPRAY BODIES WITH PRO ADJUSTABLE NOZZLES, FIXED ARC NOZZLES, AND STRIP PATTERN NOZZLES. RATE AND AS INDICATED

ON THE PLAN, SEE RADIUS AS INDICATED ON THE PLAN.
 10. MP ROTATOR HEADS SHALL BE PROS-04-PRS30 SPRAY BODIES WITH MP1000, MP3000, MP3000, MP3500, MP3500, MP3500, AND MP3500S NOZZLES. RADIUS LESS THAN 12 FEET SHALL BE PRS30 AND PRS40 SPRAY BODIES WITH MP3000S, MP ROTATOR AREAS WITH LESS THAN 90 DEGREES SHALL BE MP CORNER NOZZLES. SEE RADIUS AS INDICATED ON THE PLAN.
 11. IRRIGATION ROTOR HEADS SHALL BE PGP ULTRA MODELS PGP-04-PRB WITH MPR NOZZLES. SEE RADIUS AS INDICATED ON THE PLAN.
 12. IRRIGATION REMOTE CONTROL VALVES SHALL BE 1" AND/OR 1.5" HUNTER ICV AS INDICATED. PRIOR TO ALL REMOTE CONTROL VALVES, INSTALL A NOMINALLY SIZED BALL VALVE WITHIN THE SAME BOX.
 13. SIZE OF VALVES ARE AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN APPROVED BOXES WITH COVER LARGE ENOUGH TO PERMIT MANUAL OPERATION. REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION. OWNERS MAY ELECT LOCKING BOXES ON A PROJECT BY PROJECT BASIS.
 14. QUICK COUPLING VALVES SHALL BE HUNTER INSTALLED PER DETAIL SHOWN. SWING JOINTS SHALL BE CONSTRUCTED USING 3/4" SCHEDULE 80 ELBOWS. CONTRACTOR SHALL SUPPLY OWNER WITH TWO (2) HOSE-30 COUPLERS WITH (2) HK-30 KEYS AND TWO (2) H50 HOSE SWIVELS AS PART OF THIS CONTRACT.
 15. IRRIGATION SYSTEM AUTOMATIC CONTROLLER SHALL BE HUNTER PRO-C-12 STATION - PC-1200 WITH RAIN AND FREEZE SENSORS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONFIRM WIRING, GROUNDING AND SURGE PROTECTION REQUIREMENTS BEFORE INSTALLING.
 16. DRIP IRRIGATION REMOTE CONTROL VALVES SHALL BE HUNTER IC2-101-LF-40 AS INDICATED. DRIP TUBING SHALL BE HUNTER HDL-06-12-CV.
 17. INSTALL DRIP TUBING PER MANUFACTURER'S RECOMMENDATIONS. USE PLD-LOC FITTINGS PLD-LOC 075, PLD-LOC 050, PLD-LOC ELB, PLD-LOC CPL, PLD-LOC CAP, PLD-LOC TEE, PLD-LOC OR USE FHS BARB FITTINGS PLD-075, PLD-050, PLD-ELB, PLD-CPL, PLD-CAP, PLD-TEE, PLD-075-TBTEE, PLD-BV. USE ECO INDICATOR ECO-ID. USE LINE FLUSHING VALVE HUNTER AFV-F.
 18. DRIP TUBING SHALL BE SPACED 18" APART IN SHRUB AREAS. REFER TO MANUFACTURER'S RECOMMENDATIONS.
 19. TREE BUBBLERS SHALL USE HUNTER PROS-06-PRS30 BODIES WITH HUNTER MULTI-STREAM BUBBLERS MODEL MSB-N-SOH NOZZLES.
 20. ALL VALVE CONTROL WIRE SHALL BE SIZED PER MANUFACTURER'S GUIDELINES BY THE CONTRACTOR ACCORDING TO THE ACTUAL FIELD DISTANCE. ALL CONNECTIONS SHALL BE WATER-PROOF, KEPT TO A MINIMUM, AND LOCATED IN AN APPROVED BOX.

SUGGESTED LATERAL PIPE SIZE, CLASS 200 PVC

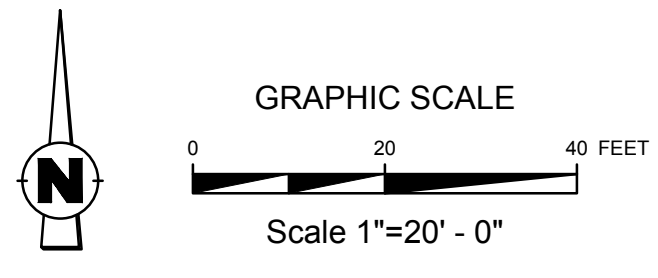
FLOW RANGE GPM	PIPE SIZE
0 - 8 GPM	3/4"
8 - 12 GPM	1"
12 - 22 GPM	1-1/4"
22 - 28 GPM	1-1/2"
28 + GPM	2"

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
R20	SPRAYS WITH PRO ADJ. NOZZLES	HUNTER	PROS-04-PRS30 (SEE PLAN FOR RADIUS)
10a	MP ROTATORS	HUNTER	PROS-04-PRS40 (SEE PLAN FOR RADIUS)
10b	MULTI-STREAM BUBBLERS	HUNTER	PROS-06-PRS30 W/ MSB-N-SOH NOZZLES
10c	REMOTE CONTROL VALVE	HUNTER	ICV
10d	1" DOUBLE CHECK ASSEMBLY	FEBCO	850 SERIES
10e	HDL DRIFLINE	HUNTER	HDL-06-12-CV
10f	LINE FLUSHING VALVE	HUNTER	AFV-F
10g	PRESSURE OPERATOR INDICATOR	HUNTER	ECO-ID
10h	DRIP CONTROL VALVE	HUNTER	IC2-101-LF-40

IRRIGATION LEGEND

SYMBOL	DESCRIPTION
11	1" IRRIGATION METER
12	HUNTER - PRO-C-12 STATION - PC-1200 WITH RAIN AND FREEZE SENSORS
13	ISOLATION VALVE
14	LATERAL PIPING REFER TO PLAN CLASS 200 PVC
15	MAINLINE PIPING REFER TO PLAN SCH. 40 PVC, SIZED AS SHOWN (INSTALL THRUST BLOCKS AND AIR/VACUUM RELIEF VALVES AS NECESSARY TO PROTECT MAINLINE SYSTEM)
16	IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED, ONE SLEEVE PER PIPE
17	CONTROL WIRING SLEEVE, 2" SCH. 40 PVC
18	VALVE STATION # (WHERE D = DRIP TUBING, S = SPRAY, R = ROTOR, T = TREE DRIP)
19	VALVE SIZE GPM



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ON THE CORNER OF MEMORIAL DRIVE & E. REGAL PL.
 10437 S MEMORIAL DRIVE
 CITY OF BIXBY
 TULSA COUNTY, OKLAHOMA

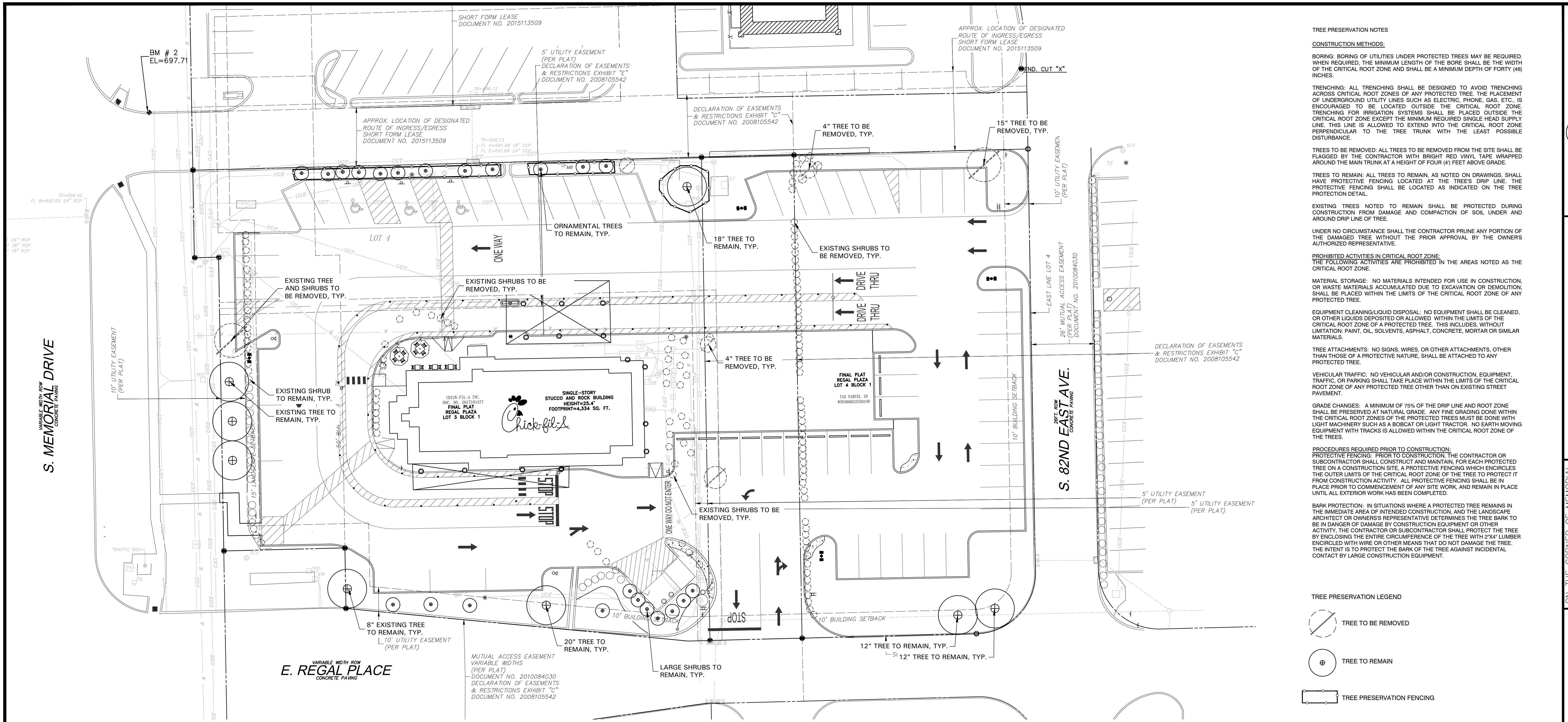
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 FIRM NO. 12242

CHICK-FIL-A
 STORE #02292 CONSTRUCTION PLANS
 IRRIGATION PLAN

DATE 07/14/2025

REVISIONS

DRAWN BY: BG
 CHECKED BY: CC
 PROJECT MANAGER: CC
 JOB #: 24004241
 FILE CODE: N/A
 SHEET NO. L-2.1



TREE PRESERVATION NOTES

CONSTRUCTION METHODS:

BORING: BORING OF UTILITIES UNDER PROTECTED TREES MAY BE REQUIRED. WHEN REQUIRED, THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY (40) INCHES.

TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS CRITICAL ROOT ZONES OF ANY PROTECTED TREE. THE PLACEMENT OF UNDERGROUND UTILITY LINES SUCH AS ELECTRIC, PHONE, GAS, ETC., IS ENCOURAGED TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE. TRENCHING FOR IRRIGATION SYSTEMS SHALL BE PLACED OUTSIDE THE CRITICAL ROOT ZONE EXCEPT THE MINIMUM REQUIRED SINGLE HEAD SUPPLY LINE. THIS LINE IS ALLOWED TO EXTEND INTO THE CRITICAL ROOT ZONE PERPENDICULAR TO THE TREE TRUNK WITH THE LEAST POSSIBLE DISTURBANCE.

TREES TO BE REMOVED: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE.

TREES TO REMAIN: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.

EXISTING TREES NOTED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE OF TREE.

UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNERS AUTHORIZED REPRESENTATIVE.

PROHIBITED ACTIVITIES IN CRITICAL ROOT ZONE: THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE AREAS NOTED AS THE CRITICAL ROOT ZONE:

MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION, OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED, OR OTHER LIQUIDS DEPOSITED OR ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.

TREE ATTACHMENTS: NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

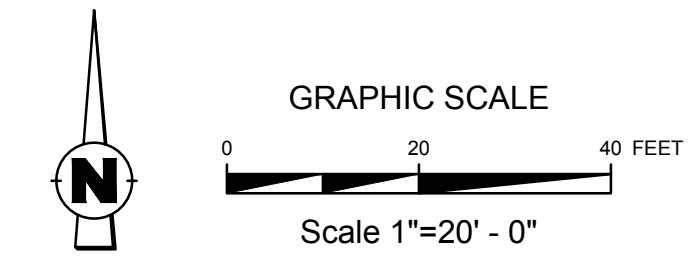
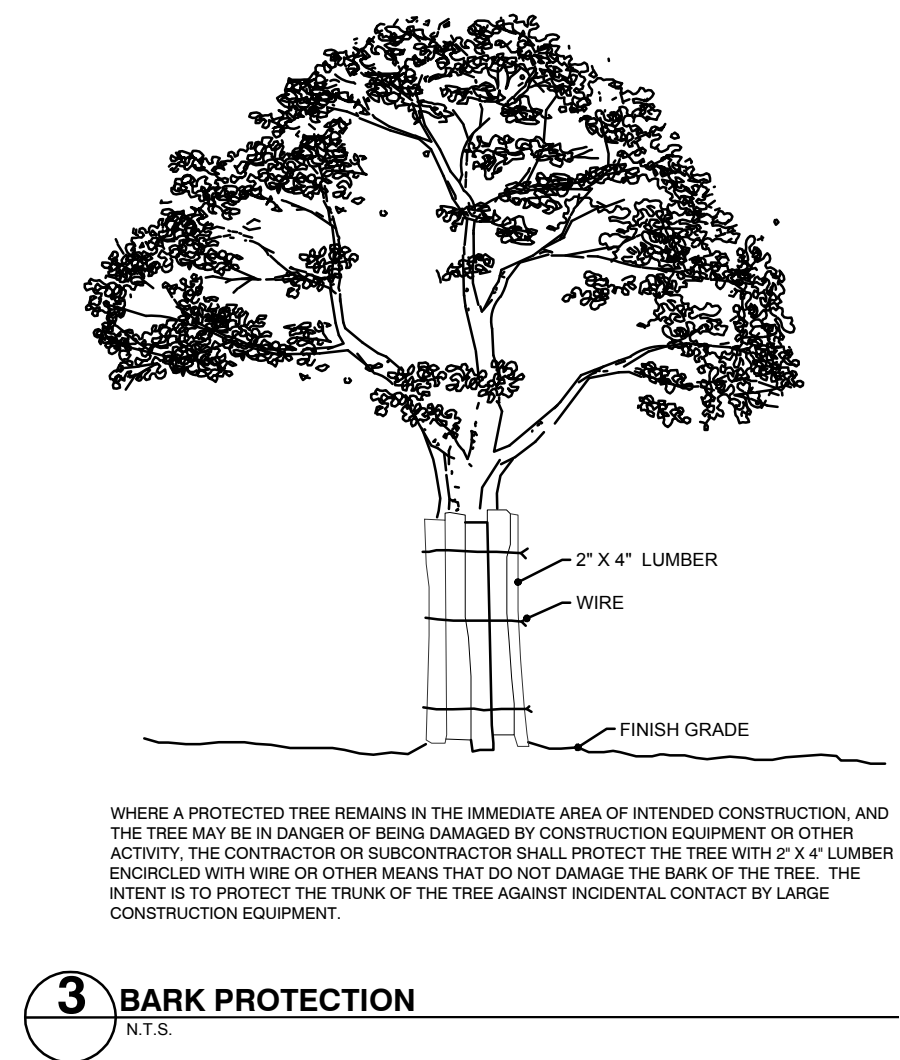
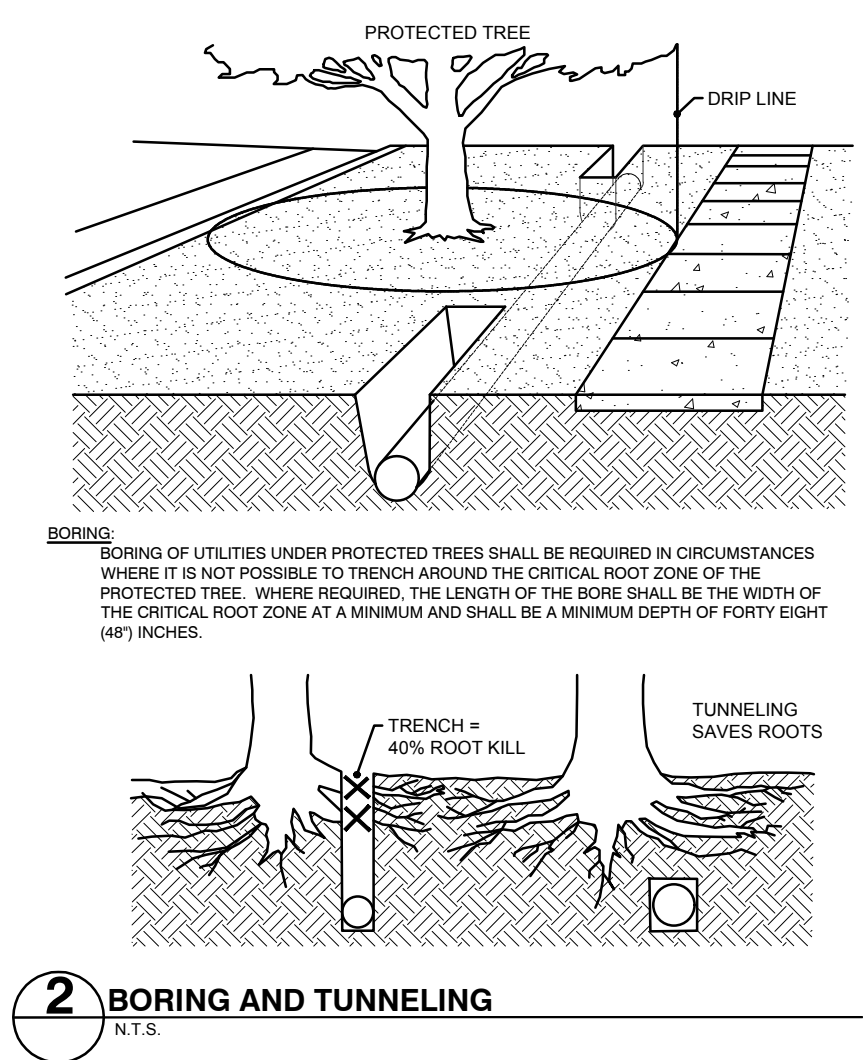
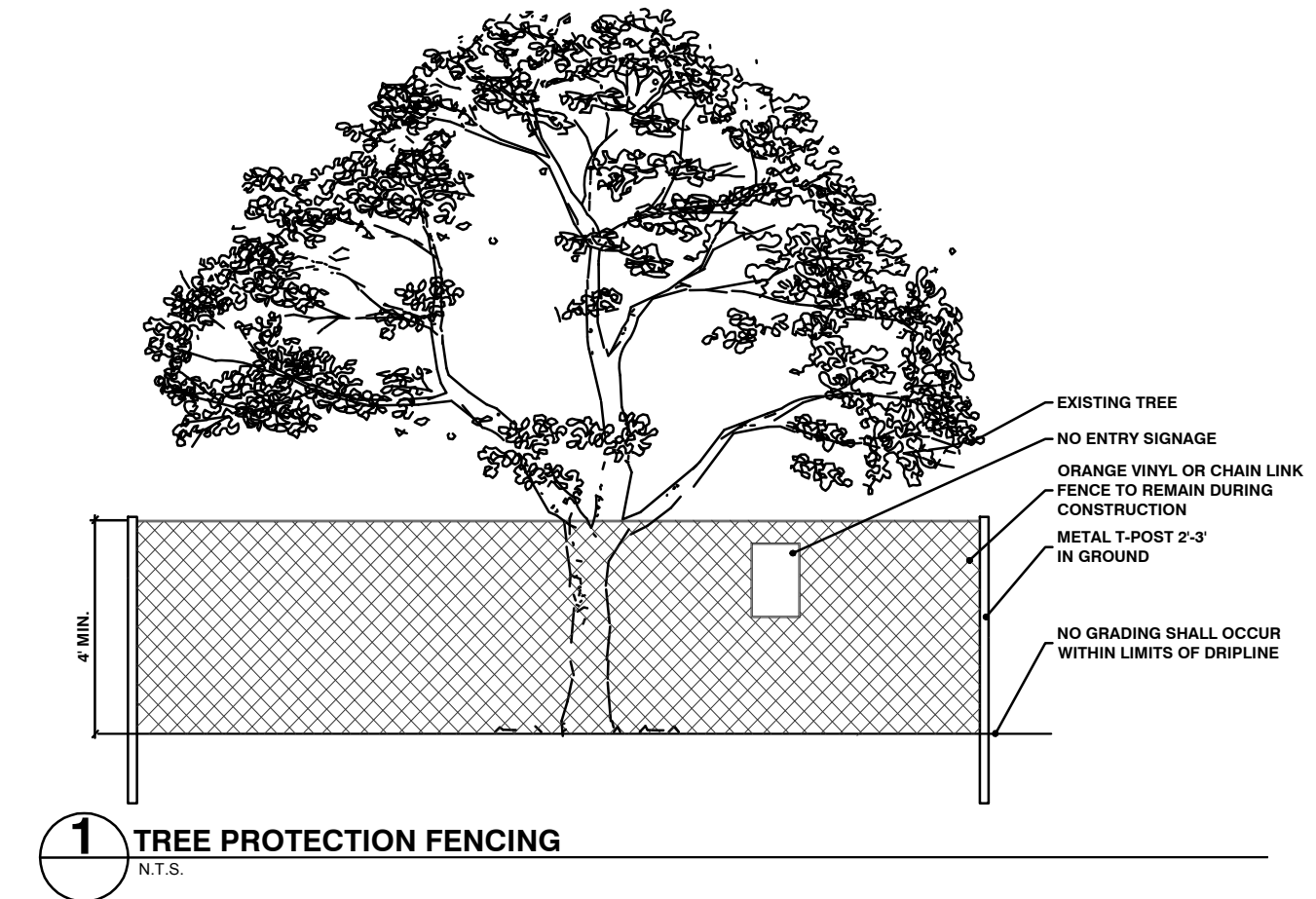
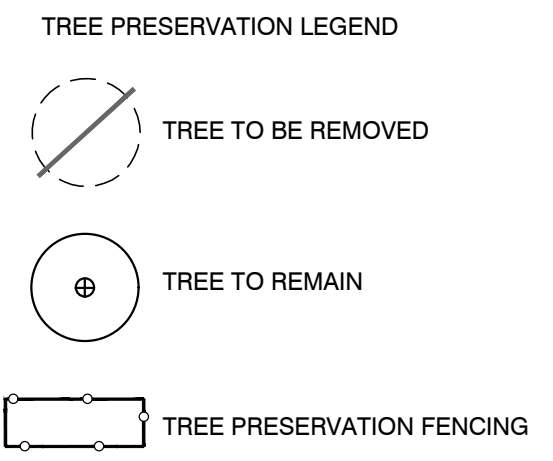
VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION, EQUIPMENT, TRAFFIC, OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT.

GRADE CHANGES: A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.

PROCEDURES REQUIRED PRIOR TO CONSTRUCTION:

PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK, AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

BARK PROTECTION: IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2"x4" LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE BARK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.



ON THE CORNER OF MEMORIAL DRIVE & E REGAL PL.

10437 S MEMORIAL DRIVE

CITY OF BIXBY

TULSA COUNTY, OKLAHOMA

CHICK-FIL-A

STORE #02292 CONSTRUCTION PLANS

TREE PRESERVATION PLAN

DATE 07/14/2025

REVISIONS

DRAWN BY: BG

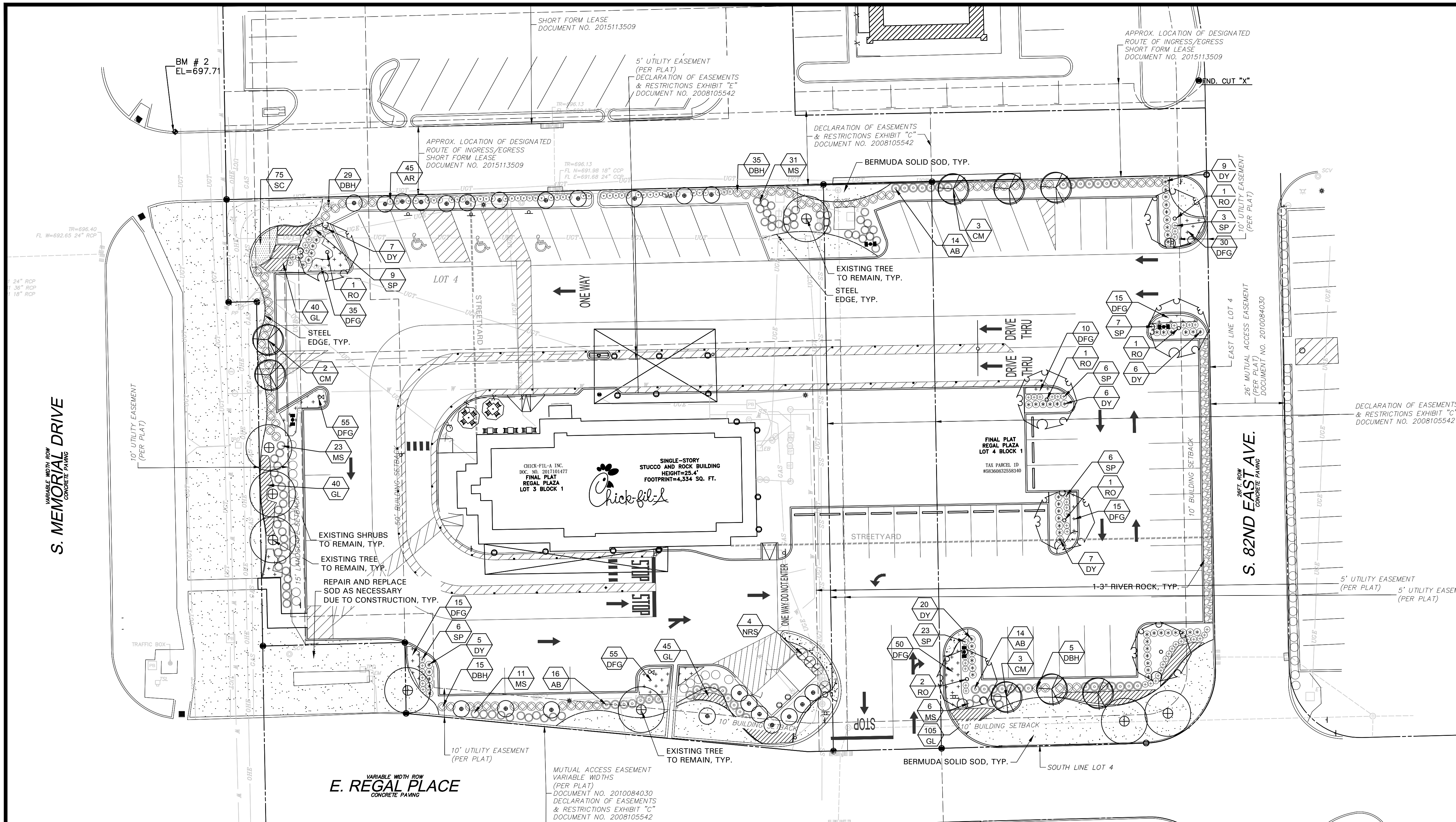
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PROJECT MANAGER: CC

JOB #: 24004241

FILE CODE: N/A

SHEET NO. L-1.1



- GENERAL LAWN NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
 - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
 - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
 - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
 - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

- SOLID SOD**
- SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES. AT A MINIMUM, THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
 - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD. FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH.
 - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
 - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY
 - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
 - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

- HYDROMULCH**
- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
 - BERMUDA GRASS SEED SHALL BE EXTRA MULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
 - FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "COMBEE" OR EQUAL.
 - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE "TERRO-TACK ONE," AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
 - HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
 - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
 - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
 - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDS ARE IMMEDIATELY AFTER INSTALLATION TO SATURATION.
 - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS
 - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
 - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
 - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
 - LANDSCAPE ISLANDS SHALL BE CROWNED, AND A UNIFORM THROUGHOUT THE SITE.
 - PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
 - EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
 - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
 - QUANTITIES ON PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
 - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
 - TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL SO BE 10' CLEAR FROM FIRE HYDRANTS.
 - 4" OF SHREDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
 - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAF 1405 WEED BARRIER OR APPROVED EQUAL.
 - CONTRACTOR TO PROVIDE LIMIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

- IRRIGATION**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR SYSTEM. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

- MAINTENANCE REQUIREMENTS:**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
 - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
 - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

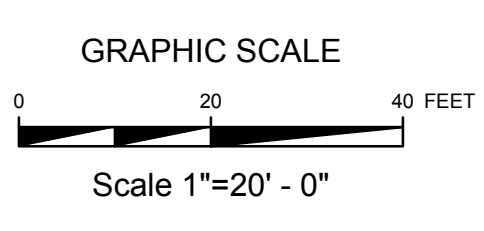
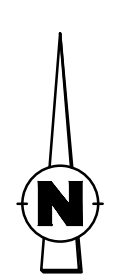
- MISCELLANEOUS MATERIALS:**
- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURABEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
 - RIVER ROCK SHALL BE 1" - 3" DIAMETER, RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

- PRUNING AND TRIMMING NOTES**
- CONTRACTOR SHALL PRUNE ALL EXISTING TREES ON-SITE USING STANDARD GUIDELINES IN THE INDUSTRY.
 - ALL TREES SHALL BE TRIMMED SO THAT NATURAL SHAPES OF THE PLANTS ARE RETAINED.
 - DO NOT TOP OR HEAD TREES.
 - IF FALLING OR SHEARING OF TREES HAS OCCURRED IN THE PAST, DISCONTINUE THIS PRACTICE AND ALLOW PLANTS TO GROW INTO NATURAL SHAPE.
 - REMOVE SUCKERS, DEAD, DYING, DISEASED, BROKEN AND / OR WEAK BRANCHES FROM ALL TREES ALONG THE MAIN TRUNK STRUCTURE AND WITHIN THE BRANCHING AREA.
 - CONTRACTOR SHALL PRUNE EXISTING DECIDUOUS HARDWOOD BY REMOVING LOWER LIMBS TO RAISE THE CANOPY. THE BOTTOM OF THE CANOPY SHALL BE RAISED TO 12'-0" ABOVE GRADE FOR DECIDUOUS HARDWOOD TREES. WHEN POSSIBLE, THE INTEGRITY OF THE CANOPY AND STRUCTURE OF THE TREE SHALL BE MAINTAINED. DO NOT CUT OR PRUNE CENTRAL LEADERS.
 - CONTRACTOR SHALL THIN THE CANOPY BY ONE-FOURTH. PRUNE TREE TO EVENLY SPACE BRANCHES WITHIN THE CANOPY WHENEVER POSSIBLE. REMOVE THOSE LIMBS THAT CROSS OTHERS, DOUBLE LEADERS AND THOSE THAT EXCESSIVELY EXTEND BEYOND THE NATURAL CROWN OF THE TREE.
 - CONTRACTOR SHALL PROVIDE DEEP ROOT FEEDING AND INVIGORATION OF EXISTING TREES. THIS SHALL BE ORGANIC BASED NUTRIENTS BASED FOR ROOT GROWTH AND LEAF GROWTH STIMULATION.
 - CONTRACTOR SHALL BE REQUIRED TO CHIP ALL REMOVED BRANCHES, LEAFS, ETC.

PLANT SCHEDULE				
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE NOTES
SHADE TREES				
7	RO	Red Oak	<i>Quercus rubra</i>	3" cal. 12' ht., 4' spread, matching
ORNAMENTAL TREES				
8	CM	Crape Myrtle 'Tuscarora'	<i>Lagerstromia indica 'Tuscarora'</i>	30 gal. 8' ht. 3' spread, matching
SHRUBS				
44	AB	Kaleidoscope Abelia	<i>Abelia 'Kaleidoscope'</i>	5 gal. full, 24" spread, 36" o.c.
45	AR	Anna's Magic Ball Arborvitae	<i>Thuja occidentalis 'Annas Magic Ball'</i>	3 gal. full, 24" o.c.
84	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal. full, 20" spread, 36" o.c.
60	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	5 gal. full, 24" sprd, 30" o.c.
71	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	3 gal. full, 20" spread, 36" o.c.
4	NRS	Nellie R Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal. full, 40" o.c.
60	SP	Magic Carpet Spirea	<i>Spiraea japonica 'Walburna'</i>	3 gal. full, 24" o.c.
GROUND COVER/VINES/GRASS				
280	DFG	Dwarf Fountain Grass	<i>Pennisetum alopecuroides 'Little Bunny'</i>	1 gal. full, 18" o.c.
230	GL	Giant Liriope	<i>Liriope gigantea</i>	1 gal. full, 18" o.c.
75	SC	Seasonal Color Bermuda Solid Sod	<i>Cynodon dactylon</i>	4" pots full, 12" o.c.

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

LANDSCAPE TABULATIONS for Bixby OK /Regal Plaza	
Site Landscape	
1. At least 15% of the streetyard shall be permanently landscaped.	
2. A minimum 10' buffer adjacent to ROW's	
3. One tree shall be provided for every 50 l.f.	
Streetyard: 30,775 s.f.	
REQUIRED	PROVIDED
4,616 s.f. (15%)	7964 s.f. (25%)
15' buffer	15' buffer
S. Memorial Drive - 157 l.f.	
3 trees, 2" cal.	3 existing trees, 2 proposed ornamental trees, 2" cal.
Parking Lot Landscape	
1. No parking space shall be located more than 50' from a landscape area. A landscape area must contain a tree.	
2. One tree shall be provided for every 100 spaces.	
Parking Stalls: 61	
REQUIRED	PROVIDED
6 trees, 2" cal.	7 proposed trees, 3" cal.; 3 existing trees
Trees	
1. One tree shall be provided for every 1,000 s.f. of streetyard.	
2. Each existing tree which is in the required streetyard and which is at least 6" in caliper and which is removed by development of the parking area shall be replaced at 2:1 and located within the streetyard. These two replacement trees shall be counted as one tree for purposes of compliance with streetyard planting requirements.	
3. Each existing tree which is located in the required streetyard and is removed by the development of the parking area and which is at least 6" in caliper shall be replaced 3:1 and located within the required streetyard.	
4. Existing trees more than 6" in caliper are considered 2 trees.	
REQUIRED	PROVIDED
5 trees, 2" cal.	7 existing trees; 3 proposed shade trees, 3" cal.; 5 proposed ornamental trees, 2" cal.



ON THE CORNER OF MEMORIAL DRIVE & E. REGAL PL.
 10437 S. MEMORIAL DRIVE
 CITY OF BIXBY
 TULSA COUNTY, OKLAHOMA

CHICK-FIL-A
 STORE #02292 CONSTRUCTION PLANS
 LANDSCAPE PLAN

DATE 07/14/2025

REVISIONS

DRAWN BY: BG
 CHECKED BY: CC
 PROJECT MANAGER: CC
 JOB #: 24004241
 FILE CODE: N/A
 SHEET NO: L-1.2

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR

- A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING

1.2 REFERENCE DOCUMENTS

- A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

- A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISIONS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:
1. PLANTING (TREES, SHRUBS, GRASSES)
2. BED PREP AND FERTILIZATION
3. NOTIFICATION OF SOURCES
4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
5. GUARANTEE

- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

- C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK

- 1.4 REFERENCES
A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERMEN, 27 OCTOBER 1980, EDITION, BY AMERICAN NATIONAL STANDARDS INSTITUTE (Z90.1) - PLANT MATERIAL
B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE: 1942 EDITION OF STANDARDIZED PLANT NAMES
C. TEXAS ASSOCIATION OF NURSERMEN, GRADES AND STANDARDS

- 1.5 SUBMITTALS
A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.

- 1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING
A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

- 1.7 SEQUENCING
A. INSTALL TREES, SHRUBS, AND LNER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOD.
B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

- 1.8 MAINTENANCE AND GUARANTEE
MAINTENANCE:
A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOWING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE

SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE CONDUCTED PRIOR TO WRITTEN ACCEPTANCE.

E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD.
G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR.
H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.

I. REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.
J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
L. REAPPLY MULCH TO BARE AND THIN AREAS.
M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.

N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROLOGICAL AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

1.9 QUALITY ASSURANCE
A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.

D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.
E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.
F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
G. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/SHE FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.
H. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING
A. PREPARATION
1. BALLED AND BURLAPPED BAB PLANTS: DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
B. DELIVERY
1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETRIORATION DURING DELIVERY AND WHILE STORED ON SITE.
2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
3. PROTECT ROOT BALLS BY HEELING IN WITH SAND/STUR OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DISOBSCURATION OF LEAVES.
5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

1.11 PLANT MATERIALS
A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF ROOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO QUANTITIES ONLY. CONFIRM ALL QUANTITIES ON PLAN.
C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING

ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
M. CALIPER MEASUREMENTS FOR STANDARD SINGLE TRUNK TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS
A. SANDY LOAM:
1. FRAGILE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLASGRASS OR LITGRASS SHALL BE REJECTED.
2. PHYSICAL PROPERTIES AS FOLLOWS:
a. CLAY - BETWEEN 17-27%
b. SILT - BETWEEN 15-25%
c. SAND - LESS THAN 52%
3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL.
C. PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR AID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUIV.
D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
F. ORGANIC FERTILIZER: FERTILAD, SUSTANE, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UP) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS.
H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS
A. STEEL EDGING - SHALL BE 3/16" X 4" X 1/2" DARK GREEN LANDSCAPE EDGING, DURABLE/EDGE STEEL OR APPROVED EQUIV.
B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
C. FILTER FABRIC - MIRAFI 140N BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (800-523-0444) APPROVED FABRICS MUST ADHERE TO THE FOLLOWING ITEMS:
A.C.H. - NONWOVEN POLYPROPYLENE GEOTEXTILE; PROVIDE EXCELLENT WATER FLOW RATES AND DURABILITY.
C.B. - CHEMICAL STABILITY - RESISTANT TO A WIDE RANGE OF AGGRESSIVE ENVIRONMENTS.
C.C. - HIGH PERMITTIVITY - ALLOWS HIGH WATER FLOW RATES WHILE RETAINING SOIL.
C.D. - C.D. HIGH PUNCTURE AND TEAR RESISTANCE CAN WITHSTAND INSTALLATION STRESSES.
D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND.

E. GRAVEL - WASHED NATIVE PEA GRAVEL, GRADED #1 TO 1.5"
F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS SIZES OF DECOMPOSED GRANITE.
G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 1"-3" IN DIAMETER.
H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STANNING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURERS LABELED RATES.

3.1 PREPARATION
A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).
2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
C. GRASS AREAS:
1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPPED OPEN, THEN WATERED THOROUGHLY.

3.2 INSTALLATION
A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORY ACCOMPLISHED.
B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSIT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF 8 & 9 PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO THE ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SMOOTH OR GLAZED.
F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN IT'S VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.
G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS.
H. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP 1/2 OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WOOD CONTAINERS AND TREES WILL USUALLY BE ROOT BOUND. IF SO FOLLOW STANDARD NURSERY PRACTICE OF "ROOT SCORING".
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J. DO NOT OVER PRUNE.
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E. WHEN IF THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

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Chick-Fil-A
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30349-2998

ATWELL
866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND, TEXAS 76180
FIRM NO. 12342

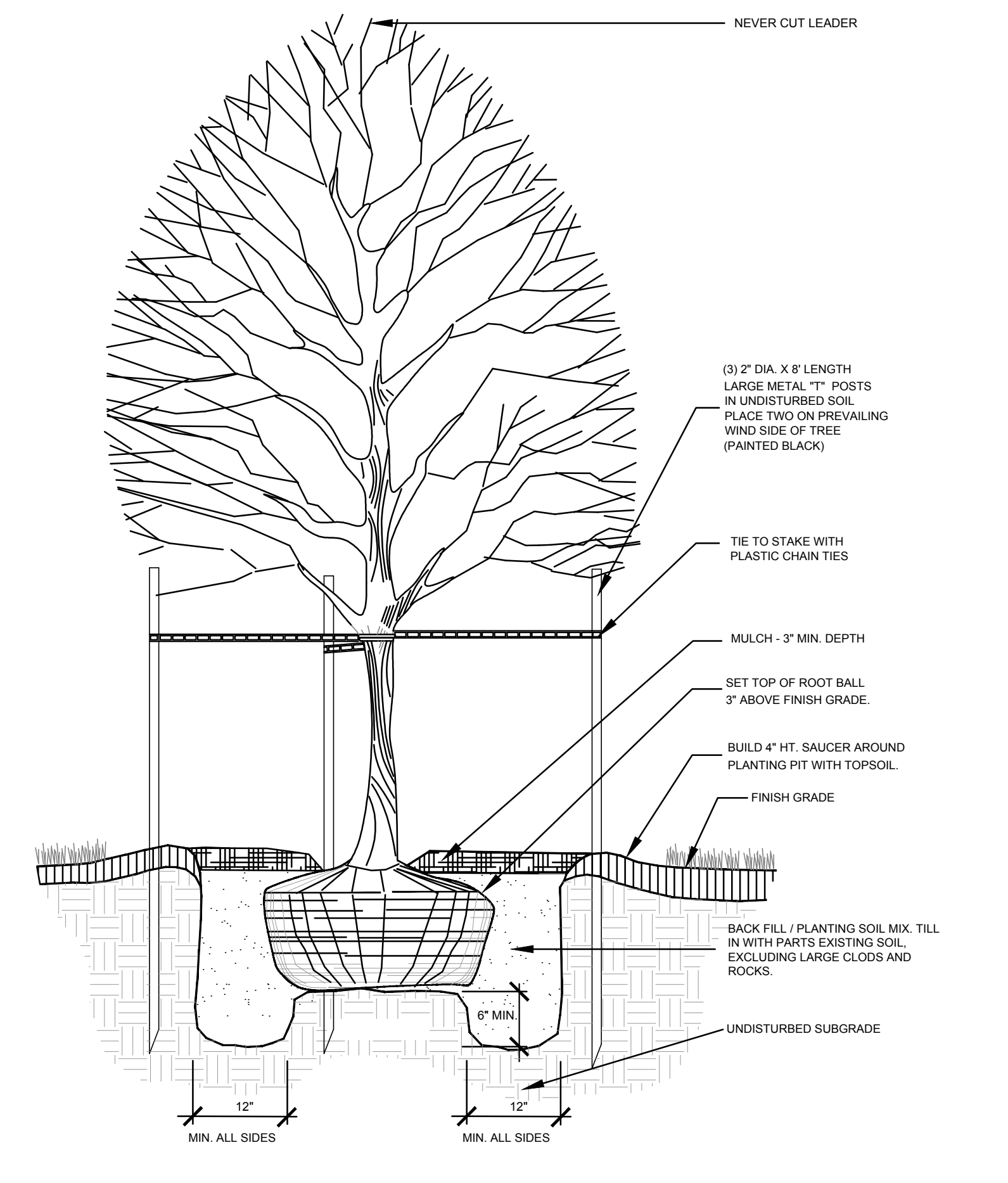
ON THE CORNER OF MEMORIAL DRIVE & E. REGAL PL.
CHICK-FIL-A
STORE #02292 CONSTRUCTION PLANS
LANDSCAPE SPECIFICATIONS AND DETAILS
CITY OF BIXBY
TULSA COUNTY, OKLAHOMA

DATE 07/14/2025

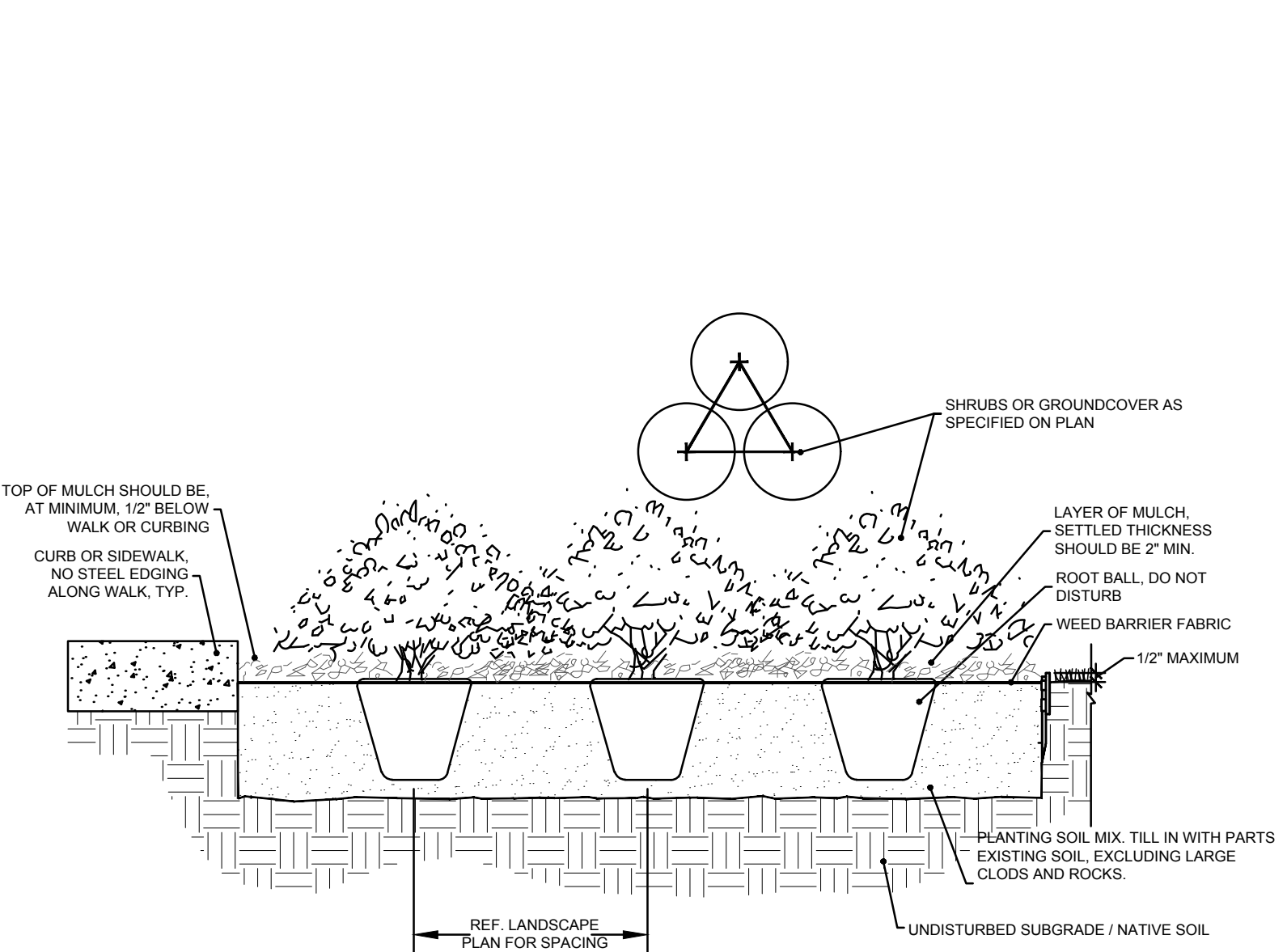
REVISIONS

DRAWN BY: BG
CHECKED BY: CC
PROJECT MANAGER: CC
JOB #: 24004241
FILE CODE: N/A
SHEET NO: L-1.3

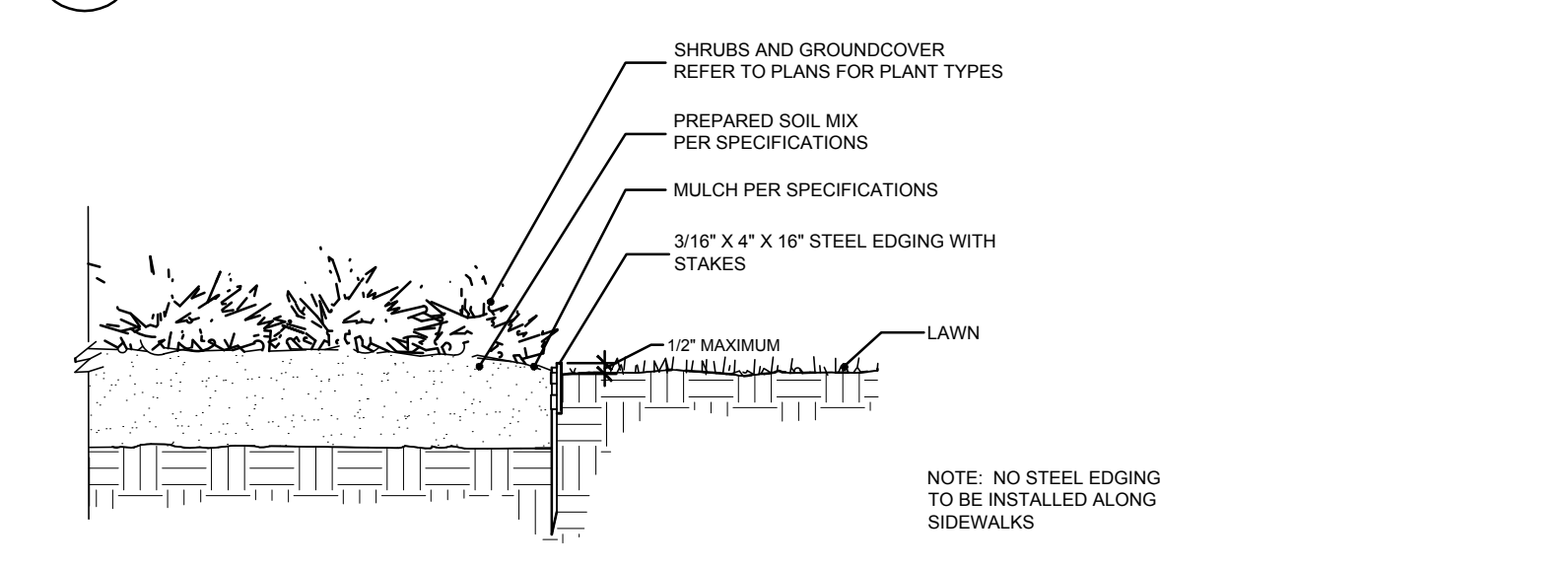
AWR
AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76808
amanda@awr-designs.com
c. 512.517.5589



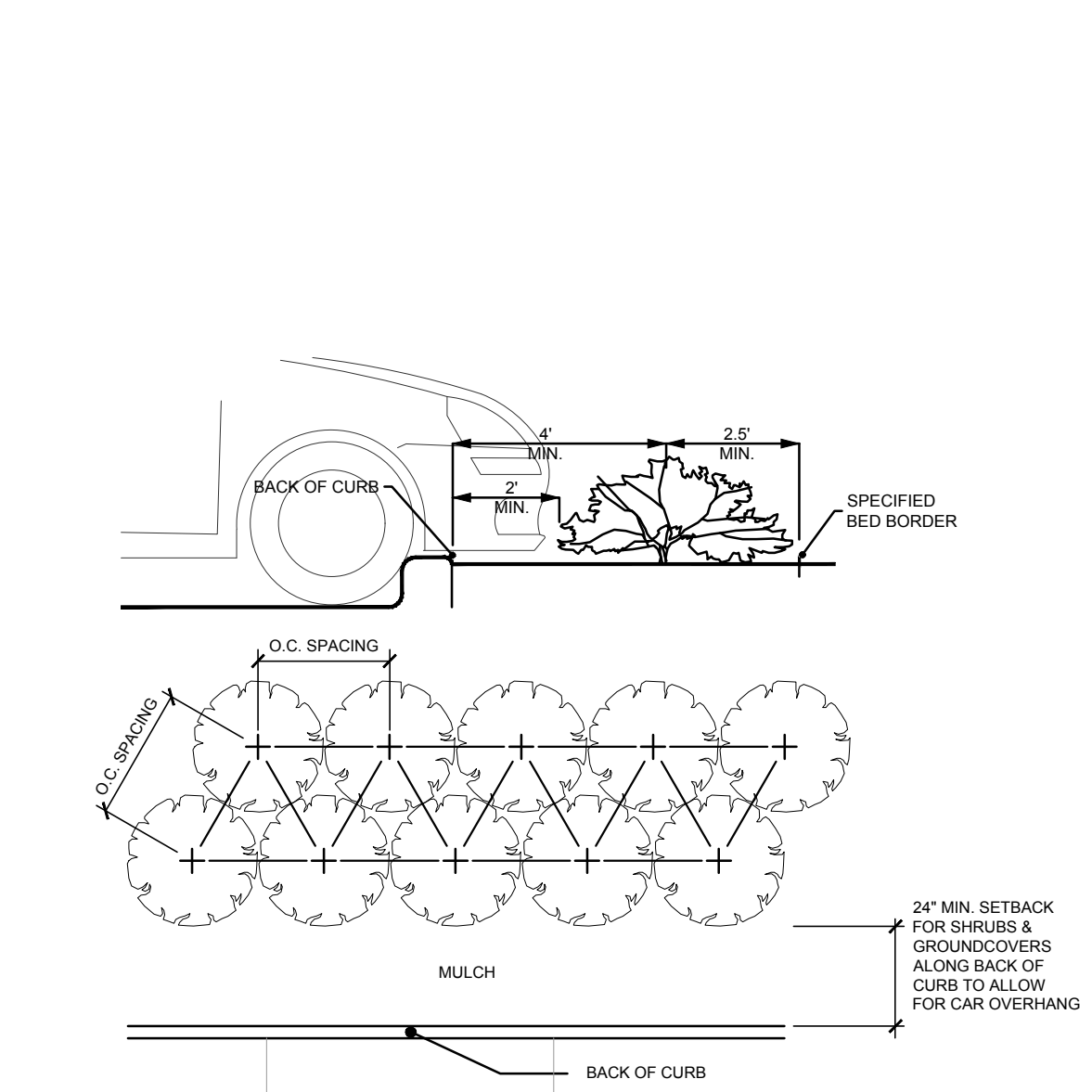
1 TREE PLANTING N.T.S.



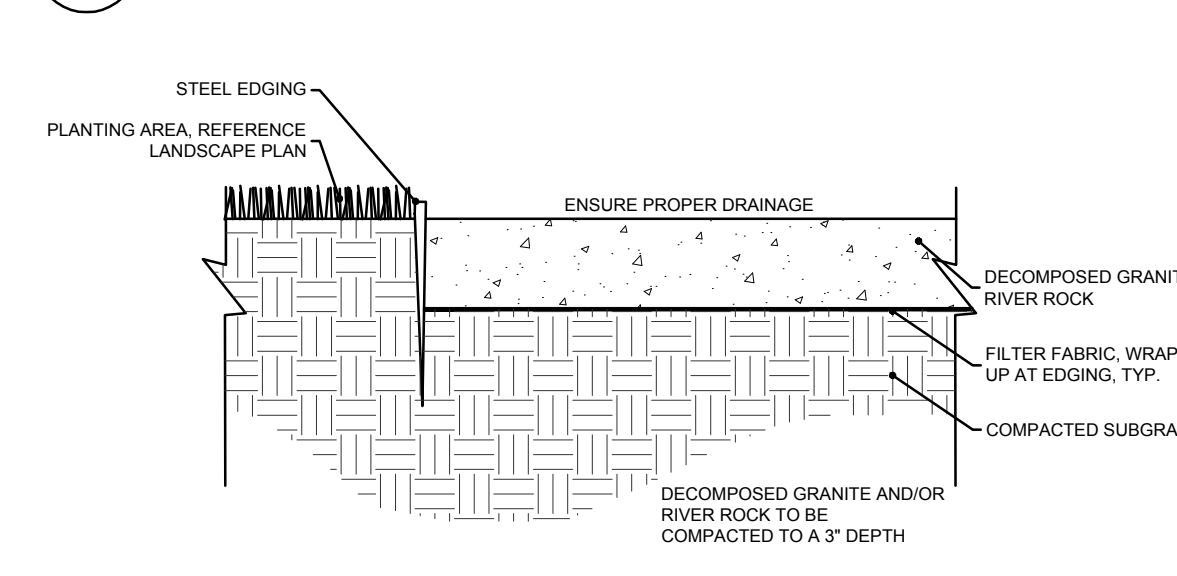
2 SHRUB PLANTING N.T.S.



3 SHRUB SPACING AND PLANTING AT B.O.C. N.T.S.



4 STEEL EDGING DETAIL N.T.S.



5 DECOMPOSED GRANITE / RIVER ROCK N.T.S.

AFFIDAVIT OF PUBLICATION

Tulsa World
315 S. Boulder Ave. , Tulsa, OK 74103
(918) 582-0921

I, Anjana Bhadoriya, of lawful age, being duly sworn upon oath depose and say that I am an agent of Column Software, PBC, duly appointed and authorized agent of the Publisher of Tulsa World, a publication that is a "legal newspaper" as that phrase is defined for the city of Tulsa, for the County of Tulsa, in the state of Oklahoma, that this affidavit is Page 1 of 2 with the full text of the sworn-to notice set forth on the pages that follow, and that the attachment hereto contains the correct copy of what was published in said legal newspaper in consecutive issues on the following dates:

Publication Dates:

- Aug 30, 2025

Notice ID: IIRkL030I4XTGrbg7QQS

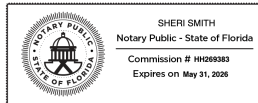
Notice Name: BXLS-25.04; Chick-fil-a

Publication Fee: \$36.33

I state under penalty of perjury under the laws of Oklahoma that the foregoing is true and correct.

Anjana Bhadoriya

Agent



VERIFICATION

State of Florida
County of Broward

Signed or attested before me on this: 09/01/2025

S. Smith

Notary Public

Notarized remotely online using communication technology via Proof.

**Published in the Tulsa World, Tulsa, Tulsa County, Oklahoma,
August 30, 2025**

CITY OF BIXBY
PLANNING COMMISSION MEETING
PUBLIC NOTICE

Notice is hereby given that the Bixby Planning Commission will hold a public hearing to consider a Lot Split and Lot Combo Application for the following property:

CASE NUMBER: BXLS-25.04 and BXLC-25.04
LOCATION: 10437 S Memorial Dr, Tulsa, OK 74133
REQUEST: The applicant seeks approval to split and combo for the above-described property into one legal lot in accordance with the Bixby Subdivision Regulations and Title 11 of the Bixby City Code.

PUBLIC HEARING INFORMATION:

DATE: Monday, September 15, 2025

TIME: 6:00 P.M.

PLACE: Bixby Municipal Building
ADDRESS: 111 N. Cabaniss Ave, Bixby, OK 74008

All persons interested in this matter may appear at the foregoing time and place and present arguments for or against the proposed lot split. Written comments will also be accepted prior to the meeting and made part of the official record.

For questions, contact the Bixby Planning Department at (918) 366-4430 or visit www.bixbyok.gov

For more information, contact:

City of Bixby Planning Department

P.O. Box 70, Bixby, OK 74008

Call (918) 366-4430 or visit www.bixbyok.gov
COL-TUL-103064



STAFF REPORT

TO: Planning Commission

FROM: Gladys Gill, Planner

DATE: September 15, 2025

NAME: Bell Ice

CASE(S): **SITE PLAN** | (BXSP-25.01)

LOCATION: Northwest corner of East 131st Street and South Memorial Drive

EXISTING ZONING: Commercial General (CG)

PROPOSED ZONING: N/A

STR: Section 02, Township 17N, Range 13E

APPLICANT: Charles Bell

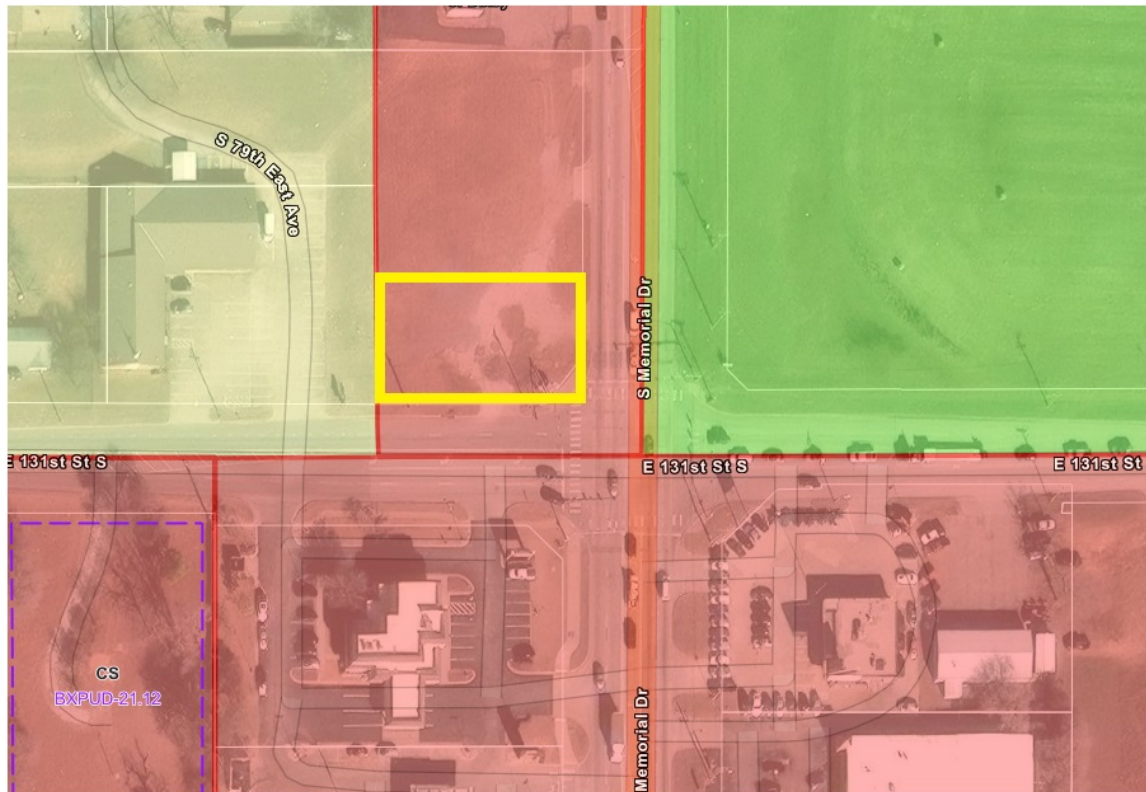
REQUEST: The applicant, Charles Bell, has submitted a site plan for the installation of a standalone ice vending machine to be located on the northwest corner of East 131st Street South and South Memorial Drive. The subject site is within a commercially zoned tract along a primary arterial corridor that accommodates a variety of retail and service uses.

The proposed use consists of a prefabricated ice vending machine with associated parking and circulation improvements. Ice vending machines are classified as a permitted retail use in the Commercial General (CG) zoning district. The machine will be accessible 24 hours a day, serving the surrounding neighborhood and the traveling public.

SURROUNDING ZONING AND LAND USE:

- North: (CG) Commercial General: Dental Arts of Bixby
- South: (CG) Commercial General: Armstrong Bank
- East: (AG) Agriculture: Vacant
- West: (RS-1) Residential Single-Family: Baptist Church

Figure 1: Existing zoning for surrounding areas.



Key Issues

1. Zoning & Use

- Zoning: CG – Commercial General.
- Retail vending machines are consistent with permitted uses in the CG district.
- No Special Use Permit required.

2. Site Design & Circulation

- Site plan shows the ice vending machine oriented toward Memorial Drive.
- ODOT has confirmed that no new driveway permits are required if existing curb cuts are utilized
- Adequate circulation is provided for passenger vehicles with access from both Memorial and 131st.
- One striped space is proposed for temporary customer parking; staff recommends ensuring ADA accessibility.

3. Structure & Appearance

- The vending machine is modular and classified as equipment/non-occupiable space
- Materials consist of prefabricated metal and fiberglass panels, which do not comply with Corridor Appearance District masonry requirements.

4. Landscaping & Screening

- Site constraints limit full compliance; the applicant proposes reduced buffer areas.

5. Utilities & Drainage

- Water: 2" water service connection shown.
- Sewer: Existing sanitary sewer manholes located on site.
- Electric: Two electric poles indicated; service will be extended to the unit.
- Drainage: Must be reviewed and approved by City Engineer; no discharge into ROW permitted.

6. Corridor Appearance Waiver

The applicant can request a Corridor Appearance Waiver from City Council for:

- Waiver from 100% masonry façade requirement (structure is prefabricated equipment).
- Reduction of landscaped buffer along Memorial/131st frontage.

Staff recommends approval of the waiver, provided that:

1. Decorative landscaping is installed along Memorial Drive to be enhanced with shrubs/groundcover in the frontage area.
2. Screening or a masonry wing wall/fence is constructed on at least two sides of the vending unit.
3. Utilities are fully screened from public view.

7. Signage

- Any signage beyond incidental branding must comply with CG district regulations and require a separate sign permit.

8. Public Safety & Accessibility

- Fire Marshal review required to ensure no obstruction of hydrants or emergency access.
- ADA-compliant path from parking space to vending unit required.

PUBLIC INPUT: Site plans are not subject to public notice. No comments received.

ENGINEERING COMMENTS: No comments.

STAFF COMMENTS: The subject property is located within the Memorial Corridor Appearance District, which establishes additional design, landscaping, and appearance standards for commercial development along Memorial Drive. The proposed ice vending machine is a prefabricated structure that does not fully comply with the following standards:

1. Minimum Masonry Requirement: Corridor standards require 100% masonry on façades visible from public right-of-way. The prefabricated ice machine is primarily constructed of metal and smooth insulated panels, with limited opportunities for masonry integration.
2. Landscaping Buffer: Corridor standards require a 15-foot landscaped buffer with street trees along Memorial Drive and 131st Street. Due to the site's small footprint and the machine's placement near the drive approach, only partial compliance can be achieved without impeding circulation.

On August 25, 2025, Mr. Bell presented his proposal for an ice vending machine to the City Council for direction and recommendations, as it would be located within the Memorial Corridor.

The applicant can request a Corridor Appearance Waiver from the City Council to allow the ice vending machine to operate without meeting the minimum masonry façade requirement and to reduce the required landscaped buffer along Memorial Drive.

Staff recommends approval of the Site Plan with the following conditions:

1. Landscaping along Memorial Drive to be enhanced with shrubs/groundcover in the frontage area.
2. Decorative fencing or a masonry wing wall shall be constructed around at least two sides of the vending unit to provide visual screening.

FIGURES:

Figure 1: Existing Zoning

ATTACHMENTS:

Attachment 1: Site Plan
Equipment Elevations

SANITARY SEWER
MANHOLE

Legal Description: Subdivision: UNPLATTED (97302)
Legal: PRT SE SE SE BEG 208.71W & 40N SECR SE TH E115.03 NE57.12 N236.58
W159.13 S TO POB SEC 2 17 13 .98AC
Section: 02 Township: 17 Range: 13

ZONED CG
0.98 AC.

2" WATER
SUPPLY

Notes:

1. ODOT stated that if the driveways are existing there is no permit or change required.
2. Ice Machine is equipment and is a non-occupiable space and is modular

BELL ICE LLC

SITE PLAN

SHT: 1 OF 8

Project: TWICE THE ICE

Location: 131st & MEMORIAL

Scale: 1/32" = 1'-0"

Date: 09-09-25

Drawn By: COB

Pone: (918) 694-2433

Address: 3330 E 144th ST S, BIXBY OK, 74008

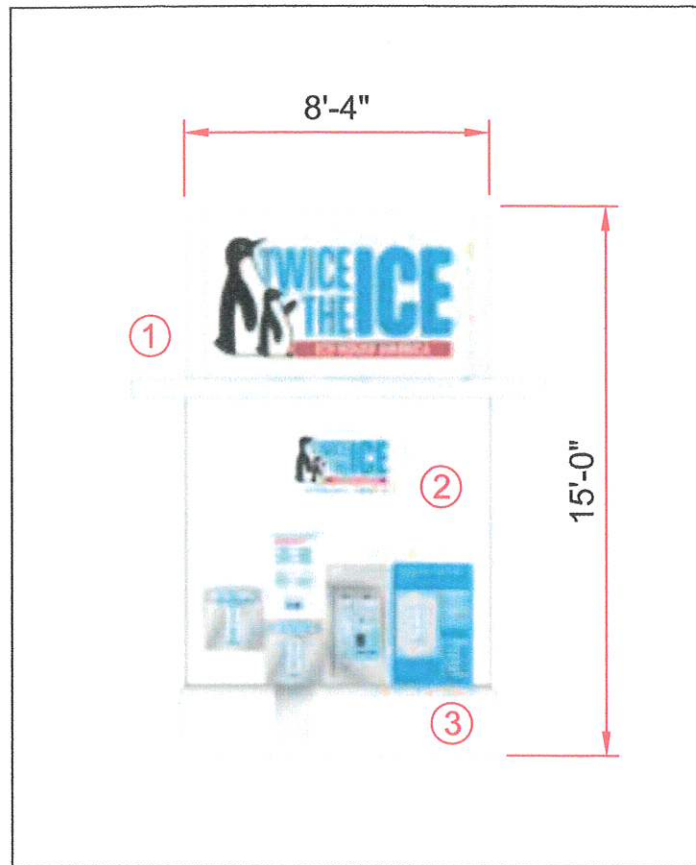
REVISIONS

0	SUBMIT FOR APPR
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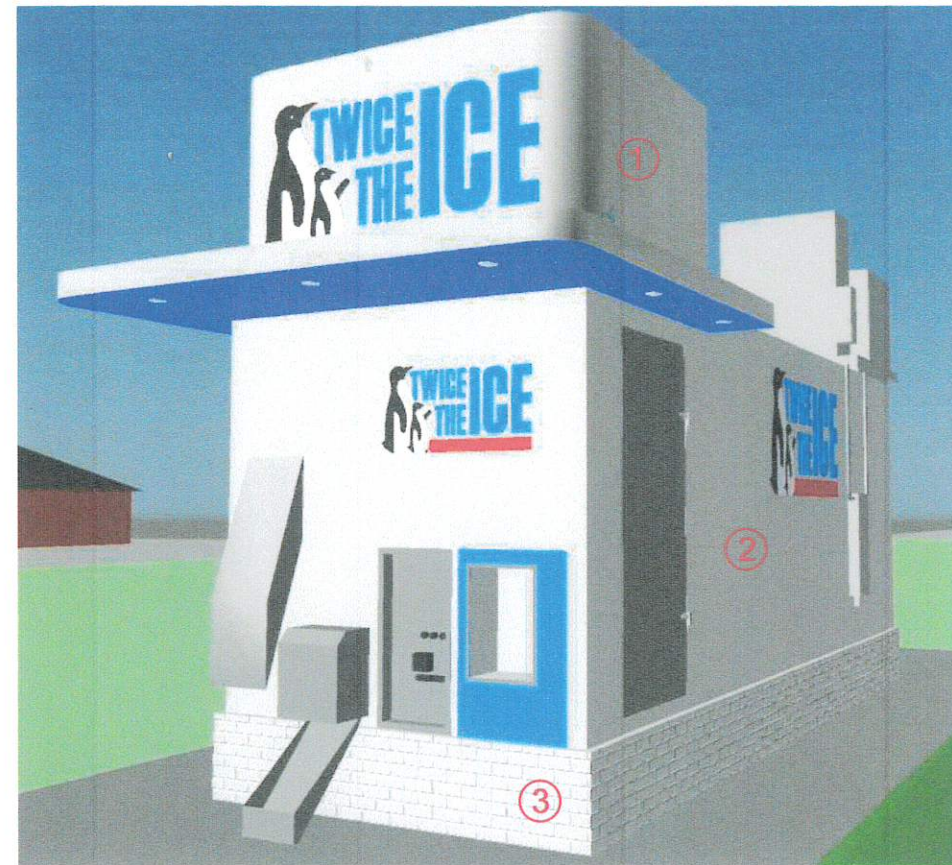


OPTIONS ADDED:

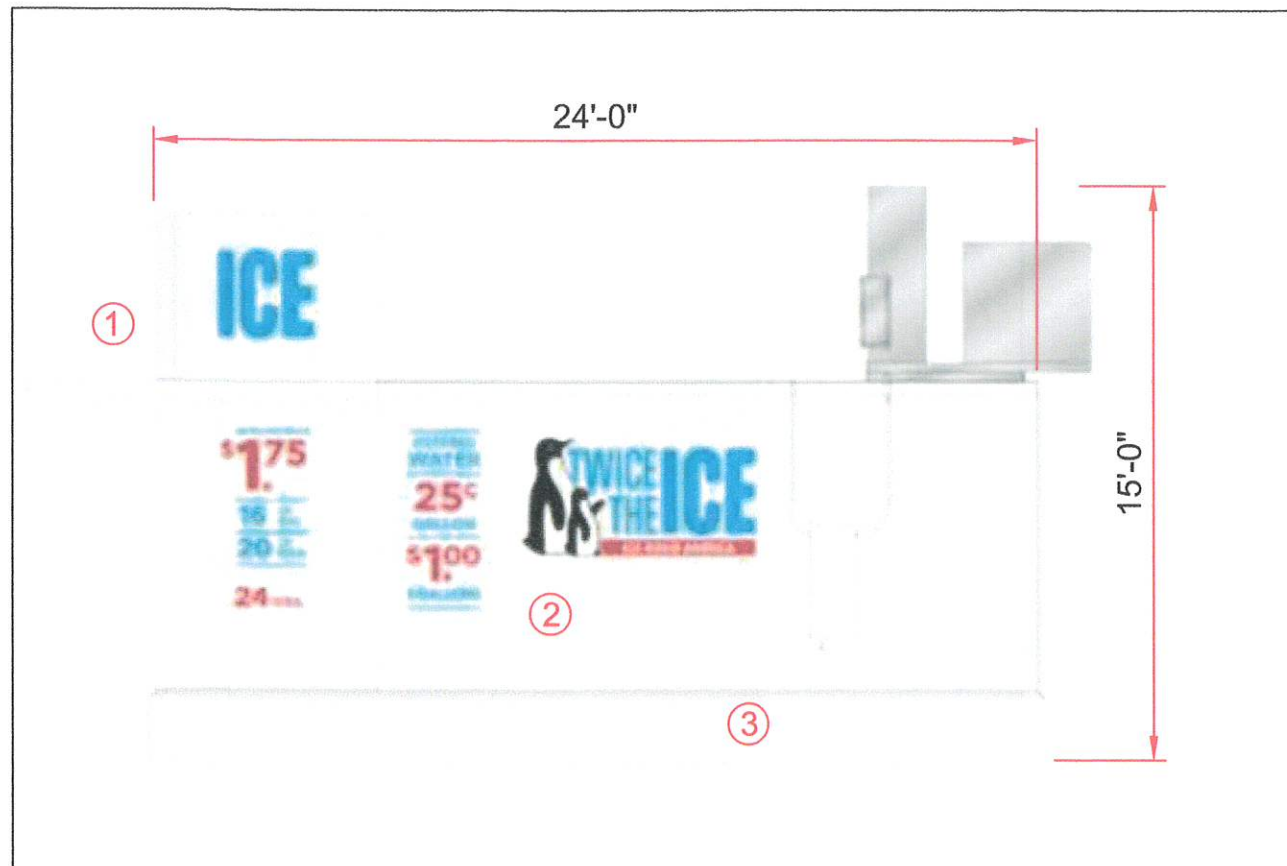
- 1. TOP HAT
- 2. SMOOTH INSULATED PANELS (SHOWN IN MODEL)
- 3. FAUX BRICK ADDED TO INSULATED SKIRTING (SHOWN IN MODEL)



FRONT VIEW



NW MODEL VIEW



SIDE VIEW



NE MODEL VIEW

BELL ICE LLC

EQUIPMENT
ELEVATIONS

SHT: 7 OF 8

Project: TWICE THE ICE

Location: 131st & MEMORIAL

Scale: NTS

Date: 09-09-25

Drawn By: COB

Pone: (918) 694-2433

Address: 3330 E 144th ST S, BIXBY OK, 74008

REVISIONS

0	SUBMIT FOR APPR

ARTICLE G. - CORRIDOR APPEARANCE DISTRICT

11-7G-1: - PURPOSES:

There is hereby created a corridor appearance district along Memorial Drive from 101st to 171st Street South, as hereinafter defined, for the purpose of extending appearance review standards and guidelines to achieve aesthetically pleasing and environmentally sensitive development areas through alternative compliance methods, including landscaping, building material selection, structural design and color scheme provisions, sound reduction methods, improved air quality, and to provide attractive sites for nonresidential, commercial development, and industrial development to the benefit of the city's visitors and residents.

(Ord. 814, 5-8-2000)

11-7G-2: - LOCATION:

The corridor appearance district herein created is defined as follows: An area six hundred feet (600') in width along and parallel to Memorial from 101st to 171st South, 131st at Memorial East to Bixby city limits, an area six hundred feet (600') from center of 131st Street; 151st Street at Memorial West to Bixby city limits, an area six hundred feet (600') from centerline of 151st Street; 171st at Memorial East to Bixby city limits, an area six hundred feet (600') from center of 171st Street any structures which may in whole or part be located herein, except those areas when bounded or falling within the boundaries of the central business district in which case the requirements of those districts shall prevail.

(Ord. 814, 5-8-2000)

11-7G-3: - EXEMPTIONS:

Residential zoning districts; planned unit developments (PUDs); specific use permits; central business district; and other zoning classifications or districts with restrictive covenants and/or development test when determined at the time of zoning approval to meet the corridor appearance district guidelines.

(Ord. 814, 5-8-2000)

11-7G-4: - ISSUANCE OF BUILDING PERMIT:

Prior to the construction or reconstruction of any structure, exterior remodeling, or any proposed construction requiring the issuance of a building permit, other than interior construction or remodeling or a small job permit, a site plan shall be submitted as set forth in subsection 11-9-0.E of this title and shall be subject to the corridor appearance district development minimum standards, as hereinafter set forth.

(Ord. 2107, 1-14-2013)

11-7G-5: - DEVELOPMENT MINIMUM STANDARDS:

- A. All sides of buildings facing public streets shall be full masonry to the first floor top plate, to include brick, stucco, EIFS or similar masonry like product, stone, finished concrete tilt-up panels, or some combination thereof.
- B.

The property owner may appeal the interpretation of the masonry standard to a specific building project or may request, in writing and with showing of sufficient good cause, that the city council reduce or waive the requirement altogether.

- C. The city planner may refer a proposed structure to the city council for approval if determined to be of exceptional character, iconic, or potentially offensive.

(Ord. 2107, 1-14-2013)

11-7G-6: - SITE PLAN APPROVAL REQUIRED:

A site plan is hereby required. The site plan shall demonstrate compliance with the corridor appearance district development minimum standards and the requirements of this title. The information required to be included in the site plan shall be as set forth in subsection 11-9-0.E of this title. Maintenance of the site in substantial compliance with the approved site plan shall be a condition of continued occupancy.

(Ord. 2091, 9-10-2012)