



City of Bixby Technical Advisory Committee Meeting Agenda

Wednesday, September 3,
2025

10:00 AM

Dawes Building, Dawes
Conference Room
113 W. Dawes Ave., Bixby, OK
74008

Call to Order

Brad Girard, Mayor

Introductions

Approval of Minutes

- 1) Review and approve meeting minutes for the TAC meeting dated August 6, 2025.

Items to be Discussed

- 1) Discussion and review of a lot split for the Binney property located south of 161st Street, approximately 660-feet east of South Riverview Drive.
- 2) Discuss and review a lot split and lot combo for the Chick-fil-A located at 10437 S Memorial Dr, Tulsa, OK 74133.

Adjournment

Notice of Posting

This Notice and Agenda was posted on the bulletin board this day of September 2, 2025, on or before 10:00 am, at City Hall, 111 N Cabaniss Ave., Bixby, OK.

Respectfully Submitted

Gladys Gill, Assistant Planner

NOTE: All cell phones and pagers must be turned OFF or operated SILENTLY during all meetings.

21 O.S. Section 280 provides the following: A. It is unlawful for any person, alone or in concert with others and without authorization, to willfully disturb, interfere, or disrupt state business, agency operations, or any employee, agent, official, or representative of the state. B. It is unlawful for any person who is without authority or who is causing any disturbance, interference, or disruption to willfully refuse to disperse or leave any property, building, or structure owned, leased, or occupied by state officials, employees, agents, or representatives or used in any manner to conduct state business or operations after proper notice by a peace officer, sergeant-at-arms, or other security personnel. C. Any violation of the provisions of this section shall be a misdemeanor punishable by imprisonment in the county jail for a term Oklahoma Statutes - Title 21. Crimes and Punishments Page 94 of not more than one (1) year, by a fine not exceeding One Thousand Dollars (\$1,000.00), or by both such fine and imprisonment. D. For purposes of this section, “disturb, interfere, or disrupt” means any conduct that is violent, threatening, abusive, obscene, or that jeopardizes the safety of self or others.

For Special Accommodations

Persons who require special accommodation to participate in this meeting should contact City Clerk, Shannon Duran: at 116 West Needles Avenue, Bixby, Oklahoma, 918-366-4430 or email [City Clerk, Shannon Duran](mailto:sduran@bixbyok.gov) (sduran@bixbyok.gov), as far in advance as possible and preferably at least 48-hours before the date of the meeting. Persons using a Telecommunication Device for the Deaf may contact Oklahoma Relay at 1-800-722-0353 and voice calls should be made to 1-800-522-8506 to communicate via telephone with hearing telephone users and vice versa.

Bixby Technical Advisory Committee Meeting Minutes

Conference Room

Dawes Building, 113 W Dawes Avenue, Bixby, Oklahoma

Wednesday, August 6, 2025 | 10:00 A.M.

Technical Advisory Committee Members

Members Present

Gwen Plante, City of Bixby
Bea Aamodt, City of Bixby
Donna Crawford, COB Consultant
Justin Clare, City of Bixby
Erik Dye, City of Bixby
Heath Wright, City of Bixby
Maddie Luster, City of Bixby
Gladys Gill, City of Bixby
Susan Bevard, BTC
Richard Gann, BTC

Members Present

Rob Miller, Bixby Schools
Matthew Campbell, ECE
Kathenne Russell, ECE
Klith Nelson, OGE
Justin Soto, OGE
Quan Tran, OGE

Others Present

Ryan McCarty, Select Design
Erik Enyart, Tanner Consulting
Mac McLaughlin, RTE66 Engin.
John Droz, RTE66 Engineering
Kevin Maevers, Robson Companies
Richard Oltmann, Blue Sky Consul.

Call to Order

- Gladys Gill, City of Bixby, called the meeting to order at 10:01 A.M.

Introductions

- All members present proceeded to introduce themselves.

Approval of Minutes

1. Review and approve minutes for the TAC meeting dated August 6, 2025.

- Gladys Gill requested a motion to approve the minutes from the Technical Advisory Committee meeting held on August 6, 2025. Richard Gann from BTC made the motion to approve the minutes, and Gwen Plante seconded it.

Aye: All

Nay: None

Motion Carried

Project Discussions

1. Utility Easement Closure (BXEC-25.03) for Lot 8, Block 7 in The Reserve at Harvard Ponds, located at 14410 S Gary Avenue, Bixby, OK 74008.

Gladys Gill, Assistant Planner for the City of Bixby, introduced Item 1 and invited utility representatives to share their comments.

- All utility stakeholders have approved and signed off on the closure. No further comments.

2. Discussion and review of the Final Plat for South County Industrial Park.

Gladys introduced Item 2 and invited utility representatives to share their comments.

- Public Works would send comments via email. Ryan McCarty added that an easement closure would be submitted separately. He also added that future lot splits would happen.

No further comments.

3. Discussion and review of the Preliminary Plat and PUD for Central Park on Mingo.

Gladys introduced Item 3 and invited utility representatives to share their comments.

- Tanner Consulting clarified that walking trails around the ponds are in lieu of sidewalks within the development. GoPlan trails would not be incorporated since this is a private development. Mrs. Gill requested consideration of 100% masonry along Mingo, as well as addressing reserve areas.
- Public Works would send comments via email.
- BTC will run fiber.

No further comments.

4. Discussion and review of the Preliminary Plat and PUD for Spartan Creek.

Gladys introduced Item 4 and invited utility representatives to share their comments.

- Mrs. Gill asked that the verbiage be cleaned up and that “Residential” be removed from the plat.
- RTE66 Engineering asked for clarification pertaining to drainage easements along 151st Street. They were asked to email questions to Planning and Development.
- Public Works sends comments via email. The city is designing the conceptual utility plan. U/E along the north would need to be added for the sewer interceptor.
- BTC stated that they have a handhold near the site.
- OGE is available, and East Central Electric is in the area and available as well.

No further comments.

5. Discussion and review of the Preliminary Plat and Alley Closure/Vacation for the Bixby Performing Arts Center (PAC).

Gladys introduced Item 5 and invited utility representatives to share their comments.

- BTC has a pedestal on the site.
- Mrs. Gill confirmed that the alley closure would be reflected on the final plat.

No further comments.

Adjournment: The meeting was adjourned at 10:34 AM.

Exhibit "A.1"
Part of the NE/4
Section 25, T-17-N R-13-E
Original Tract Exhibit

Description

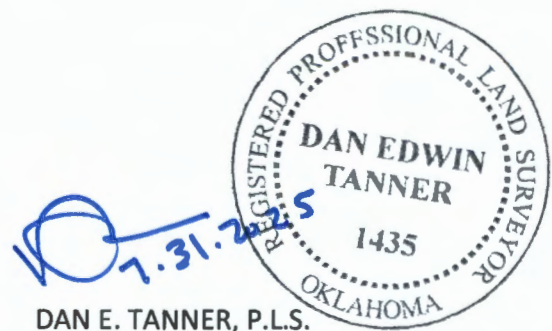
THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW/4 NE/4) AND SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (SE/4 NW/4 NE/4) AND THE WEST SIXTY (60) FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (W/2 NE/4 NW/4 NE/4) ALL IN SECTION TWENTY-FIVE (25), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.

Basis of Bearing

THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83).

Certification

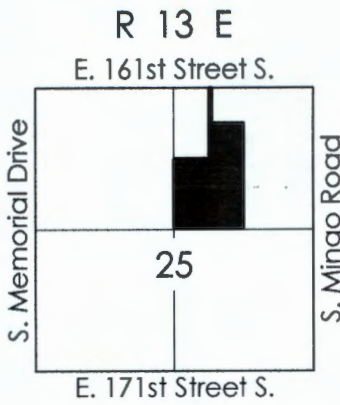
I, DAN E. TANNER, OF TANNER CONSULTING, LLC, CERTIFY THAT THE ATTACHED DESCRIPTION CLOSES IN ACCORD WITH EXISTING RECORDS, IS A TRUE REPRESENTATION OF THE REAL PROPERTY AS DESCRIBED, AND MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING OF THE STATE OF OKLAHOMA.



DAN E. TANNER, P.L.S.
OKLAHOMA P.L.S. #1435
OKLAHOMA CA #2661
EXPIRATION DATE: 6/30/27

Exhibit "A.2"

Part of the NE/4
Section 25, T-17-N R-13-E
Original Tract Exhibit



Location Map

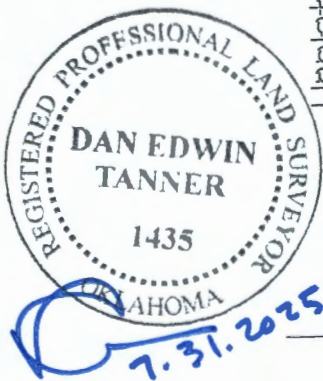
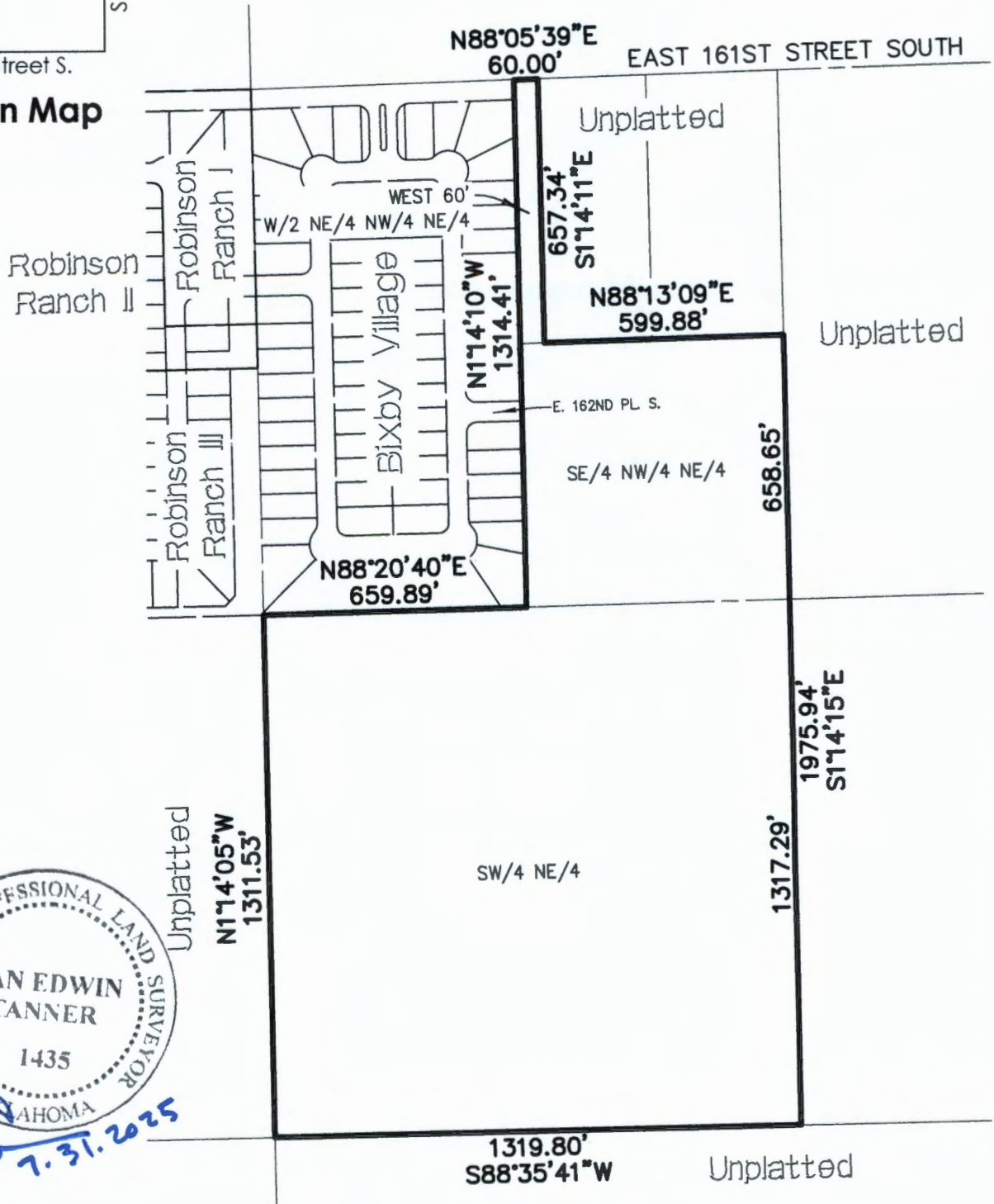


Exhibit "B.1"
Part of the NE/4
Section 25, T-17-N R-13-E
Split Tract Exhibit

Description

THE WEST SIXTY (60) FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (W/2 NE/4 NW/4 NE/4) ALL IN SECTION TWENTY-FIVE (25), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.

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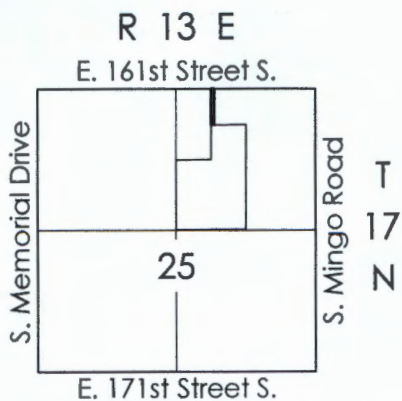
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Part of the NE/4
Section 25, T-17-N R-13-E

Split Tract Exhibit



NORTH
NOT TO SCALE



Location Map

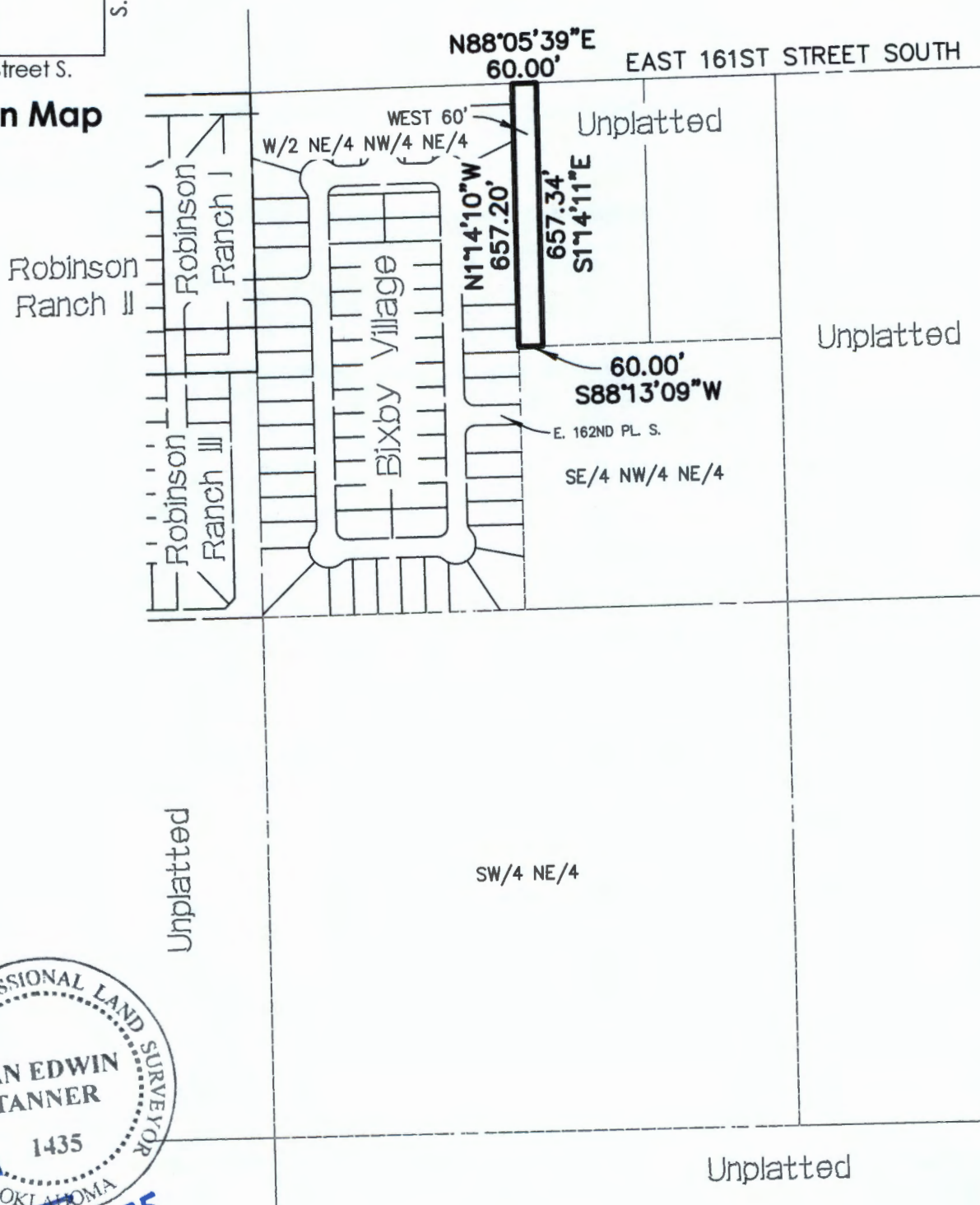


Exhibit "C.1"
Part of the NE/4
Section 25, T-17-N R-13-E
Remainder Tract Exhibit

Description

THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW/4 NE/4) AND SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (SE/4 NW/4 NE/4), ALL IN SECTION TWENTY-FIVE (25), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.

Basis of Bearing

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Certification

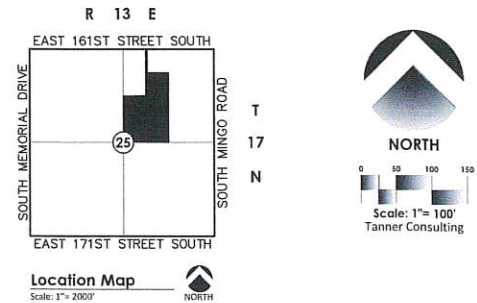
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DAN E. TANNER, P.L.S.
OKLAHOMA P.L.S. #1435
OKLAHOMA CA #2661
EXPIRATION DATE: 6/30/27

S. Mingo Road
N 17 T

 **Tanner Consulting LLC**
5323 SOUTH LEWIS AVENUE, TULSA OKLAHOMA 74105-6539 | 918.745.9929



Survey Notes

1. ABSTRACT OF TITLE OR ATTORNEY'S TITLE OPINION NOT AVAILABLE TO SURVEYOR AT DATE OF SURVEY.
2. THIS FIRM WAS NOT CONTRACTED TO RESEARCH EASEMENTS OR ENCUMBRANCES OF RECORD. NO ATTEMPT TO RESEARCH THE COUNTY RECORDS OR OTHER RECORD OFFICES WAS PERFORMED BY THIS FIRM, THEREFORE EASEMENTS MAY AFFECT THE SUBJECT TRACT THAT ARE NOT REFLECTED BY THIS SURVEY.
3. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN.
4. DATE OF LAST SITE VISIT: JULY 30TH, 2025.
5. THIS SURVEY MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
6. THIS FIRM WAS NOT CONTRACTED TO LOCATE IMPROVEMENTS ON THE SUBJECT PROPERTY, THEREFORE ALL IMPROVEMENTS MAY NOT BE SHOWN.
7. THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83).
8. SUBJECT PROPERTY CONTAINS 2,208,287 SQUARE FEET OR 50.695 ACRES.
9. ALL MONUMENTS SET ARE 3/8" IRON PINS WITH YELLOW CAP STAMPED "TANNER CA2661" UNLESS OTHERWISE NOTED.

Legal Description as Provided

THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; AND
THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER; AND
THE WEST 60 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER;
IN SECTION 25, TOWNSHIP 17 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, OKLAHOMA.

Boundary Survey Part of the NE/4, Section 25 Township 17N Range 13E

City of Bixby, Tulsa County, Oklahoma

Surveyor's Statement

I, DAN E. TANNER, A REGISTERED LAND SURVEYOR IN THE STATE OF OKLAHOMA, HEREBY STATE THAT THE ABOVE REPRESENTS A SURVEY PERFORMED ON THE GROUND UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

WITNESS MY HAND AND SEAL THIS 31ST DAY OF JULY, 2025.



BY: DAN E. TANNER, PLS
OKLAHOMA PLS NO. 1435

Legend

BL	BUILDING LINE	PP	POWER POLE
CONC	CONCRETE	R/W	RIGHT OF WAY
DIP	DOWN IN PIPE	SS	SANITARY SEWER
ESMT	EASEMENT	SSMH	SANITARY SEWER MANHOLE
RI	RIDGE	TRIN	TELEPHONE
FQ/FOPT	FIBER OPTIC	UC	UNDERGROUND CABLE
IP	IRON PIN FOUND	UG	UNDERGROUND GAS LINE
IPFC	IRON PIN FOUND WITH YELLOW CAP	UE	UNDERGROUND ELECTRIC
IPSYC	IRON PIN SET WITH YELLOW CAP	UT	UTILITY EASEMENT
MR	MARKER	WL	WATERLINE
RF	RAIL FOUND	WM	WATER METER
RS	RAIL SET	WV	WATER VALVE
OE	OVERHEAD ELECTRIC	XTMR	TRANSFORMER

ATTACHMENT "A"

LOT COMBO TRACT

LEGAL DESCRIPTION

A tract of land being a part of Lots Three (3) and Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019 in the Tulsa County Clerk's Office, being more particularly described as follows:

BEGINNING at the northwest corner of said Lot 4;

THENCE North 88°32'30" East, along the northerly line of said Lot 4, a distance of 200.20 feet;

THENCE South 01°27'30" East, and perpendicular to said northerly line, a distance of 43.51 feet;

THENCE North 88°57'32" East, a distance of 142.78 feet, to a point on the east line of said Lot 4;

THENCE South 01°27'13" East, along said east line, a distance of 197.80 feet;

THENCE Southwesterly along a curve to the right and along said east line having a radius of 25.00 feet (said curve subtended by a chord which bears South 43°32'37" West a distance of 35.35 feet) for an arc distance of 39.27 feet, to a point on the south line of said Lot 4;

THENCE South 88°32'27" West, along said south line, a distance of 110.01 feet, to a point being the southeast corner of said Lot 3;

The following Four (4) calls are along the south line of said Lot 3:

1. THENCE continuing South 88°32'27" West, a distance of 9.02 feet;
2. THENCE North 84°34'17" West, a distance of 141.87 feet;
3. THENCE North 01°01'09" West, a distance of 25.00 feet;
4. THENCE South 88°32'27" West, a distance of 50.00 feet, to a point on the west line of said Lot 3;

THENCE North 01°01'09" West, along said west line, a distance of 99.96 feet, to a point being the northwest corner of said Lot 3;

The following Three (3) calls are along the west line of said Lot 4:

1. THENCE continuing North 01°01'09" West, a distance of 21.25 feet;
2. THENCE South 88°32'30" West, a distance of 10.00 feet;
3. THENCE North 01°01'09" West, a distance of 104.13 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 80,615 square feet or 1.8507 acres, more or less.

The bearing of North 01°01'09" West as shown on the west line of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019, Tulsa County Clerk's Office, was used as the basis of bearing for this description.

Prepared by:

Justin Smith, PLS No. 1868
Smith Roberts Baldischwiler, LLC
100 N.E. 5th Street
Oklahoma City, OK 73104
(405) 840-7094
Date: 07/10/2025



Project Number
117,611

Scale
1"=80'



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Oklahoma 73104
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Suite 100
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CERTIFICATE OF AUTHORIZATION NO. 3949

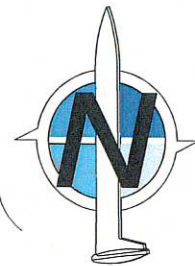
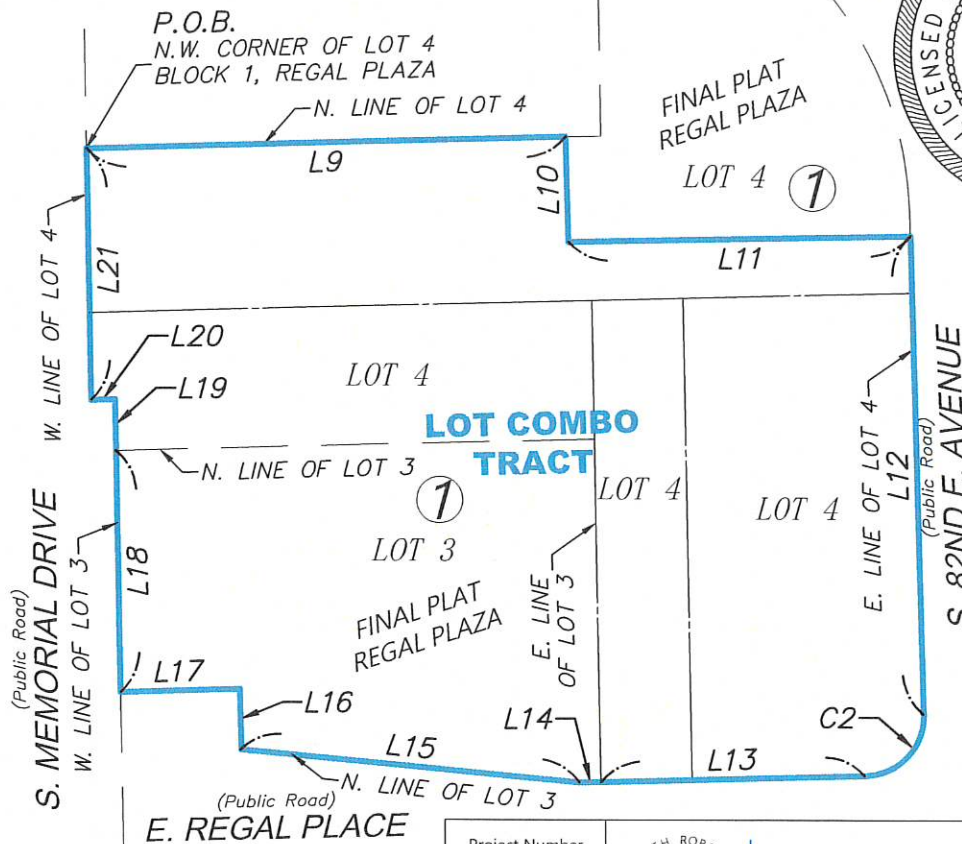
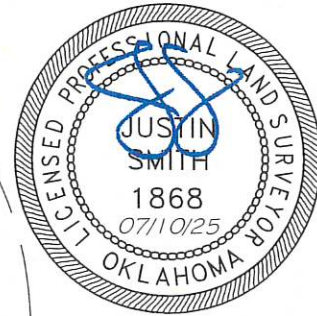
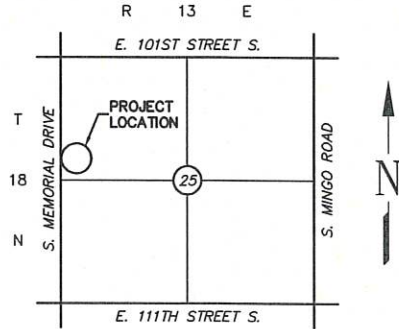
File: Z:\117611\TASK 6 - CHICK FLA BIXBY\117611 LOT SPLIT LOT COMBO.DWG

ATTACHMENT "B"

LOT COMBO TRACT

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L9	N 88°32'30" E	200.20'	L16	N 01°01'09" W	25.00'
L10	S 01°27'30" E	43.51'	L17	S 88°32'47" W	50.00'
L11	N 88°57'32" E	142.78'	L18	N 01°01'09" W	99.96'
L12	S 01°27'13" E	197.80'	L19	N 01°01'09" W	21.25'
L13	S 88°32'27" W	110.01'	L20	S 88°32'30" W	10.00'
L14	S 88°32'27" W	9.02'	L21	N 01°01'09" W	104.13'
L15	N 84°34'17" W	141.87'			

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C2	39.27'	25.00'	89°59'40"	N 43°32'37" E	35.35'



SEE ATTACHMENT "A"
FOR LEGAL DESCRIPTION

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CERTIFICATE OF AUTHORIZATION NO. 3949

File: Z:\117611\TASK 6 - CHICK FIL A BXB\117611 LOT SPLIT LOT COMBO.DWG

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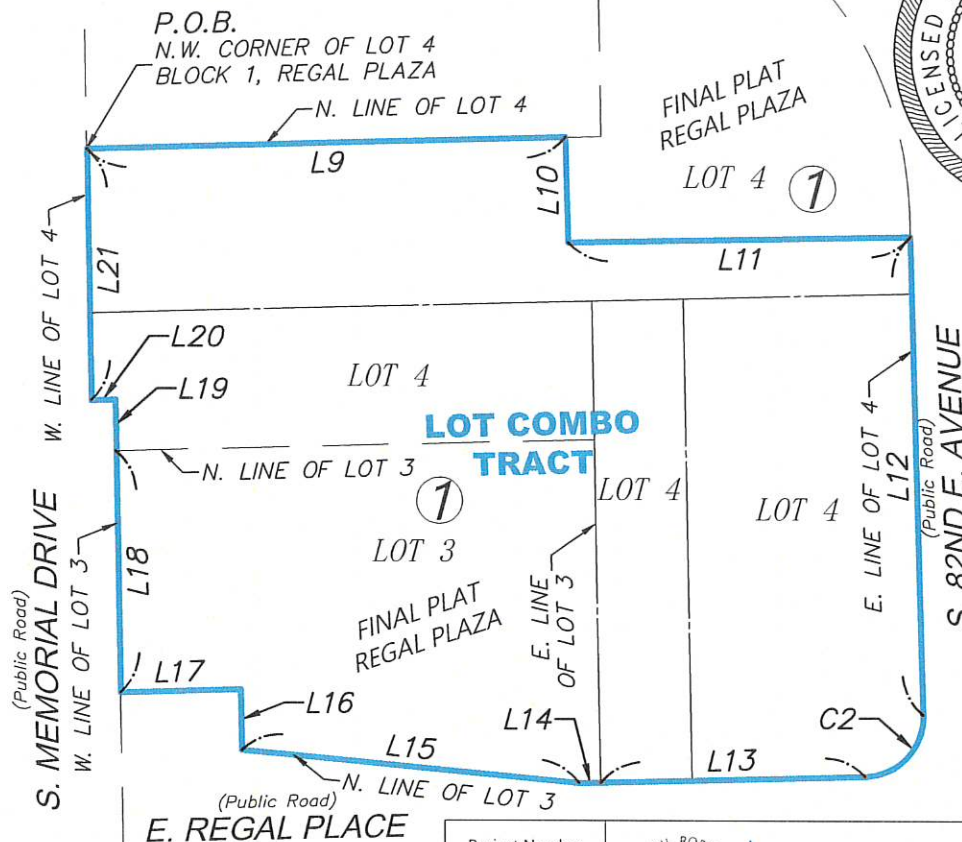
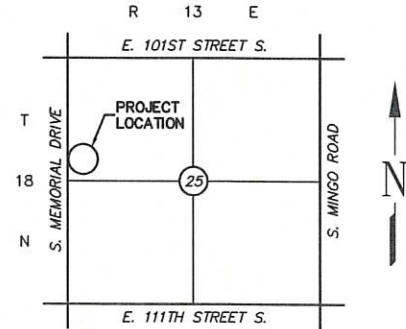
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LOT COMBO TRACT

LEGAL DESCRIPTION

A tract of land being a part of Lots Three (3) and Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019 in the Tulsa County Clerk's Office, being more particularly described as follows:

BEGINNING at the northwest corner of said Lot 4;

THENCE North 88°32'30" East, along the northerly line of said Lot 4, a distance of 200.20 feet;

THENCE South 01°27'30" East, and perpendicular to said northerly line, a distance of 43.51 feet;

THENCE North 88°57'32" East, a distance of 142.78 feet, to a point on the east line of said Lot 4;

THENCE South 01°27'13" East, along said east line, a distance of 197.80 feet;

THENCE Southwesterly along a curve to the right and along said east line having a radius of 25.00 feet (said curve subtended by a chord which bears South 43°32'37" West a distance of 35.35 feet) for an arc distance of 39.27 feet, to a point on the south line of said Lot 4;

THENCE South 88°32'27" West, along said south line, a distance of 110.01 feet, to a point being the southeast corner of said Lot 3;

The following Four (4) calls are along the south line of said Lot 3:

1. THENCE continuing South 88°32'27" West, a distance of 9.02 feet;
2. THENCE North 84°34'17" West, a distance of 141.87 feet;
3. THENCE North 01°01'09" West, a distance of 25.00 feet;
4. THENCE South 88°32'27" West, a distance of 50.00 feet, to a point on the west line of said Lot 3;

THENCE North 01°01'09" West, along said west line, a distance of 99.96 feet, to a point being the northwest corner of said Lot 3;

The following Three (3) calls are along the west line of said Lot 4:

1. THENCE continuing North 01°01'09" West, a distance of 21.25 feet;
2. THENCE South 88°32'30" West, a distance of 10.00 feet;
3. THENCE North 01°01'09" West, a distance of 104.13 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 80,615 square feet or 1.8507 acres, more or less.

The bearing of North 01°01'09" West as shown on the west line of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019, Tulsa County Clerk's Office, was used as the basis of bearing for this description.

Prepared by:

Justin Smith, PLS No. 1868
Smith Roberts Baldischwiler, LLC
100 N.E. 5th Street
Oklahoma City, OK 73104
(405) 840-7094
Date: 07/10/2025



Project Number
117,611

Scale
1"=80'



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CERTIFICATE OF AUTHORIZATION NO. 3949

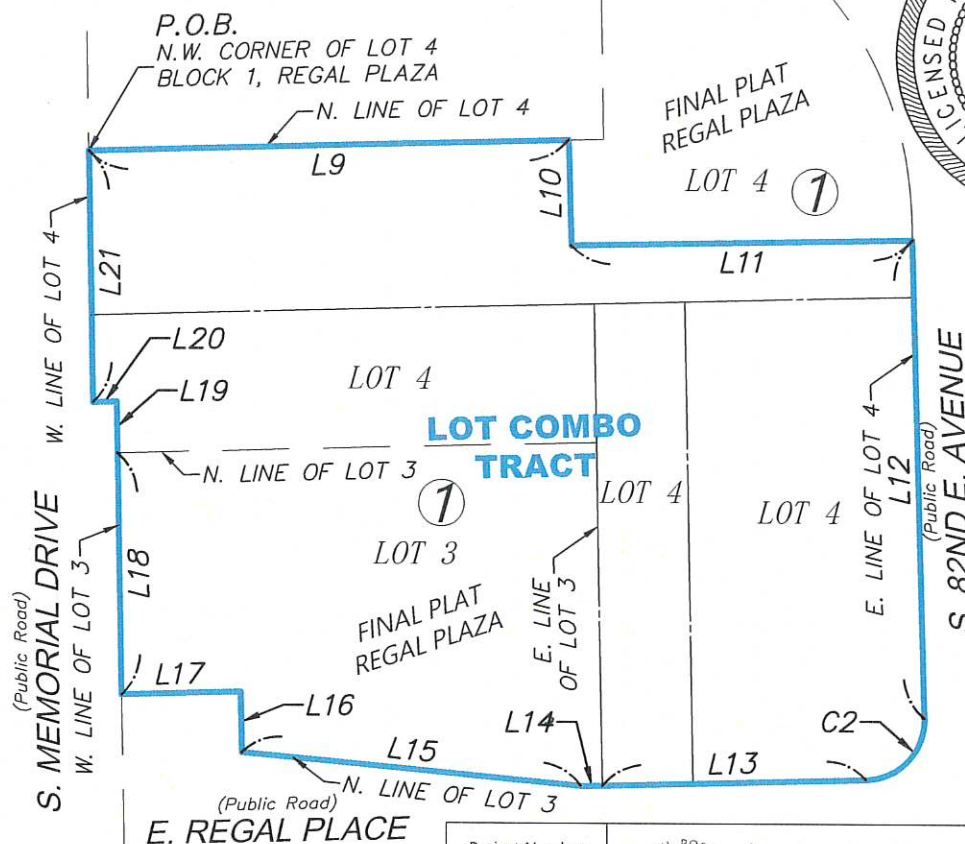
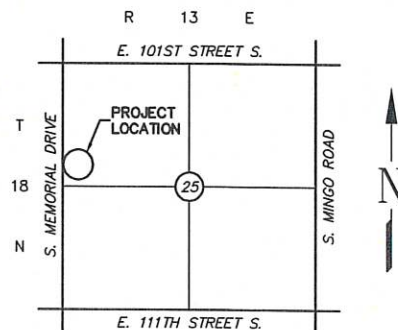
File: Z:\117611\TASK 6 - CHICK FIL A BIXBY\117611 LOT SPLIT LOT COMBO.DWG

ATTACHMENT "B"

LOT COMBO TRACT

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L9	N 88°32'30" E	200.20'	L16	N 01°01'09" W	25.00'
L10	S 01°27'30" E	43.51'	L17	S 88°32'47" W	50.00'
L11	N 88°57'32" E	142.78'	L18	N 01°01'09" W	99.96'
L12	S 01°27'13" E	197.80'	L19	N 01°01'09" W	21.25'
L13	S 88°32'27" W	110.01'	L20	S 88°32'30" W	10.00'
L14	S 88°32'27" W	9.02'	L21	N 01°01'09" W	104.13'
L15	N 84°34'17" W	141.87'			

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C2	39.27'	25.00'	89°59'40"	N 43°32'37" E	35.35'



SEE ATTACHMENT "A"
FOR LEGAL DESCRIPTION

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CERTIFICATE OF AUTHORIZATION NO. 3949

File: Z:\117611\TASK 6 - CHICK FIL A BXB\117611 LOT SPLIT LOT COMBO.DWG

ATTACHMENT "A"

LOT COMBO TRACT

LEGAL DESCRIPTION

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THENCE South 01°27'30" East, and perpendicular to said northerly line, a distance of 43.51 feet;

THENCE North 88°57'32" East, a distance of 142.78 feet, to a point on the east line of said Lot 4;

THENCE South 01°27'13" East, along said east line, a distance of 197.80 feet;

THENCE Southwesterly along a curve to the right and along said east line having a radius of 25.00 feet (said curve subtended by a chord which bears South 43°32'37" West a distance of 35.35 feet) for an arc distance of 39.27 feet, to a point on the south line of said Lot 4;

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The following Four (4) calls are along the south line of said Lot 3:

1. THENCE continuing South 88°32'27" West, a distance of 9.02 feet;
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3. THENCE North 01°01'09" West, a distance of 25.00 feet;
4. THENCE South 88°32'27" West, a distance of 50.00 feet, to a point on the west line of said Lot 3;

THENCE North 01°01'09" West, along said west line, a distance of 99.96 feet, to a point being the northwest corner of said Lot 3;

The following Three (3) calls are along the west line of said Lot 4:

1. THENCE continuing North 01°01'09" West, a distance of 21.25 feet;
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3. THENCE North 01°01'09" West, a distance of 104.13 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 80,615 square feet or 1.8507 acres, more or less.

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CERTIFICATE OF AUTHORIZATION NO. 3949

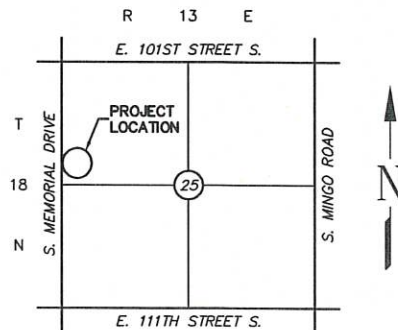
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ATTACHMENT "B"

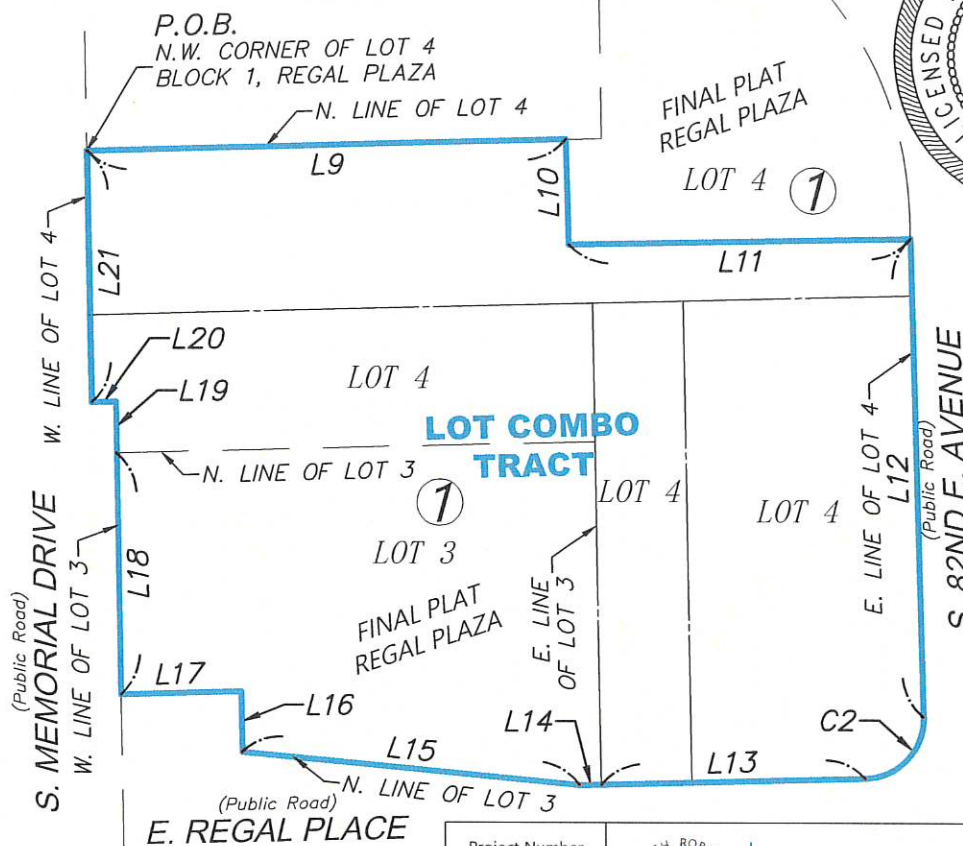
LOT COMBO TRACT

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L9	N 88°32'30" E	200.20'	L16	N 01°01'09" W	25.00'
L10	S 01°27'30" E	43.51'	L17	S 88°32'47" W	50.00'
L11	N 88°57'32" E	142.78'	L18	N 01°01'09" W	99.96'
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L13	S 88°32'27" W	110.01'	L20	S 88°32'30" W	10.00'
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L15	N 84°34'17" W	141.87'			

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C2	39.27'	25.00'	89°59'40"	N 43°32'37" E	35.35'



LOCATION MAP
NOT TO SCALE



SEE ATTACHMENT "A"
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CERTIFICATE OF AUTHORIZATION NO. 3949

File: Z:\117611\TASK 6 - CHICK FIL A BIXBY\117611 LOT SPLIT LOT COMBO.DWG

ATTACHMENT "A"

LOT SPLIT TRACT

LEGAL DESCRIPTION

A tract of land being a part of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019 in the Tulsa County Clerk's Office, being more particularly described as follows:

BEGINNING at the northwest corner of said Lot 4;

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THENCE North 88°57'32" East, a distance of 142.78 feet, to a point on the east line of said Lot 4;

THENCE South 01°27'13" East, along said east line, a distance of 197.80 feet;

THENCE Southwesterly along a curve to the right and along said east line having a radius of 25.00 feet (said curve subtended by a chord which bears South 43°32'37" West a distance of 35.35 feet) for an arc distance of 39.27 feet, to a point on the south line of said Lot 4;

THENCE, South 88°32'27" West, along said south line, a distance of 72.01 feet;

THENCE North 01°00'28" West, a distance of 199.30 feet;

THENCE South 88°32'30" West, a distance of 248.04 feet to a point on the west line of said Lot 4;

THENCE North 01°01'09" West, along said west line, a distance of 68.06 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 36,119 square feet or 0.8292 acres, more or less.

The bearing of North 01°01'09" West as shown on the west line of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019, Tulsa County Clerk's Office, was used as the basis of bearing for this description.

Prepared by:

Justin Smith, PLS No. 1868
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100 N.E. 5th Street
Oklahoma City, OK 73104
(405) 840-7094
Date: 07/01/2025



File: Z:\117611\TASK 6 - CHICK FIL A BIXBY\117611 LOT SPLIT LOT COMBO.DWG

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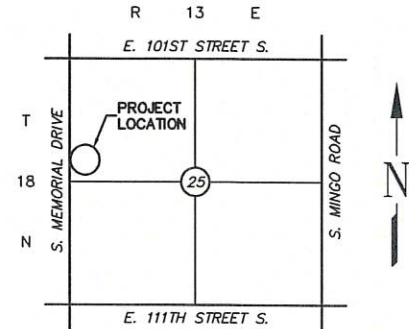
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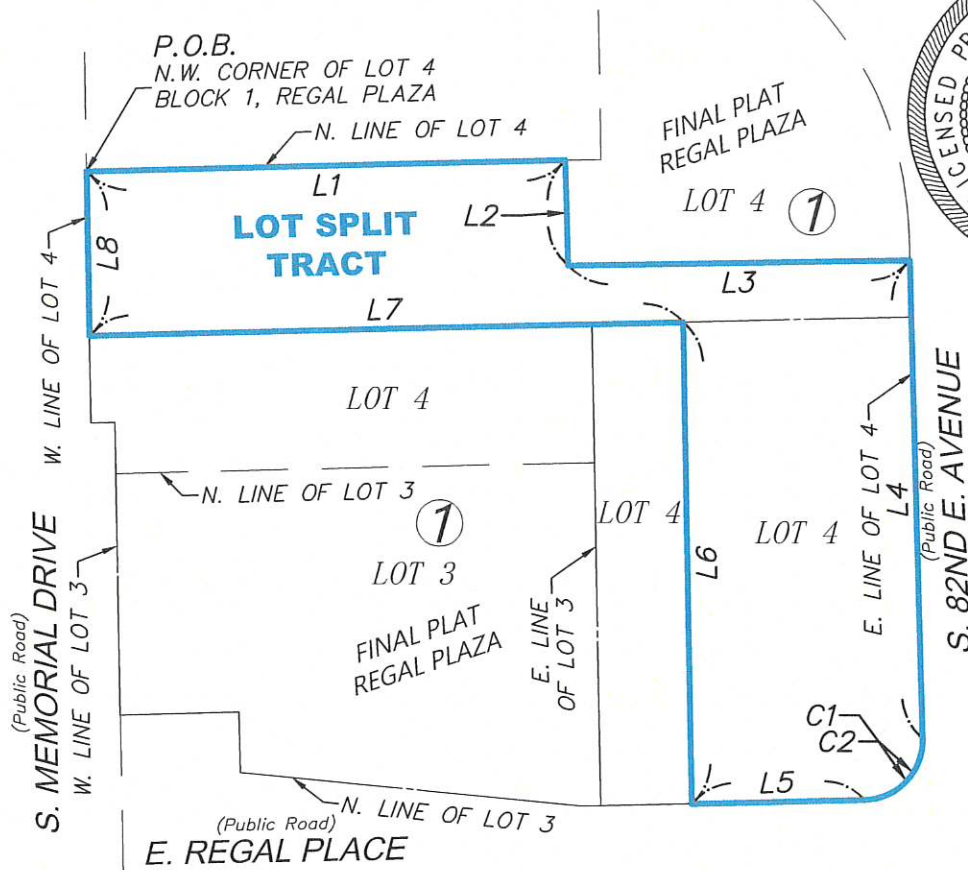
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LOT SPLIT TRACT

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L1	N 88°32'30" E	200.20'	L5	S 88°32'27" W	72.01'
L2	S 01°27'30" E	43.51'	L6	N 01°00'28" W	199.30'
L3	N 88°57'32" E	142.78'	L7	S 88°32'30" W	248.04'
L4	S 01°27'13" E	197.80'	L8	N 01°01'09" W	68.06'
Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.27'	25.00'	89°59'40"	S 43°32'37" W	35.35'



LOCATION MAP
NOT TO SCALE



SEE ATTACHMENT "A"
FOR LEGAL DESCRIPTION

Project Number
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Scale
 $1''=80'$



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CERTIFICATE OF AUTHORIZATION NO. 394

File: Z:\117611\TASK 6 - CHICK FIL A BIXBY\117611 LOT SPLIT LOT COMBO.DWG

ATTACHMENT "A"

LOT SPLIT TRACT

LEGAL DESCRIPTION

A tract of land being a part of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019 in the Tulsa County Clerk's Office, being more particularly described as follows:

BEGINNING at the northwest corner of said Lot 4;

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THENCE South 01°27'13" East, along said east line, a distance of 197.80 feet;

THENCE Southwesterly along a curve to the right and along said east line having a radius of 25.00 feet (said curve subtended by a chord which bears South 43°32'37" West a distance of 35.35 feet) for an arc distance of 39.27 feet, to a point on the south line of said Lot 4;

THENCE, South 88°32'27" West, along said south line, a distance of 72.01 feet;

THENCE North 01°00'28" West, a distance of 199.30 feet;

THENCE South 88°32'30" West, a distance of 248.04 feet to a point on the west line of said Lot 4;

THENCE North 01°01'09" West, along said west line, a distance of 68.06 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 36,119 square feet or 0.8292 acres, more or less.

The bearing of North 01°01'09" West as shown on the west line of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019, Tulsa County Clerk's Office, was used as the basis of bearing for this description.

Prepared by:

Justin Smith, PLS No. 1868
Smith Roberts Baldischwiler, LLC
100 N.E. 5th Street
Oklahoma City, OK 73104
(405) 840-7094
Date: 07/01/2025



File: Z:\17611\TASK 6 - CHICK FLA BIXBY\17611 LOT SPLIT LOT COMBO.DWG

Project Number
117,611

Scale
1"=80'



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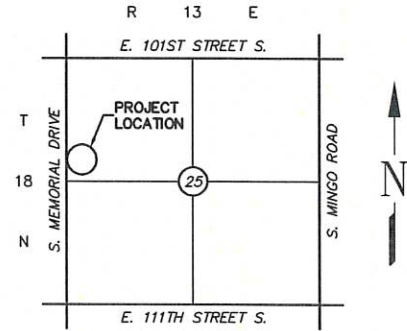
OKLAHOMA CITY
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CERTIFICATE OF AUTHORIZATION NO. 3949

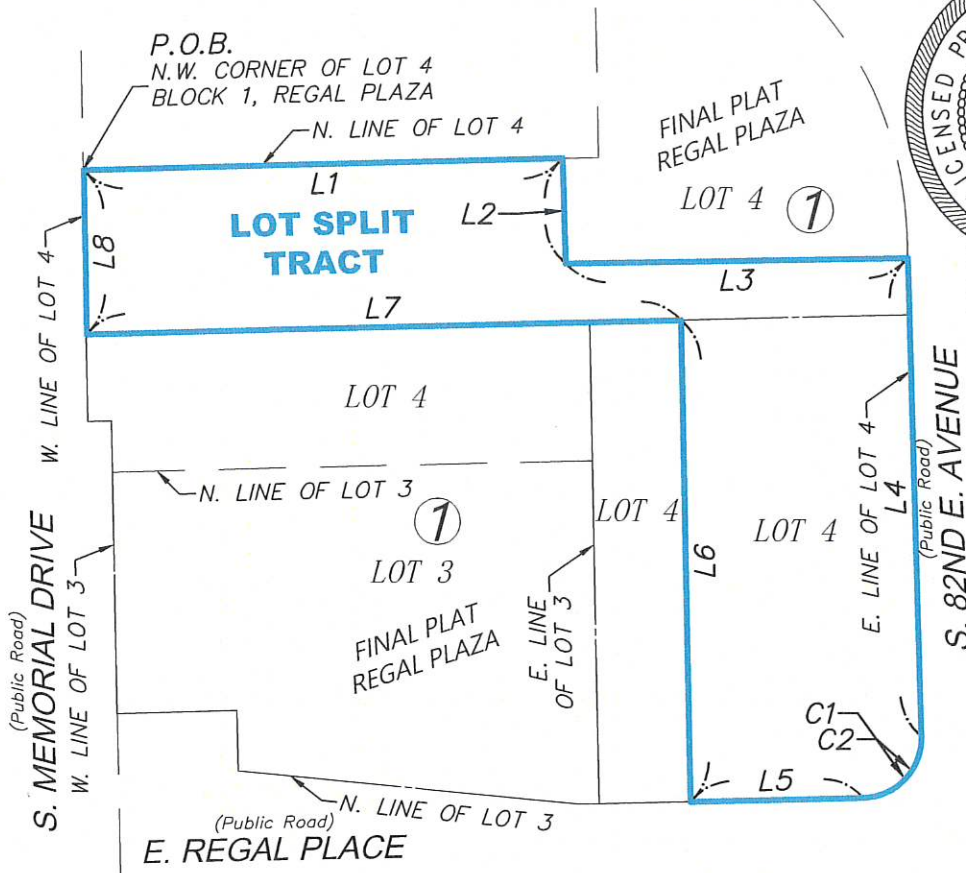
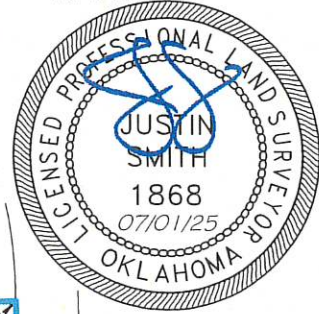
NORMAN
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srb@srbok.com

LOT SPLIT TRACT

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L1	N 88°32'30" E	200.20'	L5	S 88°32'27" W	72.01'
L2	S 01°27'30" E	43.51'	L6	N 01°00'28" W	199.30'
L3	N 88°57'32" E	142.78'	L7	S 88°32'30" W	248.04'
L4	S 01°27'13" E	197.80'	L8	N 01°01'09" W	68.06'
Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.27'	25.00'	89°59'40"	S 43°32'37" W	35.35'



LOCATION MAP
NOT TO SCALE



SEE ATTACHMENT "A"
FOR LEGAL DESCRIPTION

Project Number
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Scale
 $1"=80'$



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File: Z:\117611\TASK 6 - CHICK FIL A BIXBY\117611 LOT SPLIT LOT COMBO.DWG

ATTACHMENT "A"

LOT SPLIT TRACT

LEGAL DESCRIPTION

A tract of land being a part of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019 in the Tulsa County Clerk's Office, being more particularly described as follows:

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Said tract of land contains an area of 36,119 square feet or 0.8292 acres, more or less.

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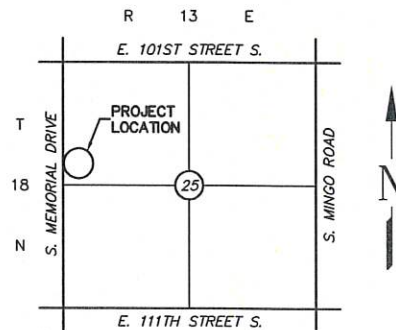
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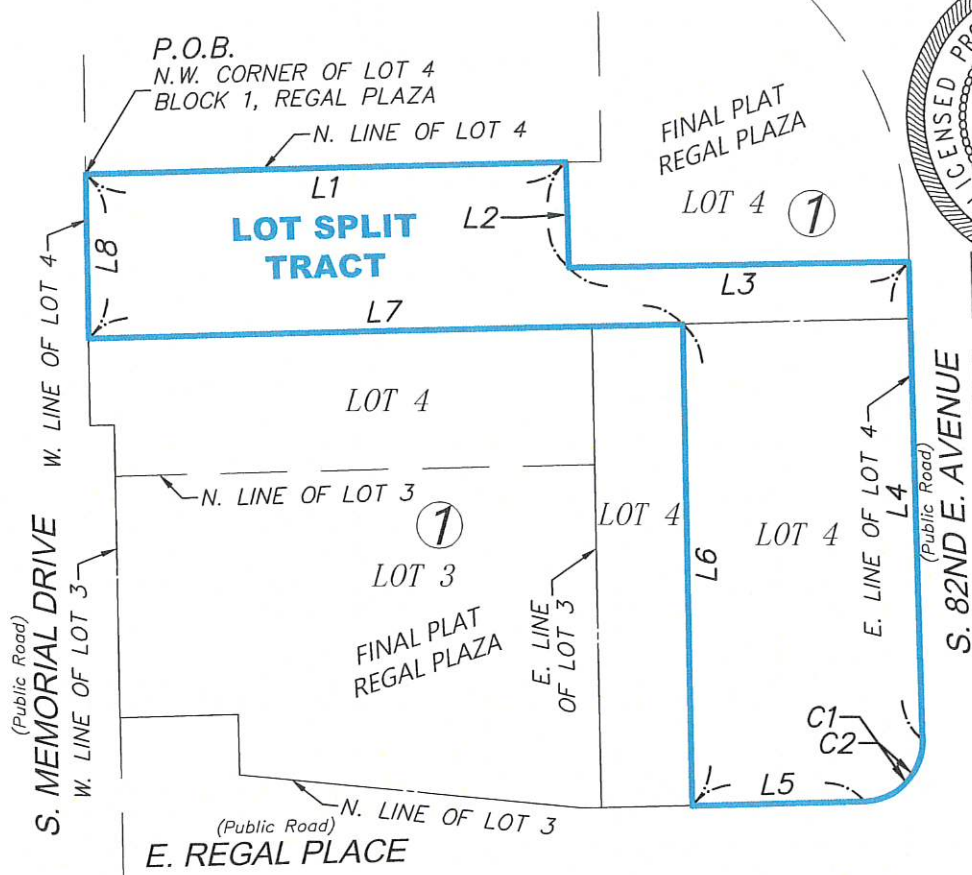
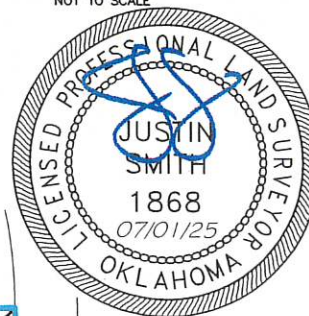
LOT SPLIT TRACT

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L1	N 88°32'30" E	200.20'	L5	S 88°32'27" W	72.01'
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Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.27'	25.00'	89°59'40"	S 43°32'37" W	35.35'



LOCATION MAP
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ATTACHMENT "A"

LOT SPLIT TRACT

LEGAL DESCRIPTION

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THENCE North 01°01'09" West, along said west line, a distance of 68.06 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 36,119 square feet or 0.8292 acres, more or less.

The bearing of North 01°01'09" West as shown on the west line of Lot Four (4), Block One (1), FINAL PLAT OF REGAL PLAZA to the City of Bixby, Tulsa County, Oklahoma, recorded as Plat No. 6019, Tulsa County Clerk's Office, was used as the basis of bearing for this description.

Prepared by:

Justin Smith, PLS No. 1868
Smith Roberts Baldischwiler, LLC
100 N.E. 5th Street
Oklahoma City, OK 73104
(405) 840-7094
Date: 07/01/2025



Project Number
117,611

Scale
1"=80'



ENGINEERING
SURVEYING
PLANNING

OKLAHOMA CITY
100 N.E. 5th Street
Oklahoma City,
Oklahoma 73104
T: 405.840.7094
F: 405.840.9116
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CERTIFICATE OF AUTHORIZATION NO. 3949

NORMAN
2500 McGee Drive,
Suite 100
Norman, OK 73072
T: 405.418.2288
F: 405.418.2289
srb@srbok.com

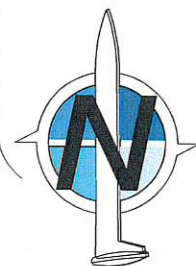
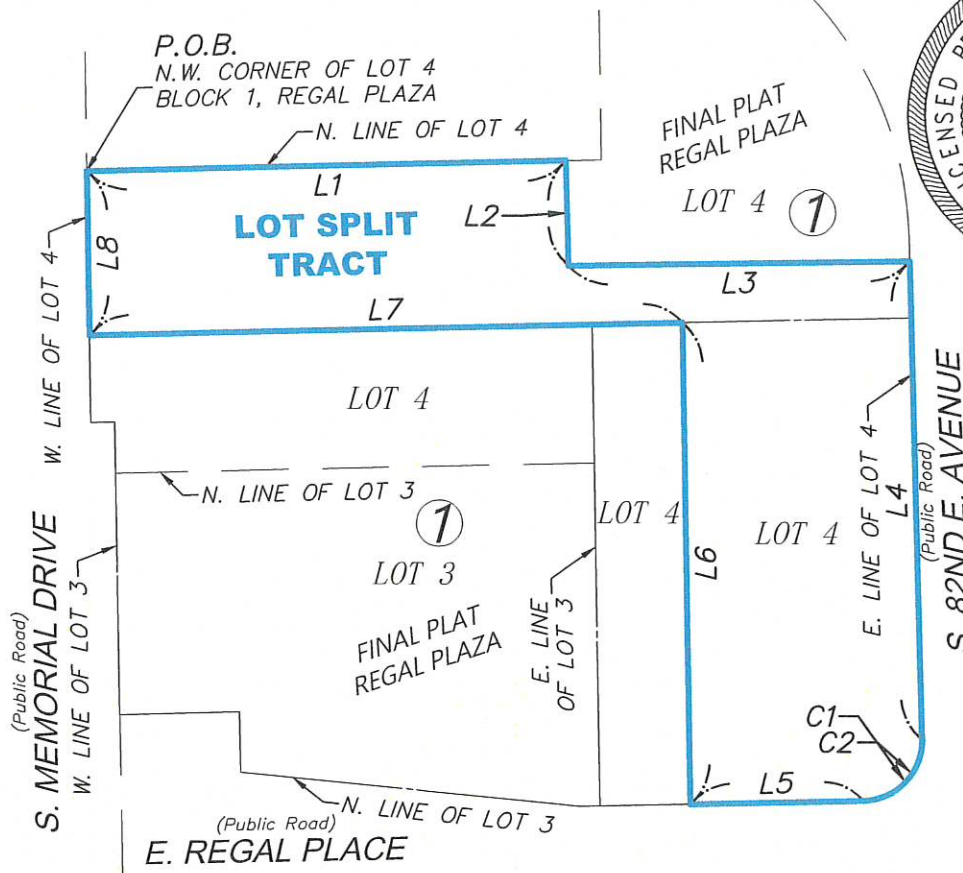
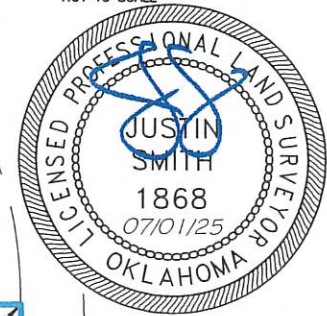
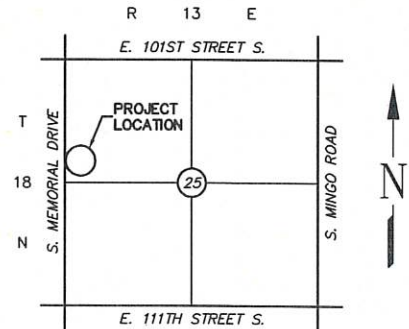
File: Z:\117611\TASK 6 - CHICK FLA BIXBY\117611 LOT SPLIT LOT COMBO.DWG

ATTACHMENT "B"

LOT SPLIT TRACT

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L1	N 88°32'30" E	200.20'	L5	S 88°32'27" W	72.01'
L2	S 01°27'30" E	43.51'	L6	N 01°00'28" W	199.30'
L3	N 88°57'32" E	142.78'	L7	S 88°32'30" W	248.04'
L4	S 01°27'13" E	197.80'	L8	N 01°01'09" W	68.06'

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.27'	25.00'	89°59'40"	S 43°32'37" W	35.35'



SEE ATTACHMENT "A"
FOR LEGAL DESCRIPTION

Project Number
117,611

Scale
1"=80'



ENGINEERING
SURVEYING
PLANNING

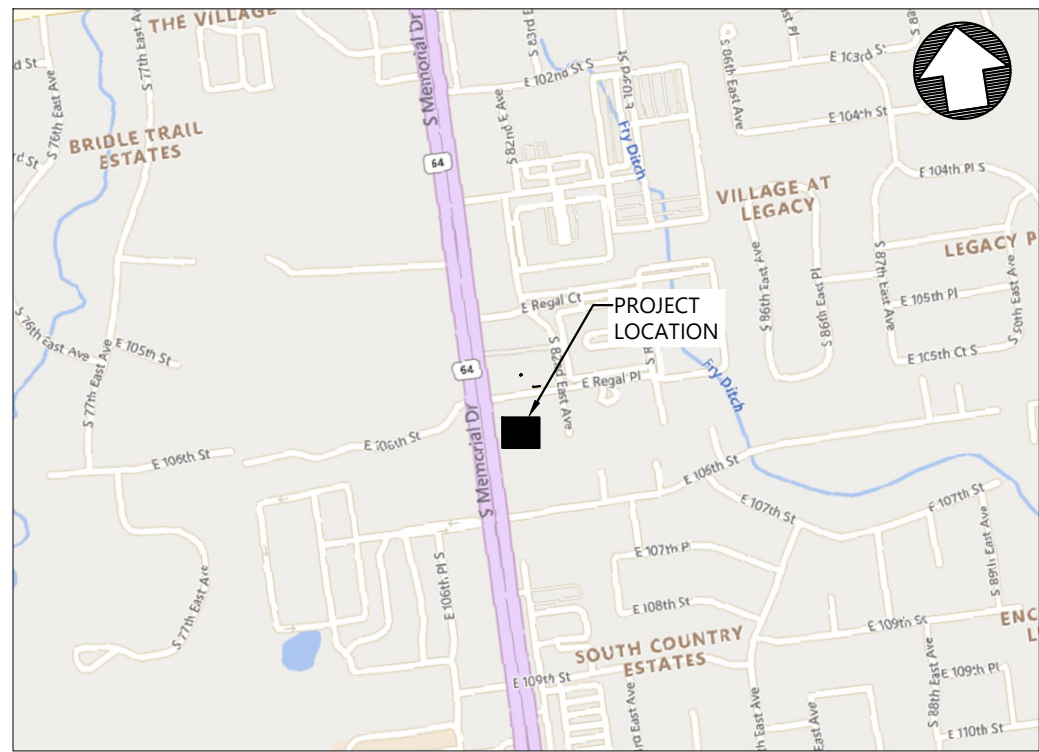
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CERTIFICATE OF AUTHORIZATION NO. 3949

File: Z:\117611\TASK 6 - CHECK FILE A B\B\117611 LOT SPLIT LOT COMBO.DWG

FILE NAME: K:\24004241_111\04_PRODUCTION\C-2.0 SITE PLAN.dwg LAST SAVED: 7/17/2025 04:40 AM PLOTTED BY: Regan, Carlos 7/17/2025 04:40 W/CA3949 TAG 0 (24.00 x 34.50) WORKED DSC: DWG TO PDF A33 RUT STYLE: DWG2015



VICINITY MAP
SCALE 1" = 1000'

MEMORIAL DRIVE
S. MEMORIAL DRIVE

E. REGAL PLACE
CONCRETE PAVING

MUTUAL ACCESS EASEMENT
VARIABLE WIDTHS
(PER PLAT)
DOCUMENT NO. 2010084030
DECLARATION OF EASEMENTS
& RESTRICTIONS EXHIBIT "C"
DOCUMENT NO. 2008105542

CHICK-FIL-A INC.
CHICK-FIL-A REGAL PLAZA
LOT 3 BLOCK 1
FOOTPRINT=4,334 SQ. FT.
HEIGHT=25.4'

CHICK-FIL-A
STUCCO AND ROCK BUILDING
HEIGHT=25.4'

CHICK-FIL-A
STUCCO AND ROCK BUILDING
HEIGHT=25.4'

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CHICK-FIL-A
STUCCO AND ROCK BUILDING
HEIGHT=25.4'

SITE NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, ETC.
3. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO ATWELL, LLC: TRAVERSE LAND SURVEYING, LLC.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
5. ALL STRIPED OR CURBED RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
6. ALL ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
7. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF TEXAS DEPARTMENT OF TRANSPORTATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
9. SITE LIGHTING SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S SCOPE OF WORK. ALL PARKING LOT LIGHTING POLES, BASES AND FIXTURES WITH LAMPS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR AND SHALL SUPPLY A ONE YEAR WARRANTY CERTIFICATE.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
11. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
12. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
13. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
14. PROJECT SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
15. ALL CURB AND GUTTER WITHIN THE DEVELOPMENT SHALL BE 6". IT SHALL BE 6" WITHIN THE R.O.W. UNLESS NOTED OTHERWISE.
16. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (MIN).
17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
18. THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCE TO WITHIN 1' OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPSTER PADS AS WELL AS ALL UTILITY CONDUITS.

APPROX. LOCATION OF DESIGNATED ROUTE OF INGRESS/EGRESS SHORT FORM LEASE DOCUMENT NO. 2015113509

DECLARATION OF EASEMENTS & RESTRICTIONS EXHIBIT "C" DOCUMENT NO. 2008105542

APPROX. LOCATION OF DESIGNATED ROUTE OF INGRESS/EGRESS SHORT FORM LEASE DOCUMENT NO. 2015113509

5' UTILITY EASEMENT (PER PLAT) DECLARATION OF EASEMENTS & RESTRICTIONS EXHIBIT "E" DOCUMENT NO. 2008105542

DECLARATION OF EASEMENTS & RESTRICTIONS EXHIBIT "C" DOCUMENT NO. 2008105542

SITE DISTURBANCE TABLE

SITE AREA	0.85 ACRE (36,923 S.F.)
SITE AREA ACQUISITION	1.00 ACRE (43,639 S.F.)
TOTAL SITE AREA	1.85 ACRE (80,756 S.F.)
DISTURBED AREA	0.87 ACRE (37,884 S.F.)

SITE LEGEND

- EXISTING MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING TREE
- PROPOSED CONCRETE SIDEWALK
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- 6" CURB AND GUTTER
- FIRE LANE STRIPING

SITE DATA

ZONING: COMMERCIAL SHOPPING CENTER (GS)
EXISTING SITE AREA: 0.85 ACRE (36,923 S.F.)
ACQUIRED SITE AREA: 1.00 ACRE (43,639 S.F.)
TOTAL SITE AREA: 1.85 ACRE (80,756 S.F.)
PROPOSED USE: RESTAURANT
EX. BUILDING AREA: 4,334 S.F.
BUILDING EXPANSION: 0 S.F.
TOTAL BUILDING AREA: 4,334 S.F.
TOTAL SEATING: 75 SPACES (3 ADA SPACES, 1 VAN ACCESSIBLE)
PARKING PROVIDED: 1 PER 150 SQ.FT.
TOTAL PAVEMENT AREA PROVIDED: 4,334 SQ.FT. = 29 SPACES
BUILDING HEIGHT: 20' (1-STORY)
16.5% COVERAGE OF SITE
20' (1-STORY)

SITE BENCHMARK

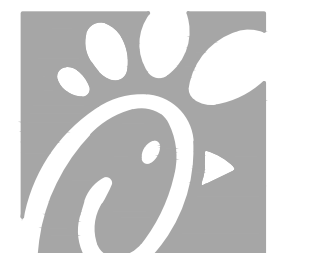
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E: 2593990.88
BM #2
ELEV. = 699.24
N: 375023.786
E: 2593590.129
BM #3
ELEV. 698.24
N: 374757.788
E: 2593622.597

- EX. PULL BOX
- EX. STORM DRAIN MANHOLE
- PROP. CURB-GRADE INLET COMBINATION

SITE NOTES AND DETAILS:

NOTE NUMBER

1. PAINTED TRAFFIC ARROW
2. DRIVE-THROUGH STRIPING
3. PAINTED ACCESSIBLE PARKING SYMBOL
4. PARKING STALLS/ 4' PAINTED STRIPE
5. INTEGRAL CONCRETE CURB
6. CURBED RAMP "A" FLARED SIDES
"B" SHORT FLARED SIDES
"C" RETURNED
7. TYPICAL SIDEWALK DETAIL "A" - PICTURE FRAME PATTERN
"B" - BROOM FINISH
8. SIDEWALK ADJACENT TO CURB
9. STRIPING
10. CONCRETE PAVEMENT
11. PROP. MENU BOARD / CANOPY ORDERING STATION
12. CANOPY COLUMN (TO REMAIN)
13. CROSSWALK MARKINGS
14. OUTSIDE MEAL DELIVERY CANOPY (TO REMAIN)
15. OUTSIDE ORDER POINT CANOPY (TO REMAIN)
16. EX. PYLON SIGN
17. PROP. CHICK-FIL-A EXIT/ENTER SIGN (REFER TO SIGNAGE PLANS)
18. MATCH LOCATION & ELEVATION OF EX. CONCRETE CURB
19. LANDSCAPE/IRRIGATION PROTECTION
20. ADJUST EX. LANDSCAPING & IRRIGATION
21. PIPE BOLLARD
22. EX. FIRE LANE STRIPING
23. EX. STRIPING
24. MATCH EX. CONCRETE PAVEMENT
25. PROP. DELINEATOR STAGING AREA
26. PROP. DELINEATOR "A" - MAGNETIC BASE
"B" - RUBBER BASE
27. DRIVE THRU ORDER POINT ISLAND
28. RELOCATED FLAG POLE LOCATION (REFER TO SIGNAGE PACKAGE)
29. PROP. CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)
30. EX. LIGHT POLE
31. EX. GRATE INLET
32. EX. CURB INLET (NOT USED)
33. SOLID PLASTIC WHEEL STOP (TYP.)
34. PROP. CURB INLET (NOT USED)
35. LIGHT POLE RELOCATION
36. PROP. STOP BAR GRAPHICS
37. SCREENED REFUSE ENCLOSURE (TO REMAIN)
38. EX. GAS METER
39. EX. POWER POLE
40. PROP. REFUSE ENCLOSURE DRAIN (NOT USED)
41. MATCH EX. SIDEWALK
42. EX. BARRIER FREE RAMP (NOT USED)
43. PROP. GRATE INLET
44. PROP. IRRIGATION RELOCATION
45. PROP. WATER METER RELOCATION (NOT USED)
46. EX. CONCRETE PAVEMENT
47. PROP. RIP-RAP (NOT USED)
48. PROP. STOP SIGN
49. PROP. TEAM MEMBER CROSSING FLEX SIGN
50. PROP. SECURITY CAMERA
51. EX. TREES TO BE PROTECTED (REFER LANDSCAPE ARCHITECTURE PLANS)
52. EX. CHICK-FIL-A EXIT/ENTER SIGN (REFER TO SIGNAGE PLANS)
53. EX. TRAFFIC ARROW (NOT USED)
54. EX. STOP BAR (NOT USED)
55. PROP. DO NOT ENTER SIGN
56. ELECTRIC POLE SUPPORT
57. PATIO FURNITURE (REFER TO ARCH)
58. EX. ASPHALT PAVEMENT (NOT USED)
59. PROP. FENCE (REFER TO ARCH)
60. PROP. FIBER OPTIC PEDESTAL (NOT USED)
61. EX. TREE
62. F.D.C. LOCATION (NOT USED)
63. EX. TRANSFORMER PAD
64. EX. WATER METER
65. EX. ROOF DRAIN (NOT USED)
66. PROP. MONUMENT SIGN LOCATION (NOT USED)
67. EX. WATER VALVE (NOT USED)
68. EX. PARKING SIGN
69. EX. BOLLARD
70. PROP. 5' SIDEWALK
71. EX. BUILDING (NOT USED)
72. EX. TELEPHONE PEDESTAL
73. PROP. PARKING SIGN (REFER TO SIGNAGE PLANS)
74. EX. SANITARY SEWER MANHOLE
75. EX. DRAINAGE DITCH STORM CULVERTS
76. EX. FIRE HYDRANT
77. EX. WATER VAULT (NOT USED)
78. EX. IRRIGATION METER
79. EX. GREASE TRAP
80. EX. SAMPLE WELL
81. EX. ORDER POINT MENU
82. EX. OVERHEAD ELECTRIC LINE
83. PROP. FIRE LANE STRIPING
84. EX. STOP SIGN
85. EX. CLEANOUT
86. EX. ELECTRIC BOX



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

ATWELL
866.850.4200 www.atwell-group.com
9001 AIRPORT FREEWAY, SUITE 660
NORTH RICHLAND HILLS, TX 76180
FIRM NO. 12242

ON THE CORNER OF MEMORIAL DRIVE & E REGAL PL.
104-37 S MEMORIAL DRIVE
CITY OF BIXBY
TULSA COUNTY, OKLAHOMA

CHICK-FIL-A
STORE #02292 CONSTRUCTION PLANS
SITE PLAN

DATE 08/05/2025

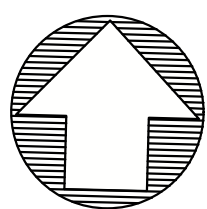
REVISIONS 08/05/2025



DRAWN BY: BG
CHECKED BY: CC
PROJECT MANAGER: CC
JOB #: 24004241
FILE CODE: N/A
SHEET NO.

C-2.0

NOT ISSUED FOR CONSTRUCTION



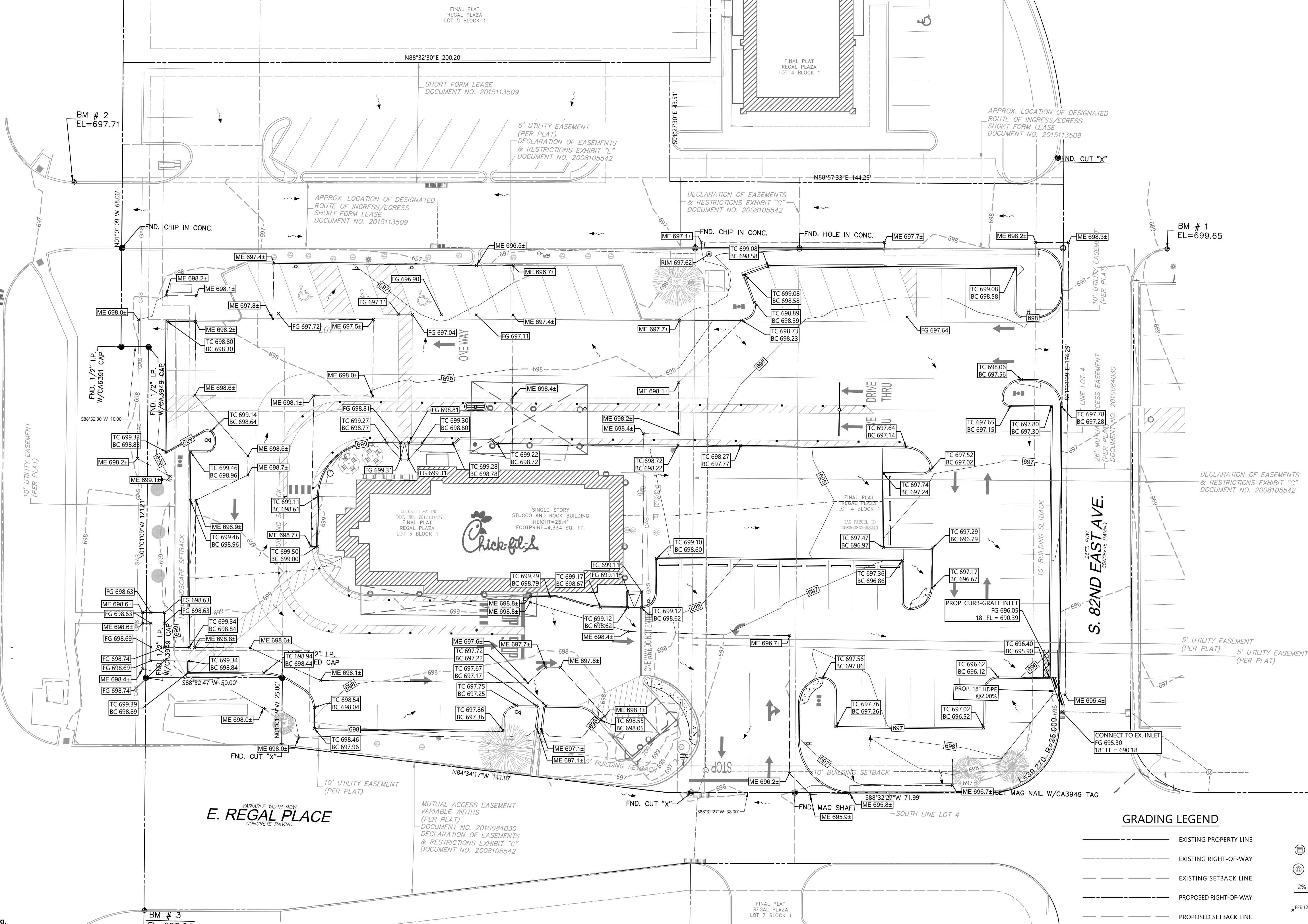
S. MEMORIAL DRIVE



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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GRADING LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED SETBACK LINE
- 100 YEAR FLOOD PLAIN
- EXISTING MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED BREAK LINE
- EXISTING STORM LINE
- PROPOSED STORM LINE
- GRATE INLET
- STORM MANHOLE
- SLOPE ARROW
- PROPOSED FINISHED FLOOR ELEV
- PROPOSED SIDEWALK ELEV
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED BOTTOM OF CURB ELEV
- PROPOSED FINISHED GRADE ELEV
- PROPOSED TOP OF PAVEMENT ELEV
- PROPOSED COLUMN ELEV
- PROPOSED FINISHED GRADE ELEV
- PROPOSED TOP OF INLET ELEV
- PROPOSED MANHOLE RIM ELEV
- MATCH EXISTING ELEV

SITE BENCHMARK

1.	BM#1	ELEV. = 699.65
	N:	375009.454
	E:	2593990.88
	BM #2	
2.	ELEV:	
	N:	375023.786
	E:	2593590.129
	BM #3	
3.	ELEV:	698.24
	N:	374757.788
	E:	2593622.597

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A F.E.M.A./F.I.R.M SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 0369 DATED 10/16/2012.

GRADING NOTES

- INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
- IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL MAKE A TOPOGRAPHIC SURVEY AT THEIR OWN EXPENSE AND SUBMIT IT TO THE OWNER FOR REVIEW.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
- RCP STORM PIPE SHALL BE ##. THE CONTRACTOR MAY ELECT TO SUBSTITUTE UNLESS OTHERWISE NOTED. ALL PIPE CONNECTIONS AT MANHOLES SHALL BE WATER TIGHT. CONTRACTOR TO VERIFY ADEQUACY OF PIPE CLASS/GAUGE AND MANHOLE THICKNESS FOR DEPTHS WITH MATERIAL SUPPLIERS. IF BURY DEPTH IS GREATER THAN ## CONTACT ATWELL ENGINEERING FOR MODIFIED SPECIFICATION.
- THE CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM THE BUILDINGS.
- PRECAST STRUCTURES MAY BE USED AT THE CONTRACTOR'S OPTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNS, UTILITY POLES, GUY WIRES, ETC.
- IN ALL AREAS WHERE NEW CURB AND GUTTER ARE INSTALLED, REMOVE ALL OLD CURB AND GUTTER AND SAW CUT A STRAIGHT EDGE ALONG ASPHALT.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL SLOPES AND DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED SMOOTH AND RECEIVE 6 INCHES OF TOPSOIL. CONTRACTOR TO PROVIDE TOPSOIL IF NOT AVAILABLE ON SITE. THE AREAS SHALL BE SEED, MULCHED, FERTILIZED AND WATERED TO PROVIDE A HEARTY MOWABLE STAND OF GRASS. SMALL ROCKS MUST BE REMOVED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- SPOIL FROM FOOTINGS IS THE SITE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR IS TO USE THE SOIL ON SITE OR REMOVE IT FROM THE SITE.
- EARTHWORK SHALL BE ON AN UNCLASSIFIED BASIS.
- ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN EIGHT INCHES IN THICKNESS, AT MOISTURE CONTENTS WITHIN THREE PERCENT OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD, ASTM D-698.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.
- ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT FACE OF CURB, UNLESS OTHERWISE NOTED.
 - TC=TOP OF CURB ELEVATION
 - MATCH=PROPOSED GRADE TO MATCH EXISTING GRADE
 - TW=TOP OF RETAINING WALL ELEVATION
 - BW=BOTTOM OF RETAINING WALL ELEVATION
- ALL SYSTEM MANHOLES AND PIPES TO BE FLUSHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
- ALL PIPE LENGTHS LISTED ARE BASED ON THE HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE AND USED FOR DESIGN.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE STORM SEWER AND SANITARY SEWER CHARTS WITH THE PROFILES FOR THE STORM SEWER AND SANITARY SEWER LINES AND INFORMING THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
- THE FLOW IN ALL SEWERS, DRAINS, AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED.
- ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
- ALL INTERIOR ISLANDS SHALL BE MOUNDING. MINIMUM GRADE FOR POSITIVE DRAINAGE SHALL BE 33%.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING LIDS. MANHOLES IN UNPAVED AREAS SHALL BE FLUSH WITH FINISH GRADE. LIDS SHALL BE LABELED PER TOWNSHIP REQUIREMENTS.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 1:3 OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH TOWNSHIP/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL STUMPS, ROOTS, AND ORGANIC MATTER SHALL BE REMOVED TO A DEPTH OF TWO FEET MINIMUM BELOW THE BOTTOM OF THE BASE MATERIAL. ALL ROCKS LARGER THAN SIX INCHES SHALL BE REMOVED AND ALL ROCK LARGER THAN ## INCHES, WHICH CANNOT BE READILY BROKEN BY MIXING OPERATIONS, SHALL BE REMOVED TO A DEPTH OF TWO FEET.
- CONTRACTOR SHALL ADJUST ALL EXISTING STRUCTURES RIMS, COVERS, AND VALVE BOXES TO MATCH PROPOSED FINISHED GRADES AS APPROVED BY THE ENGINEER. NOTIFY ENGINEER ON RECORD OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE PLANS.



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ON THE CORNER OF MEMORIAL DRIVE & E REGAL PL.
104-37 S MEMORIAL DRIVE
CITY OF BIXBY
TULSA COUNTY, OKLAHOMA

CHICK-FIL-A
STORE #02292 CONSTRUCTION PLANS
GRADING PLAN

DATE 08/05/2025

REVISIONS 08/05/2025



Carlos Casas
DRAWN BY: BG
CHECKED BY: CC
PROJECT MANAGER: CC
JOB #: 24004241
FILE CODE: N/A
SHEET NO. C-3.0

NOT ISSUED FOR CONSTRUCTION

UTILITY SERVICE NOTES

- EX. GAS METER
- EX. GAS LINE
- PROP. GAS METER (NOT USED)
- EX. ELECTRIC BOX
- PROP. GAS LINE (NOT USED)
- EX. TRANSFORMER
- PROP. UNDERGROUND ELECTRIC LINE
- PROP. UNDERGROUND ELECTRIC LINE CONNECTION POINT (REFER TO MEP PLANS)
- PROP. LIGHT POLE
- EX. UNDERGROUND ELECTRIC LINE
- EX. OVERHEAD ELECTRIC LINE
- EX. POWER POLE
- EX. LIGHT POLE
- EX. UNDERGROUND TELEPHONE LINE
- PROP. UNDERGROUND TELEPHONE LINE (NOT USED)

UTILITY LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- 18" CURB AND GUTTER
- OHE ELECTRIC OVERHEAD LINE
- UGE ELECTRIC UNDERGROUND LINE
- SS SEWER LINE
- W WATER LINE
- GAS SERVICE METER
- WATER/IRRIGATION METER
- UTILITY POLE
- ELECTRIC BOX
- WATER VALVE
- PROPOSED WATER TEE
- PROPOSED FIRE HYDRANT
- GRATE INLET/CURB INLET

UTILITY NOTES

- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND INSTALLATION OF UTILITIES. SEE BOUNDARY & TOPOGRAPHIC SURVEY FOR EXISTING UTILITY AND EASEMENT INFORMATION. NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY UTILITY CONFLICTS, ADDITIONAL UTILITIES AND/OR ANY OTHER UTILITY INFORMATION.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR TO TELEVIEW EXISTING SANITARY SEWER LINE FROM POINT OF CONNECTION THROUGH THE NEXT SEQUENTIAL DOWNSTREAM RUN OF PIPE. ADDITIONALLY, PRIOR TO COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL TELEVIEW THE NEWLY INSTALLED SANITARY SEWER MAIN TO ENSURE NO DIPS OR DEBRIS WITHIN LINE.
- THE CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ANY UTILITIES NOT SHOWN THAT REQUIRE RELOCATION OR REMOVAL IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS TO REPORT ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.
- THE CONTRACTOR MUST CALL 811 AT LEAST 3 WORKING DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH REQUISITE UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL WATER AND SANITARY SEWER MAIN CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OR OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- THE BUILDING CONTRACTOR IS RESPONSIBLE FOR LOCATION, SIZE AND SPECIFICATIONS OF ALL ELECTRICAL TRANSFORMER PADS FROM THE LOCAL POWER COMPANY AND PROVIDING SERVICE FROM THE TRANSFORMER TO THE BUILDING.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN SANITARY, WATER, STORM, AND ALL FRANCHISE UTILITY LINES. MEASUREMENTS SHALL BE TAKEN FROM THE NEAREST EDGE OF THE UTILITY IN QUESTION.
- MAINTAIN A MINIMUM 18" VERTICAL SEPARATION BETWEEN FRANCHISE UTILITY LINES.
- ALL UTILITIES SHALL MAINTAIN TEN (10') OF HORIZONTAL SEPARATION (PARALLEL CENTER TO CENTER) OR WHEN CROSSING, 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF ### COVER ON ALL FRANCHISE UTILITY LINES.
- SANITARY SEWER PIPE SHALL BE ### FOR PIPES LESS THAN 12" DEEP. PVC PIPE SHALL BE ### FOR SANITARY SEWER PIPE SHALL HAVE A MINIMUM DEPTH OF ## FEET. PERCENTAGE OF GRADES LISTED FOR SANITARY SEWER LINES WERE CALCULATED FROM THE CENTERLINE OF ONE MANHOLE TO THE CENTERLINE OF THE NEXT MANHOLE.
- SEWER SERVICE LATERALS SHALL BE COORDINATED WITH BUILDING PLANS, ANY DISCREPANCIES SHOULD BE CLARIFIED BEFORE INSTALLATION. SEWER SERVICE LATERALS ARE TO BE PERMANENTLY MARKED ON THE CURB.
- ALL MANHOLES REQUIRE KOR-N-SEAL OR EQUAL RUBBER BOOTS.
- THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISH GRADE, AND SHALL HAVE TRAFFIC BEARING LIDS. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSY AREAS MUST MATCH FINISHED GRADE (UNLESS OTHERWISE NOTED). ALL EXISTING MANHOLES & UTILITY BOXES SHALL BE ADJUSTED, AS NECESSARY TO MATCH PROPOSED GRADE.
- ALL SANITARY MANHOLES AND PIPE TO BE FLUSHED CLEAN OF DEBRIS PRIOR TO TURN OVER OF SYSTEM TO OWNER.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF ### COVER ON ALL WATERLINES.
- THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DETERMINING DEFLECTION ANGLES AND LOCATION OF ALL VERTICAL BENDS IN THE WATER MAIN IN ACCORDANCE WITH WEST BLOOMFIELD TOWNSHIP STANDARDS FOR WATER MAIN CONSTRUCTION. ANY QUESTIONS OR CONFLICTS WITH OTHER UTILITIES IN THE CONSTRUCTION PLANS MUST BE PROVIDED TO THE DESIGN ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION.
- ALL WATER PIPE # DIAMETER AND LARGER SHALL BE ### WITH ## PSI PRESSURE RATING CONFORMING TO AWWA AND UNBELLED PLASTIC PIPE STANDARD SPECIFICATIONS. FITTINGS # AND LARGER SHALL BE ### CONFORM WITH AWWA STANDARD SPECIFICATIONS.
- ALL WATER PIPE # AND SMALLER SHALL BE ### PER ANSI 16.22.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 6" OVER ALL WATER LINES.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF WATER SERVICE WITH WATER DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, PURCHASE AND/OR FEES ASSOCIATED WITH ALL APPARATUS INCLUDING: WATER METERS, BACK FLOW PREVENTERS, POST INDICATOR VALVES, AND ENCLOSURES.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF WATER AND SEWER LINE IS (10') TEN FEET. THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINES IS (18") EIGHTEEN INCHES.
- ALL FIRE HYDRANTS SHALL CONFORM TO LOCAL REQUIREMENTS.
- ALL DOMESTIC WATER LEADS SHALL HAVE REDUCED PRESSURE VALVES AS DIRECTED BY THE OWNER'S ARCHITECT.
- ALL ELECTRIC, TELEPHONE AND GAS LINES, INCLUDING SERVICE LINES, ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANIES SPECIFICATIONS.
- THE CONTRACTOR IS TO COORDINATE INSTALLATION OF ALL UTILITIES BY OTHERS WITH HIS WORK.
- PRIMARY ELECTRIC SERVICE IS PROVIDED BY THE POWER COMPANY. THIS INCLUDES THE TRANSFORMER AND PAD, TRENCHING, BACKFILL AND COMPACTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND FEES ASSOCIATED WITH POWER SERVICE AS WELL AS SECONDARY SERVICE.
- GAS LINES ARE INDICATED FOR COORDINATION ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND FEES ASSOCIATED WITH GAS SERVICE.
- GAS AND UNDERGROUND ELECTRIC LINES ARE SHOWN FOR COORDINATION ONLY. EXACT LOCATION WILL BE FIELD DETERMINED DURING CONSTRUCTION.
- ALL EASEMENTS TO BE PLATTED BY THE CONTRACTOR (UNLESS OTHERWISE NOTED).
- UTILITIES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS, AS WELL AS COORDINATING WITH TOWNSHIP UTILITY REQUIREMENTS AS TO ASSURE PROPER LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.

SITE BENCHMARK

- BM#1
ELEV. = 699.65
N: 375009.454
E: 2593990.88
BM#2
ELEV. = 699.65
N: 375023.786
E: 2593590.129
BM#3
ELEV. 698.24
N: 374757.788
E: 2593622.597



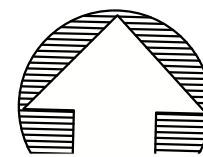
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR THE SAFETY OF THE WORK, OR PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A FEMA/F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 03691 DATED 10/16/2012.



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ON THE CORNER OF MEMORIAL DRIVE & E REGAL PL.

10437 S MEMORIAL DRIVE

CITY OF BIXBY

TULSA COUNTY, OKLAHOMA

CHICK-FIL-A

STORE #02292 CONSTRUCTION PLANS

DRY UTILITY PLAN

DATE 07/14/2025

REVISIONS 08/05/2025



Carlos Casas

0 10 20'
SCALE: 1"=20'

DRAWN BY: BG

CHECKED BY: CC

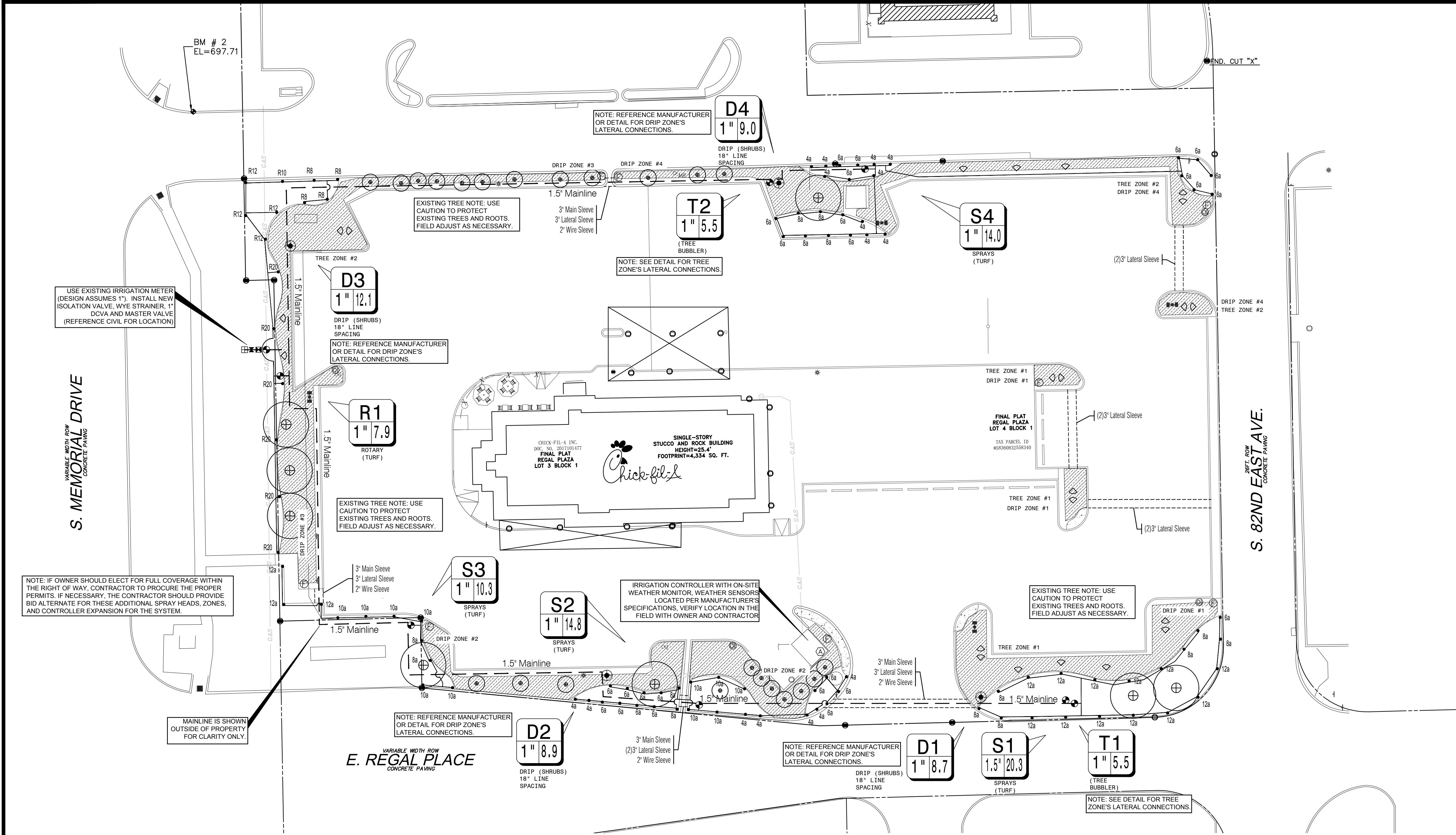
PROJECT MANAGER: CC

JOB #: 24004241

FILE CODE: N/A

SHEET NO. C-6.0

NOT ISSUED FOR CONSTRUCTION



- NOTE:**
- ENTIRE SYSTEM SHALL BE INSTALLED PER STATE STANDARDS, MANUFACTURER'S SPECIFICATIONS AND ALL CITY CODES.
 - THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY. AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GROUND IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
 - VARIOUS AREAS ON PLAN ARE SHOWING SINGLE HEAD COVERAGE. IF OWNER SHOULD ELECT FOR FULL COVERAGE, CONTRACTOR TO PROCURE THE PROPER PERMITS AND BID ALTERNATE FOR THESE ADDITIONAL SPRAY HEADS, ZONES, AND CONTROLLER EXPANSION FOR THE SYSTEM.
 - IRRIGATION CONTRACTOR IS TO COORDINATE LOCATION AND PLACEMENT OF ALL IRRIGATION ITEMS WITH THE GENERAL CONTRACTOR. CONTRACTOR IS TO USE EXTREME CAUTION IN TRENCHING TO AVOID EXISTING AND PROPOSED UTILITIES. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO IRRIGATION INSTALLATION.
 - IRRIGATION SPRAY NOZZLES TO BE ADJUSTED TO AVOID PAVEMENT, BUILDING, WALLS, FENCES, UTILITIES, EQUIPMENT, SIGNAGE, AND CALL BOX.
 - REFERENCE LANDSCAPE PLAN FOR LOCATION OF GRAVEL, STEEL EDGING AND ALL PROPOSED PLANT MATERIAL.
 - IN TURF AREAS (BOTH SOD AND HYDROMULCH AREAS) OUTSIDE OF IRRIGATION PERMANENT COVERAGE, CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION UNTIL ESTABLISHED, TYP.
 - CONTRACTOR TO TAKE ALL NECESSARY MEASURES TO PREVENT WATER HAMMER AND SYSTEM COLLAPSE BY DISCHARGING AIR DURING STARTUP AND ALLOWING AIR TO ENTER DURING SHUTDOWN. INSTALL THRUST BLOCKS AND AIR/VACUUM RELIEF VALVES AS NECESSARY TO PROTECT MAINLINE SYSTEM. FOR 3 INCH AND LARGER MAINLINE, INSTALL JOINT RESTRAINTS AT TURNS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL MAINLINE PIPING 3 INCHES AND LARGER SHALL BE BELL AND GASKETED CLASS 200 PVC PIPE. SDR 21. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONTACT MANUFACTURER OR DISTRIBUTOR FOR PRODUCT DEMONSTRATION.
 - GROUP VALVES IN FIELD AS NECESSARY FOR MAINLINE SIZING. CENTER FEED LATERALS WHEN POSSIBLE.

NOTE TO CONTRACTOR:

- PLAN SHEETS DO NOT SHOW EXISTING AND PROPOSED UTILITIES FOR CLARITY ONLY. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO INSTALLATION. CONTRACTOR IS TO USE EXTREME CAUTION IN DIGGING AND TRENCHING TO AVOID EXISTING AND PROPOSED UTILITIES.



SLEEVING NOTES

- PIPING AND CONTROL WIRES SHALL BE INSTALLED IN SEPARATE SLEEVES UNDER PAVING. REFERENCE DRAWINGS FOR SLEEVE SIZE AND LOCATION.
- SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
- INSTALLATION OF SLEEVES SHALL BE TWENTY (20) FEET BELOW TOP OF PAVEMENT OR FINISHED GRADE.
- SLEEVES SHALL EXTEND ONE (1) FOOT BEYOND EDGE OF ALL PAVEMENT AND STAKED FOR LOCATION.
- ALL SLEEVES SHALL BE SCHEDULE 40 PVC PIPE, CAPED ON BOTH ENDS AND SIZED AT LEAST TWO TIMES LARGER THAN THE DIAMETER OF THE PIPE INSIDE THE SLEEVE.
- SLEEVE LOCATIONS SHALL BE MARKED ONTO THE CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE TWO (2) INCHES LONG AND ONE (1) APART.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SLEEVES AND SHALL ALSO BE RESPONSIBLE FOR LOCATING ANY SLEEVE THAT CANNOT BE FOUND DURING THE INSTALLATION OF THE SYSTEM.
- CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN 'AS-BUILT' DRAWING SHOWING ALL SLEEVE LOCATIONS.

IRRIGATION GENERAL NOTES

- THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE IRRIGATION DESIGNER OF SITE CONDITIONS OR ASSUME FULL RESPONSIBILITY FOR ANY AND ALL ON SITE REVISIONS NECESSARY.
- CONTRACTOR TO VERIFY DESIGN AND ITS INTENT TO PROVIDE FULL COVERAGE TO ALL PLANTING MATERIAL.
- NOTIFY IRRIGATION DESIGNER OF ANY LAYOUT DISCREPANCIES PRIOR TO BIDDING.
- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE IRRIGATION INSTALLATION BEGINS.
- IRRIGATION CONTRACTOR TO PROCURE ALL PERMITS, LICENSES AND GIVE ALL NECESSARY NOTICES THROUGHOUT THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL BE IN GOOD STANDING WITH STATE BOARDS AND REGULATORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PLANT MATERIAL UPON ACCEPTANCE AND THROUGH THE WARRANTY PERIOD FOR DAMAGE DUE TO IRRIGATION SYSTEM FAILURE.
- ALL ASPECTS OF THE IRRIGATION INSTALLATION SHALL CONFORM WITH THE PROPERTY GOVERNING AUTHORITIES, CODES AND ORDINANCES.
- SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
- ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
- ZONE VALVES SHALL NOT BE LOCATED WITHIN THREE (3) FEET OF ANY DRIVEWAY, TRAFFIC AISLE, ISLAND ETC. WHERE THEY WILL BE DAMAGED BY VEHICLES DRIVING OVER CURBS.

- ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
- AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5) FEET OF CONTROLLER. LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
- ELECTRICAL SPICES SHOULD BE LOCATED AT EACH VALVE AND CONTROLLER ONLY.
- PROVIDE A 3/4" BLOW DOWN DRAIN TEE TO ALLOW WATER TO BE BLOWN FROM THE IRRIGATION LINES/SYSTEM.
- DISTURBED AREAS IN NEED OF TURF ESTABLISHMENT MAY EXIST BEYOND COVERAGE LIMITS OF THE PERMANENT IRRIGATION SYSTEM. IN THESE AREAS, CONTRACTOR TO DETERMINE A TEMPORARY MEANS TO ESTABLISH NECESSARY TURF. CONTRACTOR IS ENCOURAGED TO BEGIN TURF ESTABLISHMENT IMMEDIATELY UPON FINAL GRADE IN ACCORDANCE WITH AND TO SATISFY SWPPP.
- PROVIDE WITH OWNER A COPY OF ALL INSTALLED EQUIPMENT AND LINES (AS BUILT PLANS).
- PLACE COPY OF ZONE MAP WITH ALL ZONE VALVE LOCATIONS SHOWN AND APPROVED IRRIGATION PLAN IN PROTECTIVE JACKET IN MAIN CONTROL PANEL.

IRRIGATION PROJECT NOTES

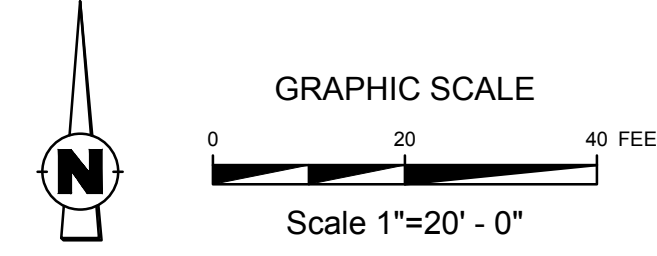
- THE LOCATION OF MAINLINE AND VALVES ON THIS PLAN MAY BE SHOWN IN PAVED AREAS FOR DESIGN CLARITY ONLY. IRRIGATION ELEMENTS HAVE BEEN SHOWN ON THIS PLAN AS ACCURATELY AS POSSIBLE WITHOUT THE FOREFEIT OF DESIGN CLARITY AND INTENT. ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN PERVIOUS AREAS. ALL PIPE AND WIRES THAT CROSS UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES AS SPECIFIED.
- ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE HUNTER EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
- TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. THE IRRIGATION SYSTEM FOR THIS SITE IS DESIGNED TO OPERATE WITH A PRESSURE OF SIXTY FIVE (65) PSI POUNDS PER SQUARE INCH. SHOULD THE DESIGN PRESSURE FOR THE SYSTEM BE HIGHER THAN THE EXISTING PRESSURE, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE IRRIGATION DESIGNER IMMEDIATELY.
- IRRIGATION CONTRACTOR SHALL COORDINATE THE LOCATION OF THE CONTROLLER AND SENSORS WITH THE GENERAL CONTRACTOR AND OWNER. A 110 VOLT ELECTRICAL SERVICE TO POWER THE IRRIGATION CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AT THE LOCATION SHOWN ON THIS PLAN.
- WATER SERVICE TAP, METER AND LEAD FOR THE IRRIGATION SYSTEM SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. SERVICE LINE AND METER SHALL BE SIZED AS NOTED ON THIS PLAN.
- TYPE AND INSTALLATION OF THE WATER METER AND BACK FLOW PREVENTION DEVICE SHALL BE DETERMINED BY THE GOVERNING AUTHORITY. AN ISOLATION VALVE SHALL BE PROVIDED BETWEEN THE WATER METER AND BACK FLOW DEVICE.
- ALL CALCULATIONS FOR THIS IRRIGATION SYSTEM ARE BASED ON PRODUCTS AND EQUIPMENT INFORMATION PROVIDED BY HUNTER. INSTALLATION OF THESE PRODUCTS SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS.
- REFERENCE HUNTER GUIDELINES AND SPECIFICATIONS PRIOR TO INSTALLATION. CONFIRM REQUIREMENTS FOR CONTROLLER, WATERPROOF CONNECTIONS, GROUPING, PROTECTORS, DECODERS, VALVES, AND WIRING PRIOR TO INSTALLATION. HUNTER TECHNICAL SERVICES (760) 591-7383. WWW.HUNTERINDUSTRIES.COM
- SPRAY HEADS LOCATED IN TURF AREAS SHALL BE HUNTER PROS-04-PR330 SPRAY BODIES WITH PRO ADJUSTABLE NOZZLES, FIXED ARC NOZZLES, AND STRIP PATTERN NOZZLES. RATE AND AS INDICATED

- ON THE PLAN, SEE RADIUS AS INDICATED ON THE PLAN.
- MP ROTATOR HEADS SHALL BE PROS-04-PR340 SPRAY BODIES WITH MP1000, MP2000, MP3000, MP3500, MP3800, MP4000, MP4500, AND MP4800 NOZZLES. RADIUS LESS THAN 12 FEET SHALL BE PR330 AND PR340 SPRAY BODIES WITH MP800SR, MP ROTATOR AREAS WITH LESS THAN 90 DEGREES SHALL BE MP CORNER NOZZLES. SEE RADIUS AS INDICATED ON THE PLAN.
- IRRIGATION ROTOR HEADS SHALL BE PGP ULTRA MODELS PGP-04-PRB WITH MPR NOZZLES. SEE RADIUS AS INDICATED ON THE PLAN.
- IRRIGATION REMOTE CONTROL VALVES SHALL BE 1" AND/OR 1.5" HUNTER ICV AS INDICATED, PRIOR TO ALL REMOTE CONTROL VALVES. INSTALL A NOMINALLY SIZED BALL VALVE WITHIN THE SAME BOX.
- SIZE OF VALVES ARE AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN APPROVED BOXES WITH COVERS LARGE ENOUGH TO PERMIT MANUAL OPERATION. REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION, OWNERS MAY ELECT LOCKING BOXES ON A PROJECT BY PROJECT BASIS.
- QUICK COUPLING VALVES SHALL BE HUNTER INSTALLED PER DETAIL SHOWN. SWING JOINTS SHALL BE CONSTRUCTED USING 3/4" SCHEDULE 80 ELBOWS. CONTRACTOR SHALL SUPPLY OWNER WITH TWO (2) HQ-S-PC COUPLERS WITH (2) HK-33 KEYS AND TWO (2) HS-0 HOSE SWIVELS AS PART OF THIS CONTRACT.
- IRRIGATION SYSTEM AUTOMATIC CONTROLLER SHALL BE HUNTER PRO-C-12 STATION - PC-1200 WITH RAIN AND FREEZE SENSORS. INSTALL PER MANUFACTURERS RECOMMENDATIONS. CONFIRM WIRING, GROUNDING AND SURGE PROTECTION REQUIREMENTS BEFORE INSTALLING.
- DRIP IRRIGATION REMOTE CONTROL VALVES SHALL BE HUNTER IC2-101-LF-40 AS INDICATED. DRIP TUBING SHALL BE HUNTER HDL-06-12-CV.
- INSTALL DRIP TUBING/LINES PER MANUFACTURERS RECOMMENDATIONS. USE PLD-LOC FITTINGS PLD-LOC 075, PLD-LOC 050, PLD-LOC ELB, PLD-LOC CPL, PLD-LOC CAP, PLD-LOC TEE, PLD-LOC OR USE FHS BARB FITTINGS PLD-075, PLD-050, PLD-ELB, PLD-CPL, PLD-CAP, PLD-TEE, PLD-075-TBTEE, PLD-BV. USE ECO-INDICATOR ECO-CD. USE LINE FLUSHING VALVE HUNTER AFV-8.
- DRIP TUBING SHALL BE SPACED 18" APART IN SHRUB AREAS. REFER TO MANUFACTURERS RECOMMENDATIONS.
- TREE BUBBLERS SHALL USE HUNTER PROS-06-PR330 BODIES WITH HUNTER MULTI-STREAM BUBBLERS MODEL MSBN-50H NOZZLES.
- ALL VALVE CONTROL WIRE SHALL BE SIZED PER MANUFACTURERS GUIDELINES BY THE CONTRACTOR ACCORDING TO THE ACTUAL FIELD DISTANCE. ALL CONNECTIONS SHALL BE WATER-PROOF, KEPT TO A MINIMUM, AND LOCATED IN AN APPROVED BOX.

SUGGESTED LATERAL PIPE SIZE, CLASS 200 PVC	
FLOW RANGE GPM	PIPE SIZE
0 - 8 GPM	3/4"
8 - 12 GPM	1"
12 - 22 GPM	1-1/4"
22 - 28 GPM	1-1/2"
28 + GPM	2"

IRRIGATION LEGEND			
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
	SPRAYS WITH PRO ADJ. NOZZLES	HUNTER	PROS-04-PR330 (SEE PLAN FOR RADIUS)
	MP ROTATORS	HUNTER	PROS-04-PR340 (SEE PLAN FOR RADIUS)
	MULTI-STREAM BUBBLERS	HUNTER	PROS-06-PR330 W/ MSBN50H NOZZLES
	REMOTE CONTROL VALVE	HUNTER	ICV
	1" DOUBLE CHECK ASSEMBLY	FEBCO	850 SERIES
	HDL DRIPLINE	HUNTER	HDL-06-12-CV
	LINE FLUSHING VALVE	HUNTER	AFV-8
	PRESSURE OPERATOR INDICATOR	HUNTER	ECO-ID
	DRIP CONTROL VALVE	HUNTER	IC2-101-LF-40

IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
	1" IRRIGATION METER
	HUNTER - PRO-C-12 STATION - PC-1200 WITH RAIN AND FREEZE SENSORS
	ISOLATION VALVE
	LATERAL PIPING REFER TO PLAN CLASS 200 PVC
	MAINLINE PIPING REFER TO PLAN SCH. 40 PVC, SIZED AS SHOWN (INSTALL THRUST BLOCKS AND AIR/VACUUM RELIEF VALVES AS NECESSARY TO PROTECT MAINLINE SYSTEM)
	IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED, ONE SLEEVE PER PIPE
	CONTROL WIRING SLEEVE, 2" SCH. 40 PVC
	VALVE STATION # (WHERE D = DRIP TUBING, S = SPRAY, R = ROTOR, T = TREE DRIP)
	VALVE SIZE GPM



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Chick-fil-A
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ON THE CORNER OF MEMORIAL DRIVE & E REGAL PL.
10437 S MEMORIAL DRIVE
CITY OF BIXBY
TULSA COUNTY, OKLAHOMA

CHICK-FIL-A
STORE #02292 CONSTRUCTION PLANS
IRRIGATION PLAN

DATE 07/14/2025

REVISIONS

DRAWN BY: BG
CHECKED BY: CC
PROJECT MANAGER: CC
JOB #: 24004241
FILE CODE: N/A
SHEET NO. L-2.1

SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVES AND UTILITY CONDUITS

PART 1 - GENERAL

- 1.1 DESCRIPTION
- A. PROVIDE UNDERGROUND IRRIGATION SLEEVES AS INDICATED ON THE DRAWINGS.
- 1.2 RELATED WORK
- A. SECTION 32 8424 - IRRIGATION SYSTEM.

1.3 REFERENCE STANDARDS

A. AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM) - LATEST EDITION.

PART 2 - MATERIALS

2.1 GENERAL

- A. POLYVINYL CHLORIDE PIPE (PVC) - SCHEDULE 40 SHALL BE USED FOR ALL SLEEVING PURPOSES.
- B. PVC PIPES SHALL BE MARKED WITH SDR NUMBER, ASTM STANDARD NUMBER, AND THE NSF SEAL.
- C. SOLVENT SHALL BE USED AS RECOMMENDED BY MANUFACTURER TO MAKE SOLVENT WELDED JOINTS. PIPE AND FITTINGS SHOULD BE CLEANED BEFORE APPLYING SOLVENT.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. A MINIMUM OF TWENTY FOUR (24) INCHES COVER SHALL BE PROVIDED OVER THE TOP OF SLEEVE FROM FINISH GRADE.
- B. SLEEVES SHALL BE EXTENDED ONE (1) FOOT PAST THE EDGE OF PAVEMENT OF WALLS. INSTALL A NINETY DEGREE ELBOW ON EACH SLEEVE AND ADD ADDITIONAL LENGTH TO EXTEND ABOVE FINISH GRADE BY TWELVE (12) INCHES. CAP PIPE ENDS.

3.2 BACKFILL

- A. BACKFILL SHALL BE PLACED OVER SLEEVES IN SIX (6) INCH LIFTS. SOIL SHALL BE TAMPED INTO PLACE, TAKING CARE TO NOT DAMAGE SLEEVE.
- B. REPAIR ANY DAMAGE FROM IMPROPER COMPACTION.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

PART 1 - GENERAL

1.1 DESCRIPTION

- A. PROVIDE A COMPLETE IRRIGATION SYSTEM INSTALLATION AS DETAILED AND SPECIFIED. THIS SHALL INCLUDE FURNISHING ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY TO PROVIDE COMPLETE INSTALLATION. WORK INCLUDES:
- C. TRENCHING
- C. BACKFILL
- C. AUTOMATIC CONTROLLED SYSTEM
- C. AS BUILT DRAWINGS
- B. SLEEVING AS SHOWN SHALL BE FURNISHED BY THE GENERAL CONTRACTOR.
- C. METER AND POWER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

1.2 RELATED WORK

- C. REFERENCE IRRIGATION PLANS FOR CONTROLLER, HEAD AND ALL VALVE LOCATIONS.
- D. REFERENCE LANDSCAPE PLANS, NOTES, DETAILS FOR ADDITIONAL REQUIREMENTS.

E. SECTION 32 9300 - LANDSCAPE

F. SECTION 32 8423 - UNDERGROUND IRRIGATION SLEEVE AND UTILITY CONDUITS

1.3 REFERENCE STANDARDS

- A. AMERICAN STANDARD FOR TESTING AND MATERIALS (ASTM) - LATEST EDITION.

1.4 QUALITY ASSURANCE AND REQUIREMENTS

- A. PERMITS AND FEES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS NECESSARY AND ALL OBSERVATIONS AS REQUIRED.
- B. MANUFACTURER'S DIRECTIONS: MANUFACTURER'S DIRECTIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURER'S ARTICLES USED IN THIS CONTRACT FURNISH DIRECTIONS COVERING POINTS NOT SHOWN IN THE DRAWINGS AND SPECIFICATIONS.
- C. ORDINANCES, CODES, AND REGULATIONS: ALL LOCAL, MUNICIPAL AND STATE LAWS, AND RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS, AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. ANYTHING CONTAINED IN THESE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CONFLICT WITH ANY OF THE ABOVE RULES AND REGULATIONS AND REQUIREMENTS OF THE SAME.
- D. HOWEVER, WHEN THESE SPECIFICATIONS AND DRAWINGS CALL FOR OR DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF A BETTER QUALITY, HIGHER STANDARD OR LARGER SIZE THAN IS REQUIRED BY THE ABOVE RULES AND REGULATIONS, THESE SPECIFICATIONS AND DRAWINGS SHALL TAKE PRECEDENCE.

1.5 SCHEDULE OF MATERIALS

- A. MATERIALS LIST:
- a. ALL EQUIPMENT MANUFACTURERS AND MODEL NUMBERS SHALL BE AS NOTED ON THE PLANS.
- b. THE CONTRACTOR SHALL FURNISH THE ARTICLES, EQUIPMENT, MATERIALS, OR PROCESSES SPECIFIED BY NAME IN THE DRAWINGS AND SPECIFICATIONS. NO SUBSTITUTION WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- c. A COMPLETE MATERIAL LIST OF EQUIPMENT SHALL BE SUBMITTED BEFORE PERFORMING ANY WORK. SUBMITTAL SHOULD INCLUDE ALL MANUFACTURER'S SPECIFICATIONS AND LITERATURE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- d. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT MAY BE REJECTED.
- e. APPROVAL OF ANY ITEM, ALTERNATE OR SUBSTITUTE INDICATES ONLY THAT THE PRODUCT OR PRODUCTS APPARENTLY MEET THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS ON THE BASIS OF THE INFORMATION OR SAMPLES SUBMITTED.
- f. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.

1.6 RECORD AND AS BUILT DRAWINGS/SUBMITTALS

- A. CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE AND COMPLETE "AS-BUILT" RECORD SET OF PRINTS
- B. CONTRACTOR SHOULD USE ALL SYMBOLS AND NOTATIONS CONSISTENT WITH THE ORIGINAL DRAWINGS.
- C. IN "AS-BUILT" DRAWINGS, CONTRACTOR SHALL LOCATE:
- a. CONNECTION TO EXISTING WATER LINES
- a. CONNECTION TO ELECTRICAL POWER
- c. GATE VALVES
- d. ROUTING OF SPRINKLER PRESSURE LINES

e. SPRINKLER CONTROL VALVES

- f. QUICK COUPLING VALVES
- g. OTHER RELATED EQUIPMENT
- D. SUBMIT COMPLETED TRACINGS PRIOR TO FINAL ACCEPTANCE. DATE AND SIGN ALL DRAWINGS.
- E. EQUIPMENT TO BE FURNISHED:
- i. SUPPLY AS PART OF THIS CONTRACT THE FOLLOWING TOOLS:
- i. QUICK COUPLING KEYS, THREE (3) WITH BOILER DRAINS ATTACHED USING BRASS REDUCER.
- ii. THREE (3) KEYS FOR EACH AUTOMATIC CONTROLLER
- b. THE ABOVE MENTIONED EQUIPMENT SHALL BE TURNED OVER TO THE OWNER AT THE CONCLUSION OF THE PROJECT.

- F. THE IRRIGATION CONTRACTOR SHOULD DEMONSTRATE THAT THE FINAL INSTALLED SYSTEM WILL OPERATE ACCORDING TO THE INTENT OF THE DESIGNED AND SPECIFIED SYSTEM. IRRIGATION CONTRACTOR SHALL GUARANTEE 100% COVERAGE TO ALL AREAS TO BE IRRIGATION.

1.5 MAINTENANCE AND GUARANTEE

- A. MAINTENANCE AND WORKMANSHIP SHALL BE GUARANTEED FULLY FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE.
- B. PROVIDE MAINTENANCE OF SYSTEM, CLEANING AND ADJUSTMENT OF THE HEADS, FOR ONE (1) YEAR AFTER COMPLETION OF INSTALLATION.
- C. GUARANTEE IS LIMITED TO REPAIR AND REPLACEMENT OF DEFECTIVE MATERIALS AND WORKMANSHIP, INCLUDING THE REPAIR OF BACKFILL SETTLEMENT.

1.6 TESTING

- A. PERFORM TESTING REQUIRED WITH OTHER TRADES INCLUDING EARTHWORK, PAVING, PLUMBING, ETC. TO AVOID CUTTING, PATCHING OR BORING.
- B. WATER PRESSURE SHOULD BE FOUND PRIOR TO STARTING CONSTRUCTION. DETERMINE/CONFIRM THAT STATIC WATER PRESSURE IS MORE THAN THE WATER PRESSURE NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY. IF STATIC PRESSURE IS LESS THAN THE DESIGN PRESSURE NEEDED, DO NOT START WORK UNTIL THE LANDSCAPE ARCHITECT IS NOTIFIED.

1.7 COORDINATION

- A. COORDINATE INSTALLATION OF ALL PRODUCTS, INCLUDING EARTHWORK, PAVING AND PLUMBING.
- B. COORDINATE TO ENSURE THAT ELECTRICAL POWER SOURCE IS IN PLACE.
- C. COORDINATE INSTALLATION WITH WORK SPECIFIED IN OTHER SECTIONS.
- D. COORDINATE WITH THE LANDSCAPE CONTRACTOR TO ENSURE PLANT MATERIALS IS UNIFORMLY WATERED IN ACCORDANCE WITH INTENT SHOWN ON DRAWINGS.

PART 2 - PRODUCTS

2.1 MATERIALS

- B. REFER TO CONSTRUCTION DRAWINGS AND NOTES.
- C. SPRINKLER HEADS IN LAWN AREAS AS SPECIFIED ON PLAN
- D. PVC PIPE: CLASS 200 SPR 21
- E. COPPER TUBING (FOR CITY CONNECTIONS): TYPE "M"
- F. 24V WIRE - SIZE 14, TYPE UF
- G. ELECTRIC VALVES TO BE ALL PLASTIC CONSTRUCTION AS INDICATED ON PLANS.
- H. REFER TO DRAWING FOR BACKFLOW PREVENTION LOCATION - COORDINATE EXACT LOCATION WITH THE GENERAL CONTRACTOR.

PART 3 - EXECUTION

3.1 INSPECTION:

- A. SITE CONDITIONS:
- a. ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SIZE DIMENSIONS.
- b. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY ANY OF HIS OPERATIONS OR NEGLECT.
- c. COORDINATE INSTALLATION OF IRRIGATION MATERIALS, INCLUDING PIPE, SO THERE SHALL BE NO INTERFERENCE WITH UTILITIES OR OTHER CONSTRUCTION DIFFICULTY IN PLANTING TREES, SHRUBS, AND GROUNDCOVERS. COORDINATE WORK WITH OTHER SITE CONTRACTORS.

3.2 PREPARATION

A. PHYSICAL LAYOUT:

- a. PIPING AND HEAD LAYOUT AS SHOWN ON PLANS IS SCHEMATIC ONLY. ALL PIPES TO BE INSTALLED DIRECTLY BEHIND CURBS, WALKS AND WALLS WHEREVER POSSIBLE.
- b. PRIOR TO INSTALLATION CONTRACTOR SHALL STAKE OUT ALL PRESSURE SUPPLY LINES, ROUTING AND LOCATION OF SPRINKLER HEADS.
- c. ALL LAYOUTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- B. WATER SUPPLY:
- a. IRRIGATION SYSTEM SHALL BE CONNECTED TO WATER SUPPLY POINTS OF CONNECTION AS INDICATED ON THE DRAWINGS.
- b. CONNECTIONS SHOULD BE MADE AT APPROXIMATE LOCATIONS AS SHOWN ON DRAWINGS. CONTRACTOR SHALL VERIFY IN FIELD AND BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.

3.3 INSTALLATION

A. TRENCHING

- a. DIG TRENCHES STRAIGHT 6" WIDE WITH NEAR VERTICAL SIDE AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. REMOVE LUMBER, RUBBISH, LARGE ROCKS ETC. FROM TRENCHES. LAY PIPE TO AN EVEN GRADE - WITH A FIRM, UNIFORM BEARING FOR ENTIRE LENGTH OF PIPE.
- b. REMOVE FOREIGN MATTER OR DIRT FROM INSIDE OF PIPE BEFORE WELDING AND KEEP PIPING CLEAN BY ANY MEANS POSSIBLE DURING AND AFTER LAYING OF PIPE.
- c. PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF COVER FOR ALL PRESSURE SUPPLY LINES.
- d. PROVIDE A MINIMUM OF TWELVE (12) INCHES OF COVER FOR ALL NON-PRESSURE LINES.
- e. PROVIDE A MINIMUM COVER OF EIGHTEEN (18) INCHES FOR ALL CONTROL WIRING.
- f. NO MACHINE TRENCHING, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT, SHALL BE DONE WITHIN DRIP LINE OF EXISTING TREES. TRENCHING SHOULD BE DONE BY HAND, TUNNELING OR BORING OR OTHER METHODS APPROVED BY THE LANDSCAPE ARCHITECT. IT SHOULD BE UNDERSTOOD THAT PIPING LAYOUT IS DIAGRAMMATIC AND PIPING SHALL BE ROUTED AROUND TREES AND SHRUBS IN SUCH A MANNER TO AVOID DAMAGE TO PLANTS.

B. BACKFILL

- a. TRENCHES SHALL NOT BE BACKFILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED. TRENCHES SHALL BE CAREFULLY BACKFILLED WITH THE EXCAVATED MATERIALS APPROVED FOR BACKFILLING, CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS, FREE FROM LARGE CLODS, STONES OR STICKS.
- b. IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTING OR OTHER

CONSTRUCTION ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS WITHOUT THE COST TO THE OWNER.

C. TRENCHING AND BACKFILL UNDER PAVING:

- a. ALL IRRIGATION MAIN LINE AND LATERAL LINES OR WIRING LOCATED UNDER AREAS WHERE PAVING, ASPHALTIC PAVING, OR CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC SLEEVES OF ADEQUATE SIZE. SEE SECTION 32 8423.
- D. ASSEMBLIES
- a. INSTALL ALL ASSEMBLIES SPECIFIED HEREIN IN ACCORDANCE WITH RESPECTIVE DETAILS. IN ABSENCE OF DETAIL DRAWINGS OR SPECIFICATIONS, PERFORM SUCH WORK IN ACCORDANCE WITH BEST STANDARD PRACTICES OR MANUFACTURER'S RECOMMENDATIONS AS APPROVED BY THE LANDSCAPE ARCHITECT.
- b. MAKE SOLVENT WELDED JOINTS USING ONLY THE SOLVENT RECOMMENDED BY THE MANUFACTURER. PIPES AND FITTINGS SHOULD BE CLEANED OF ALL DIRT AND DUST AND MOISTENED BEFORE APPLYING SOLVENT.
- c. ON PVC TO METAL CONNECTIONS, THE CONTRACTOR SHALL WORK METAL CONNECTIONS FIRST. USE NON HARDENING PIPE DOPE OR TEFLON TAPE ON THREADED PVC ADAPTERS INTO WHICH PIPE MAY BE WELDED. LIGHT WRENCH PRESSURE IS ALL THAT IS REQUIRED. USE THREADED PVC ADAPTERS INTO WHICH THE PIPE MAY BE WELDED.
- E. LINE CLEARANCE: ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF SIX (6) INCHES FROM EACH OTHER AND FROM OTHER TRADES. PARALLEL LINES SHALL NOT BE DIRECTLY INSTALLED ONE OVER THE OTHER.
- F. WIRING: SUPPLY WIRE FROM THE AUTOMATIC CONTROLLER TO ALL THE VALVES. A SEPARATE WIRE IS REQUIRED TO EACH ELECTRIC VALVE. A COMMON NEUTRAL WIRE IS ALSO REQUIRED FROM EACH CONTROL TO EACH OF THE VALVES. BUNDLE MULTIPLE WIRES AND TAPE THEM TOGETHER AT TEN FOOT INTERVALS. EXPANSION COILS OF TEN INCHES SHALL BE INSTALLED APPROXIMATELY EVERY 100 FEET. MAKE ALL SPLICES WATERPROOF.
- G. AUTOMATIC CONTROLLER: INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. REMOVE CONTROL VALVES SHALL BE CONNECTED TO CONTROLLER IN NUMERICAL SEQUENCE AS SHOWN ON THE DRAWINGS. EACH REMOTE CONTROL VALVE SHALL BE WIRED TO ONE STATION OF THE CONTROLLER.
- H. REMOTE CONTROL VALVES:
- a. INSTALL WHERE SHOWN ON DRAWINGS AND DETAILS. VALVES SHALL BE SIZED ACCORDING TO THE DRAWINGS.
- b. INSTALL IN A LEVEL POSITION IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.
- c. WHEN GROUPED TOGETHER, ALLOW AT LEAST TWELVE (12) INCHES BETWEEN VALVES. INSTALL EACH REMOTE CONTROL VALVE IN A SEPARATE VALVE BOX. EACH VALVE NUMBER AND ITS CONTROLLER LETTER SHALL BE STENCILED INSIDE VALVE BOX TOP WITH EXTERIOR PAINT.
- I. FLUSHING OF SYSTEM:
- a. AFTER ALL NEW SPRINKLER PIPE LINES AND RISERS ARE IN PLACE AND CONNECTED, ALL NECESSARY WORK HAS BEEN COMPLETED, AND PRIOR TO INSTALLATION OF SPRINKLER HEADS, THE CONTROL VALVES SHALL BE OPENED AND A FULL HEAD OF WATER USED TO FLUSH OUT THE SYSTEM.
- b. SPRINKLER HEADS SHALL BE INSTALLED ONLY AFTER FLUSHING OF THE SYSTEM HAS BEEN ACCOMPLISHED.
- J. SPRINKLER HEADS:
- a. INSTALL HEADS AS DESIGNED ON THE DRAWINGS. MAKE APPROPRIATE ADJUSTMENTS TO HEAD LAYOUT TO ACCOMMODATE FOR ACTUAL FIELD CONDITIONS.
- b. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON THE DRAWINGS. IN NO CASE SHALL THE SPACING EXCEED THE MAXIMUM

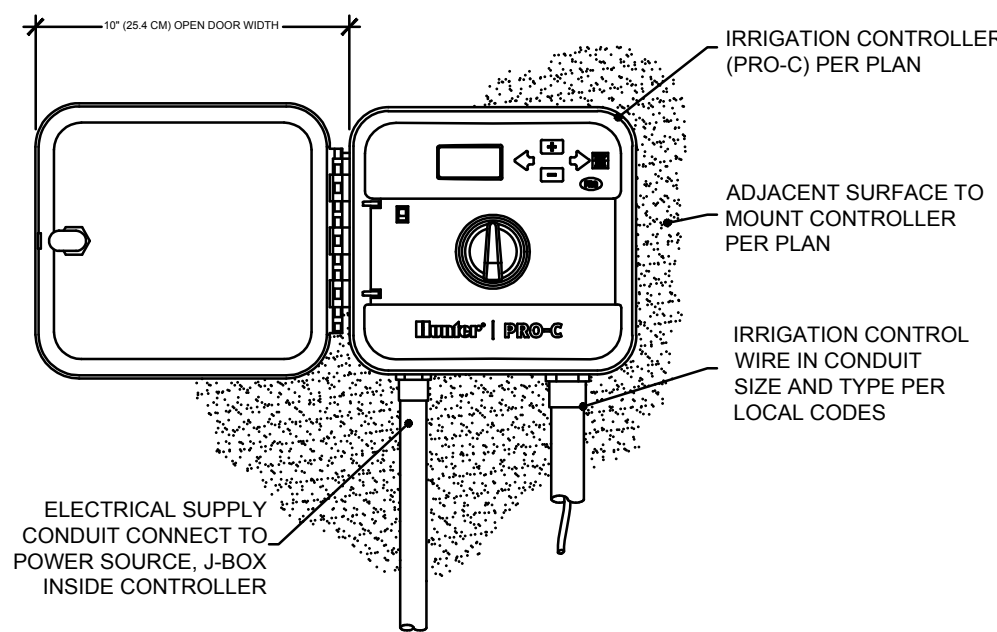
RECOMMENDED BY THE MANUFACTURER.

C. ALL SPRINKLERS TO ATTACH TO LATERAL LINES WITH FLEXIBLE CONNECTORS. REFERENCE DETAILS ON DRAWINGS.

3.4 TESTING

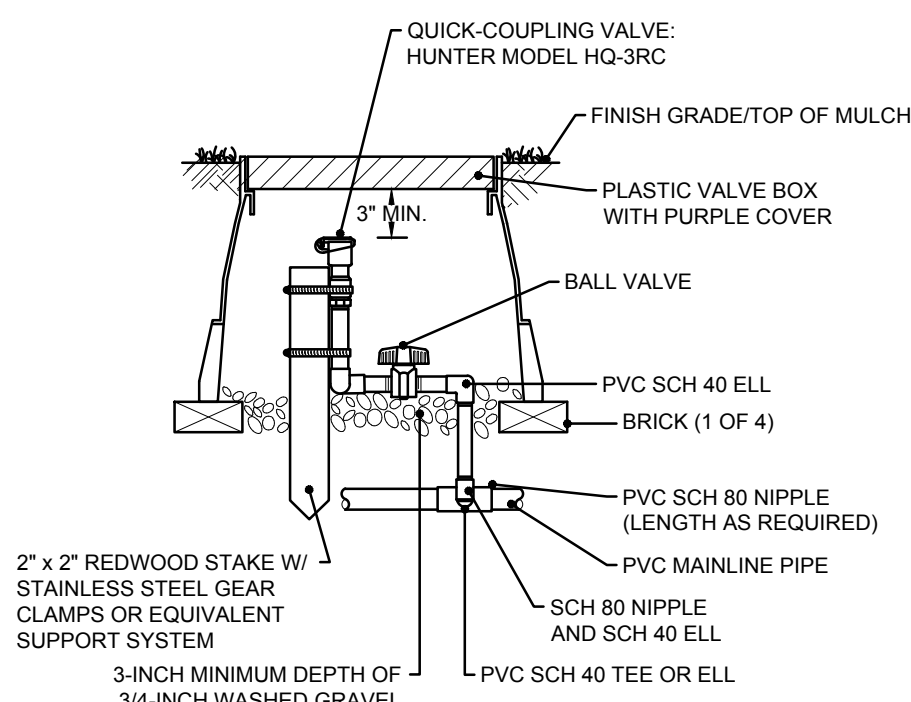
- A. THE CONTRACTOR SHALL TEST SPRINKLER MAIN FOR TWELVE TO FOURTEEN HOURS UNDER NORMAL PRESSURE. IF LEAKS ARE PRESENT, REPLACE JOINT OR JOINS AND REPEAT TEST.
- B. A COMPLETE TEST SHALL BE MADE PRIOR TO BACKFILLING. BACKFILLING MATERIALS MAY BE PLACED IN TRENCHES IN LIFTS TO ENSURE STABILITY OF THE LINE UNDER THE PRESSURE OF BACKFILL. IN EACH CASE, LEAVE FITTINGS AND COUPLINGS OPEN TO VISUALLY INSPECT FOR FULL PERIOD OF TEST.
- C. WHEN SYSTEM IS COMPLETE, A COVERAGE TEST SHALL BE PERFORMED IN THE PRESENCE OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. IT SHALL BE DETERMINED IF THE WATER COVERAGE FOR ALL PLANTING AREAS IS COMPLETE AND ADEQUATE. FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE.
- D. UPON COMPLETION OF EACH PHASE OF WORK, THE ENTIRE SYSTEM SHOULD BE TESTED AND ADJUSTED TO MEET SITE REQUIREMENTS.

END OF SECTION

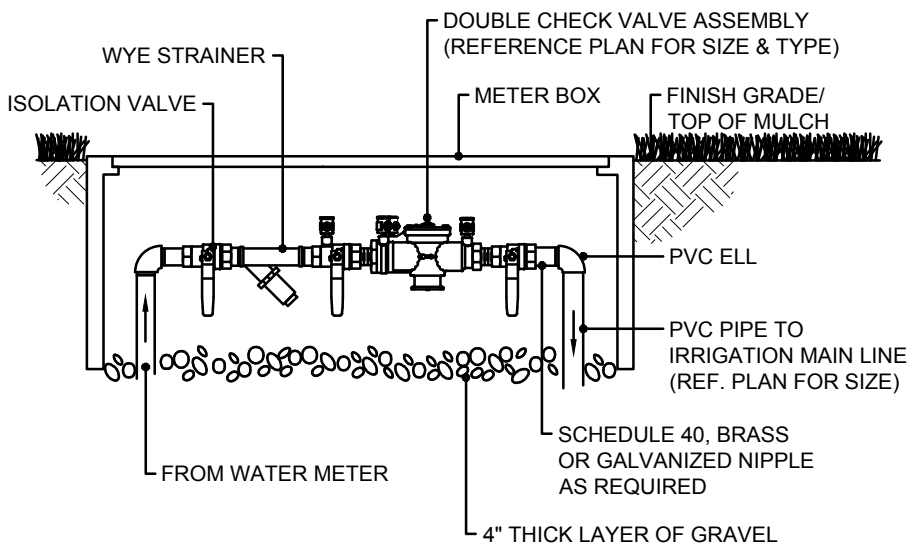


- NOTE:
1. WEATHER SENSORS ARE TO BE PROVIDED AS REQUIRED BY LOCAL CODES. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
2. MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND 110 VAC POWER SOURCE

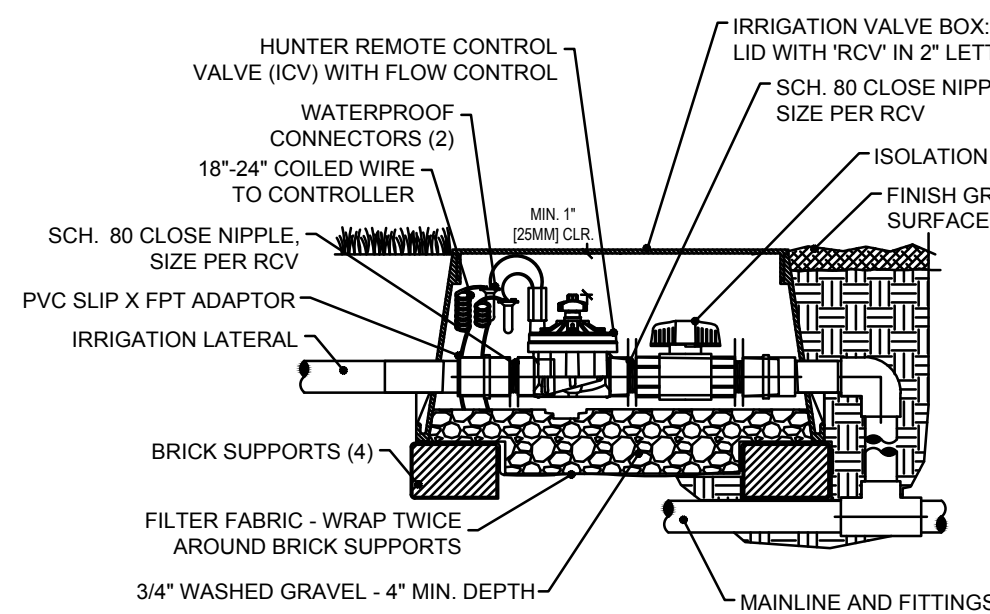
1 PRO-C CONTROLLER N.T.S.



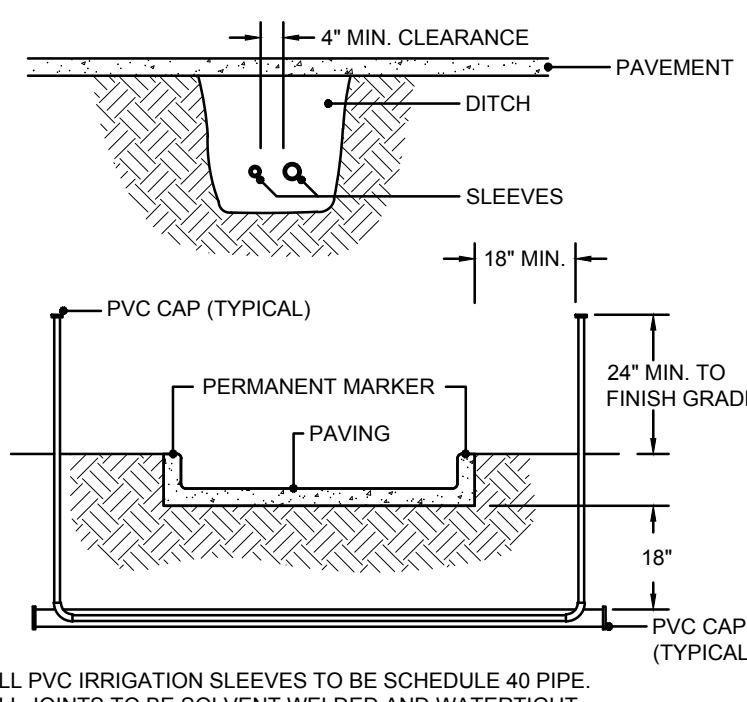
2 QUICK COUPLING VALVE N.T.S.



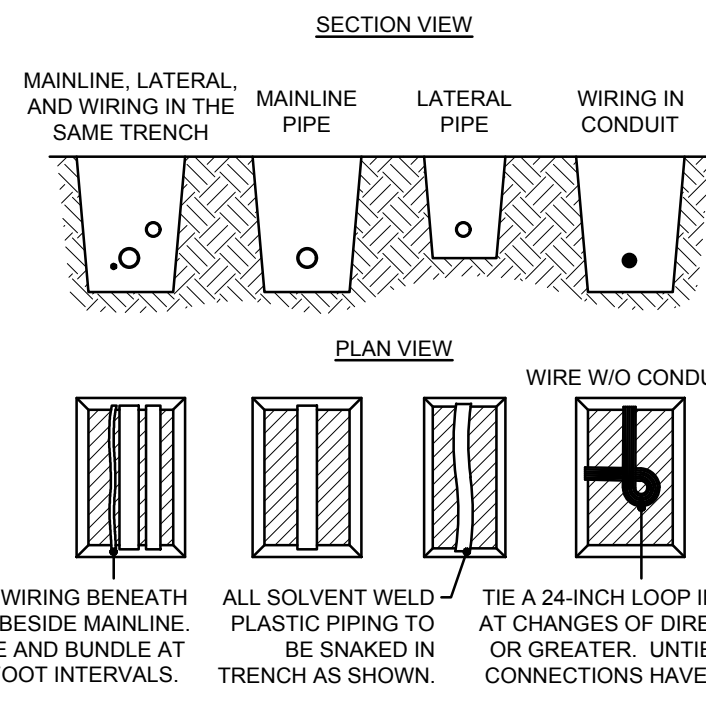
3 DOUBLE CHECK ASSEMBLY N.T.S.



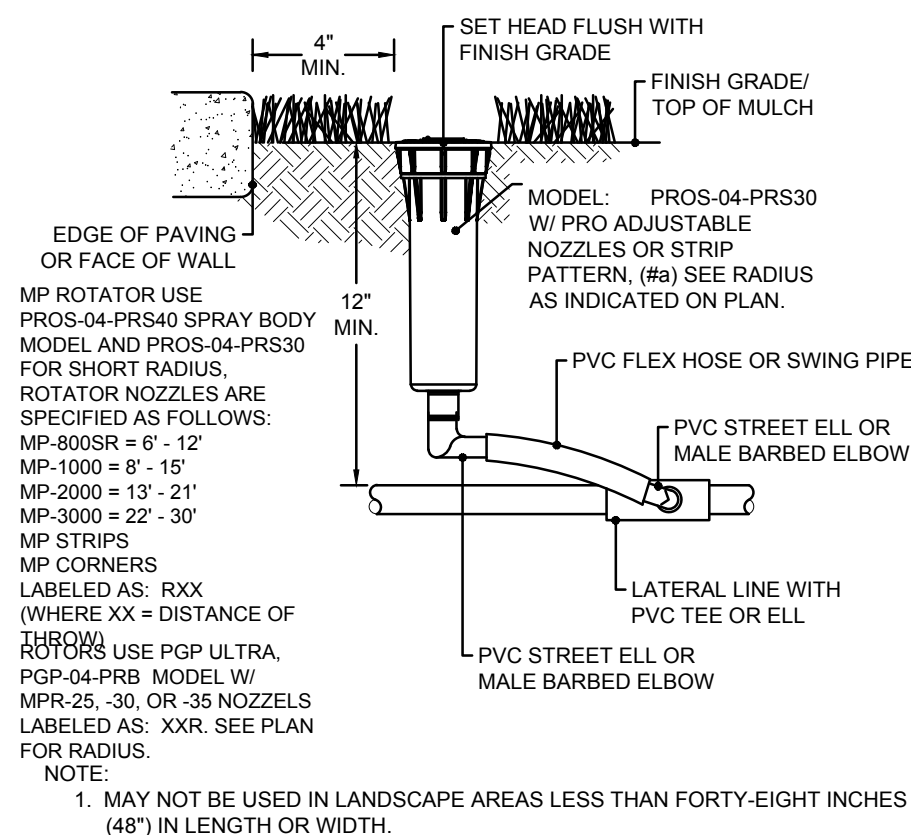
4 IN-LINE VALVE (ICV) WITH ISOLATION VALVE N.T.S.



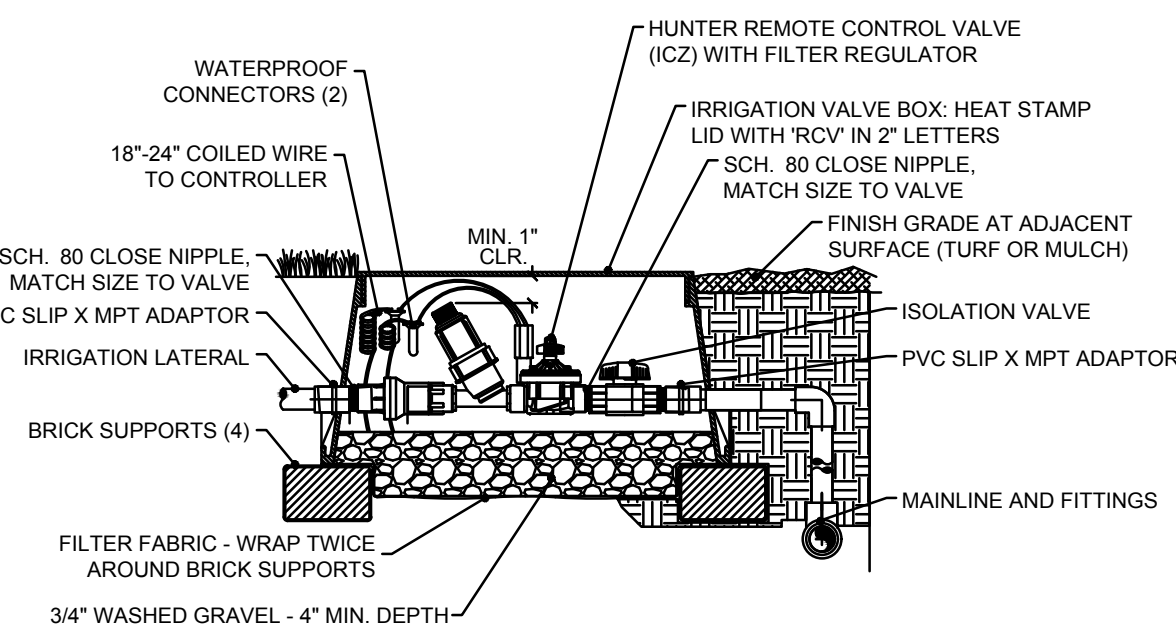
5 IRRIGATION PVC SLEEVES N.T.S.



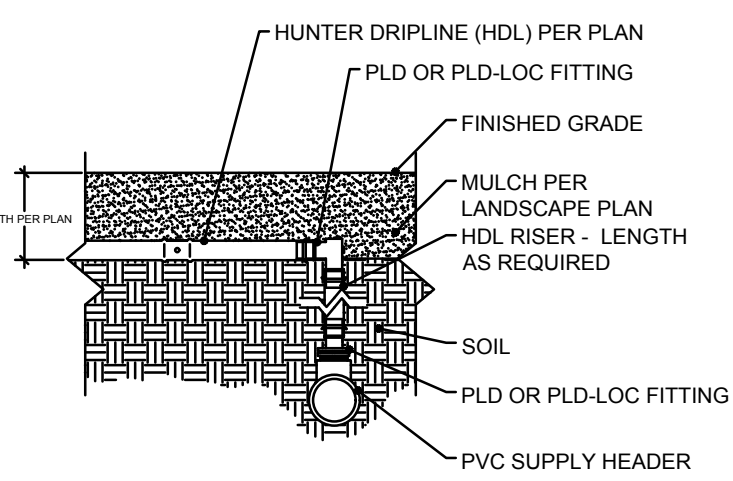
6 PIPE AND WIRING TRENCHING N.T.S.



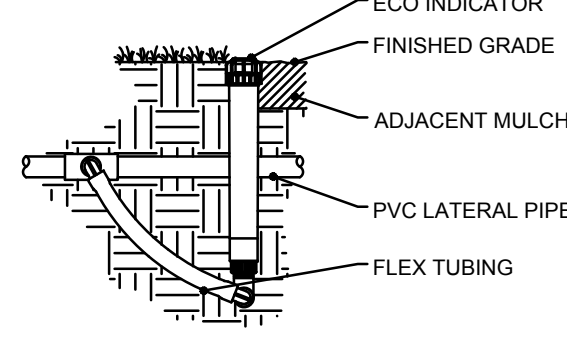
7 POP-UP SPRAY BODY OR POP-UP ROTOR N.T.S.



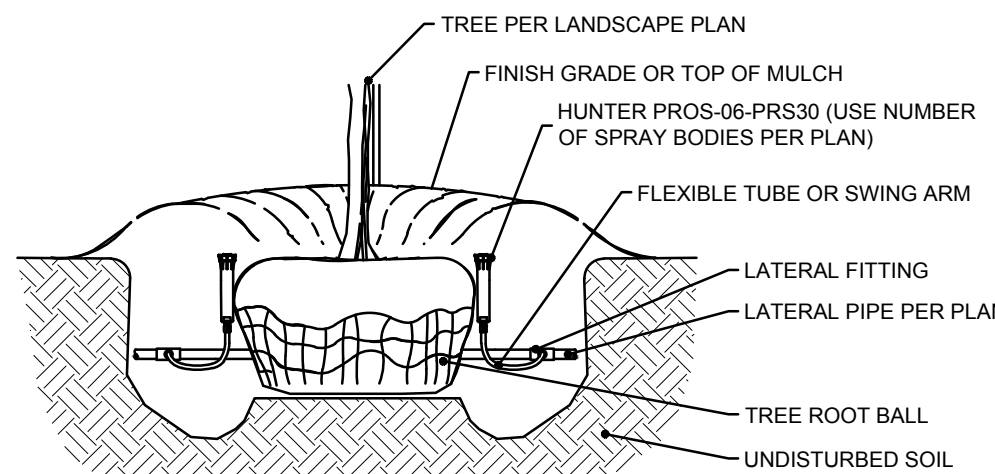
8 DRIP CONTROL ZONE KIT W/ ISOLATION VALVE N.T.S.



9 HUNTER DRIPLINE CONNECTION W/DRIPLINE AND ELBOW N.T.S.



10 ECO INDICATOR - FLEX TUBING N.T.S.



- NOTE:
1. PLACE POP-UP BUBBLER DIRECTLY AT THE EDGE OF THE ROOT BALL. ENSURE THAT THE STREAM BUBBLERS SPRAYS DIRECTLY ONTO THE ROOT BALL TO WET THOROUGHLY.
2. SPACE REQUIRED NUMBER OF SPRAY BODIES EQUIDISTANT AROUND EDGE OF ROOT BALL.
3. USE NUMBER OF SPRAY BODIES PER PLAN.

11 TREE BUBBLER ASSEMBLY WITH HUNTER PROS-06-PRS30 N.T.S.



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ON THE CORNER OF MEMORIAL DRIVE & E. REGAL PL.

10437 S MEMORIAL DRIVE

CITY OF BIXBY

TULSA COUNTY, OKLAHOMA

CHICK-FIL-A

STORE #02292 CONSTRUCTION PLANS

IRRIGATION SPECIFICATIONS AND DETAILS

DATE 07/14/2025

REVISIONS

DRAWN BY: BG

CHECKED BY: CC

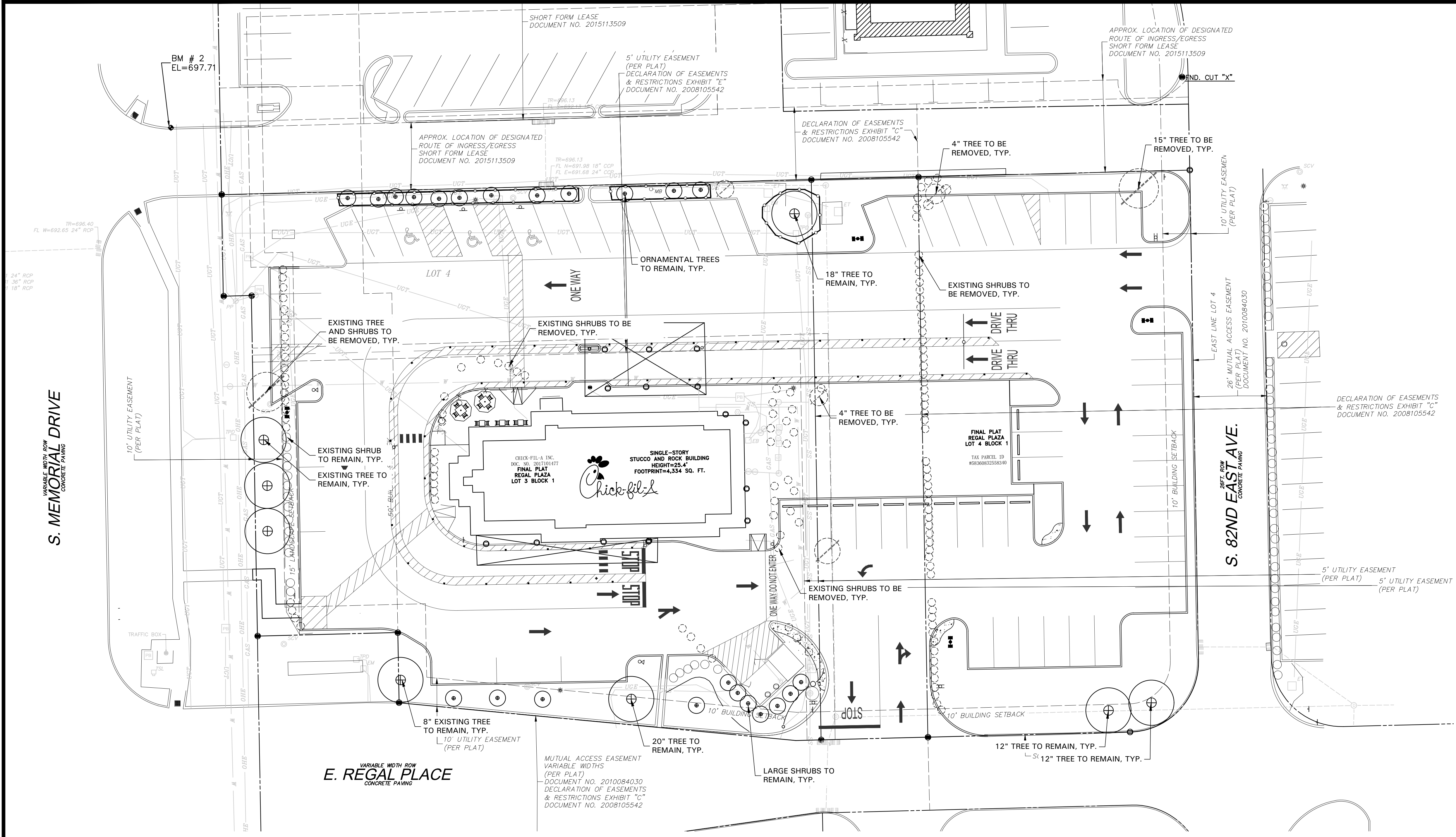
PROJECT MANAGER: CC

JOB #: 24004241

FILE CODE: N/A

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L-2.2



TREE PRESERVATION NOTES

CONSTRUCTION METHODS:

BORING: BORING OF UTILITIES UNDER PROTECTED TREES MAY BE REQUIRED. WHEN REQUIRED, THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY (40) INCHES.

TRENCHING: ALL TRENCHING SHALL BE DESIGNED TO AVOID TRENCHING ACROSS CRITICAL ROOT ZONES OF ANY PROTECTED TREE. THE PLACEMENT OF UNDERGROUND UTILITY LINES SUCH AS ELECTRIC, PHONE, GAS, ETC., IS ENCOURAGED TO BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE. TRENCHING FOR IRRIGATION SYSTEMS SHALL BE PLACED OUTSIDE THE CRITICAL ROOT ZONE EXCEPT THE MINIMUM REQUIRED SINGLE HEAD SUPPLY LINE. THIS LINE IS ALLOWED TO EXTEND INTO THE CRITICAL ROOT ZONE PERPENDICULAR TO THE TREE TRUNK WITH THE LEAST POSSIBLE DISTURBANCE.

TREES TO BE REMOVED: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE.

TREES TO REMAIN: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.

EXISTING TREES NOTED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE OF TREE.

UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNERS AUTHORIZED REPRESENTATIVE.

PROHIBITED ACTIVITIES IN CRITICAL ROOT ZONE: THE FOLLOWING ACTIVITIES ARE PROHIBITED IN THE AREAS NOTED AS THE CRITICAL ROOT ZONE.

MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION, OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION, SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.

EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT SHALL BE CLEANED, OR OTHER LIQUIDS DEPOSITED OR ALLOWED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE. THIS INCLUDES, WITHOUT LIMITATION: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS.

TREE ATTACHMENTS: NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.

VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION, EQUIPMENT, TRAFFIC, OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT.

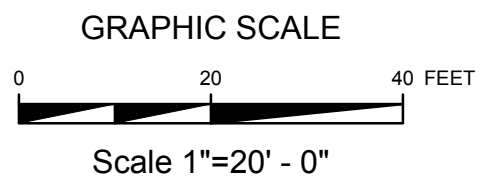
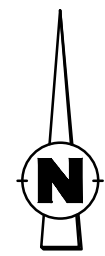
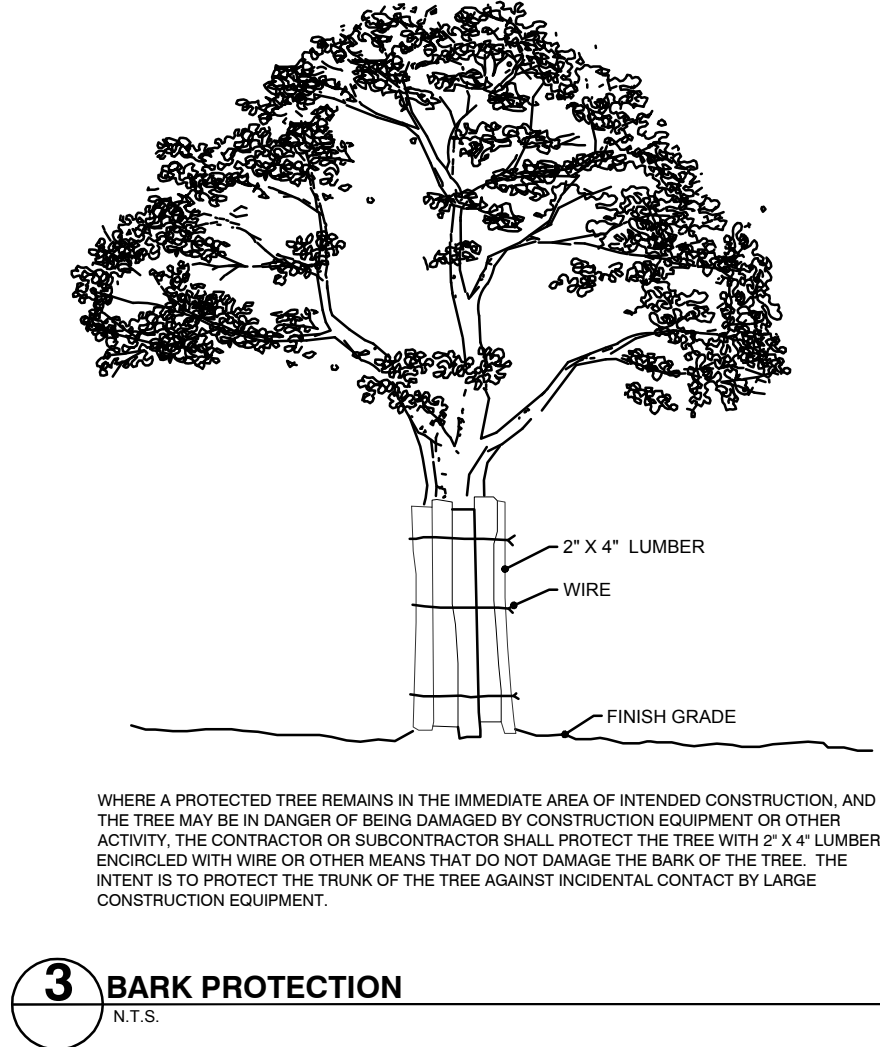
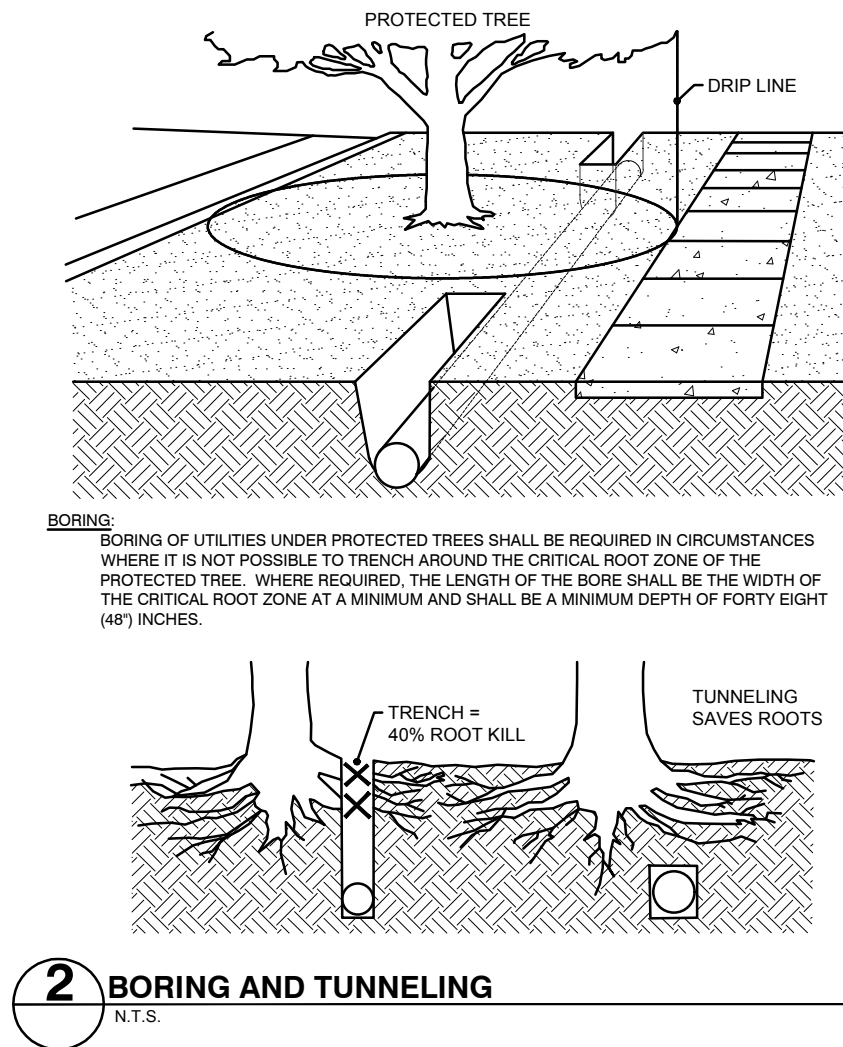
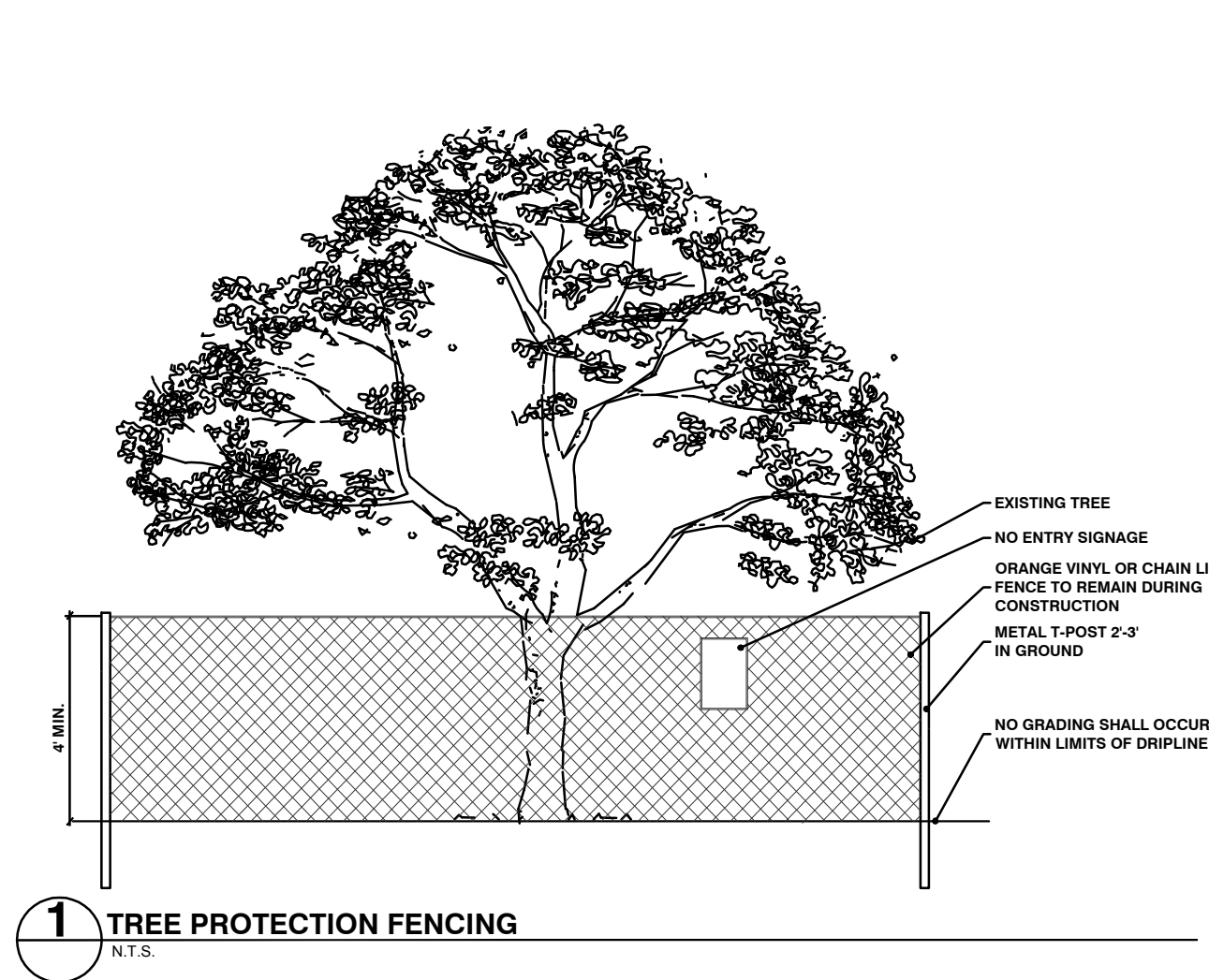
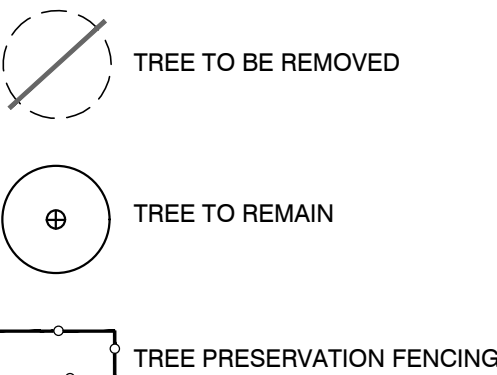
GRADE CHANGES: A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.

PROCEDURES REQUIRED PRIOR TO CONSTRUCTION:

PROTECTIVE FENCING: PRIOR TO CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE, A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREE TO PROTECT IT FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK, AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

BARK PROTECTION: IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, AND THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE DETERMINES THE TREE BARK TO BE IN DANGER OF DAMAGE BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR OR SUBCONTRACTOR SHALL PROTECT THE TREE BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2"x4" LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE BARK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.

TREE PRESERVATION LEGEND



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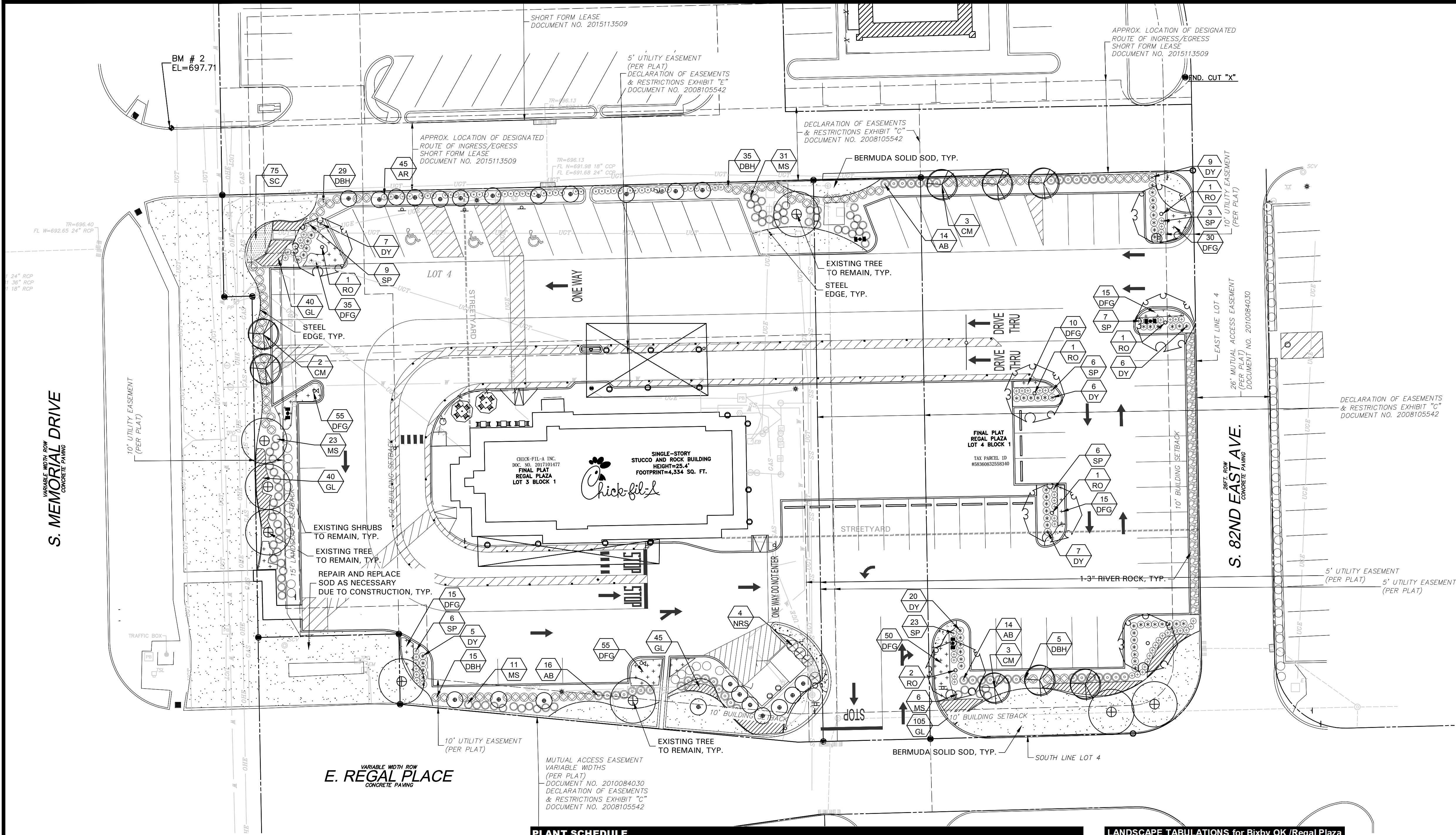


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ON THE CORNER OF MEMORIAL DRIVE & E REGAL PL.	CHICK-FIL-A	STORE #02292 CONSTRUCTION PLANS	DATE 07/14/2025
10437 S MEMORIAL DRIVE		TREE PRESERVATION PLAN	
CITY OF BIXBY			
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PLANT SCHEDULE				
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE NOTES
SHADE TREES				
7	RO	Red Oak	<i>Quercus rubra</i>	3" cal. 12' ht., 4' spread, matching
ORNAMENTAL TREES				
8	CM	Crape Myrtle 'Tuscarora'	<i>Lagerstromia indica 'Tuscarora'</i>	30 gal. 8' ht. 3' spread, matching
SHRUBS				
44	AB	Kaleidoscope Abelia	<i>Abelia 'Kaleidoscope'</i>	5 gal. full, 24" spread, 36" o.c.
45	AR	Anna's Magic Ball Arborvitae	<i>Thuja occidentalis 'Annas Magic Ball'</i>	3 gal. full, 24" o.c.
84	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal. full, 20" spread, 36" o.c.
60	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	5 gal. full, 24" sprd, 30" o.c.
71	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	3 gal. full, 20" spread, 36" o.c.
4	NRS	Nellie R Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal. full, 40" o.c.
60	SP	Magic Carpet Spirea	<i>Spiraea japonica 'Walburna'</i>	3 gal. full, 24" o.c.
GROUND COVER/VINES/GRASS				
280	DFG	Dwarf Fountain Grass	<i>Pennisetum alopecuroides 'Little Bunny'</i>	1 gal. full, 18" o.c.
230	GL	Giant Liriope	<i>Liriope gigantea</i>	1 gal. full, 18" o.c.
75	SC	Seasonal Color		4" pots full, 12" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>	

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

LANDSCAPE TABULATIONS for Bixby OK /Regal Plaza

Site Landscape	
1. At least 15% of the streetyard shall be permanently landscaped.	
2. A minimum 10' buffer adjacent to ROW's	
3. One tree shall be provided for every 50 l.f.	
Streetyard: 30,775 s.f.	
REQUIRED	PROVIDED
4,616 s.f. (15%)	7964 s.f. (25%)
15' buffer	15' buffer
S. Memorial Drive - 157 l.f.	
3 trees, 2" cal.	3 existing trees, 2 proposed ornamental trees, 2" cal.
Parking Lot Landscape	
1. No parking space shall be located more than 50' from a landscape area. A landscape area must contain a tree.	
2. One tree shall be provided for every 10 spaces.	
Parking Stalls: 61	
REQUIRED	PROVIDED
6 trees, 2" cal.	7 proposed trees, 3" cal.; 3 existing trees
Trees	
1. One tree shall be provided for every 1,000 s.f. of streetyard.	
2. Each existing tree which is in the required streetyard and which is at least 6" in caliper and which is removed by development of the parking area shall be replaced at 2:1 and located within the streetyard. These two replacement trees shall be counted as one tree for purposes of compliance with streetyard planting requirements.	
3. Each existing tree which is located in the required streetyard and is removed by the development of the parking area and which is at least 6" in caliper shall be replaced 3:1 and located within the required streetyard.	
4. Existing trees more than 6" in caliper are considered 2 trees.	
REQUIRED	PROVIDED
5 trees, 2" cal.	7 existing trees; 3 proposed shade trees, 3" cal.; 5 proposed ornamental trees, 2" cal.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
- LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNERS' CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

SOLID SOD

- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES. AT A MINIMUM, THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
- SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH.
- LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS. NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
- TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
- SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
- SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

HYDROMULCH

- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
- FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'COMWEB' OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR APPROVED EQUAL.
- HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
- USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
- IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
- AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDS ARE IMMEDIATELY AFTER INSTALLATION TO SATURATION.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- LANDSCAPE ISLANDS SHALL BE CROWNED, AND BE UNIFORM THROUGHOUT THE SITE.
- PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
- EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
- QUANTITIES ON PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHALL BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
- WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAF 1405 WEED BARRIER OR APPROVED EQUAL.
- CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION

- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:

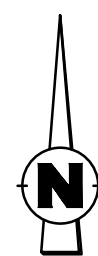
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNERS REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:

- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
- RIVER ROCK SHALL BE 1" - 3" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.

PRUNING AND TRIMMING NOTES

- CONTRACTOR SHALL PRUNE ALL EXISTING TREES ON-SITE USING STANDARD GUIDELINES IN THE INDUSTRY.
- ALL TREES SHALL BE TRIMMED SO THAT NATURAL SHAPES OF THE PLANTS ARE RETAINED.
- DO NOT TOP OR HEAD TREES.
- IF BALLING OR SHEARING OF TREES HAS OCCURRED IN THE PAST, DISCONTINUE THIS PRACTICE AND ALLOW PLANTS TO GROW INTO NATURAL SHAPE.
- REMOVE SUCKERS, DEAD, DYING, DISEASED, BROKEN AND / OR WEAK BRANCHES FROM ALL TREES ALONG THE MAIN TRUNK STRUCTURE AND WITHIN THE BRANCHING AREA.
- CONTRACTOR SHALL PRUNE EXISTING DECIDUOUS HARDWOOD BY REMOVING LOWER LIMBS TO RAISE THE CANOPY. THE BOTTOM OF THE CANOPY SHALL BE RAISED TO 12'-0" ABOVE GRADE FOR DECIDUOUS HARDWOOD TREES. WHEN POSSIBLE, THE INTEGRITY OF THE CANOPY AND STRUCTURE OF THE TREE SHALL BE MAINTAINED. DO NOT CUT OR PRUNE CENTRAL LEADERS.
- CONTRACTOR SHALL THIN THE CANOPY BY ONE-FOURTH. PRUNE TREE TO EVENLY SPACE BRANCHES WITHIN THE CANOPY WHENEVER POSSIBLE. REMOVE THOSE LIMBS THAT CROSS OTHERS, DOUBLE LEADERS AND THOSE THAT EXCESSIVELY EXTEND BEYOND THE NATURAL CROWN OF THE TREE.
- CONTRACTOR SHALL PROVIDE DEEP ROOT FEEDING AND INVIGORATION OF EXISTING TREES. THIS SHALL BE ORGANIC BASED NUTRIENTS BASED FOR ROOT GROWTH AND LEAF GROWTH STIMULATION.
- CONTRACTOR SHALL BE REQUIRED TO CHIP ALL REMOVED BRANCHES, LEAFS, ETC.



GRAPHIC SCALE



Scale 1"=20' - 0"



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DATE 07/14/2025

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SHEET NO. L-1.2

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.

- A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING

1.2 REFERENCE DOCUMENTS

- A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

- A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISIONS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:

1. PLANTING (TREES, SHRUBS, GRASSES)
1. BED PREP AND FERTILIZATION
3. NOTIFICATION OF SOURCES
4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
5. GUARANTEE

- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS

- C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK

1.4 REFERENCES

- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, 27 OCTOBER 1980, EDITION; BY AMERICAN NATIONAL STANDARDS INSTITUTE (Z60-1)- PLANT MATERIAL
- B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE, 1942 EDITION OF STANDARDIZED PLANT NAMES
- C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS

1.5 SUBMITTALS

- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
- B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
- C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENT
- B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK
- C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

1.7 SEQUENCING

- A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOD.
- B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

1.8 MAINTENANCE AND GUARANTEE

MAINTENANCE:

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
- C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOWING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
- D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE

SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION, AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE

- E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD
- G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR
- H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
- I. REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, RE-STAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.
- J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
- K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- L. REAPPLY MULCH TO BARE AND THIN AREAS.
- M. SODDED SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
- a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED FOR REPLACEMENT.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDD OR RESEEDD (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE:

- A. TREES, SHRUBS, GROUNDCOVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
- C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
- D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND REINSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER "WORK" OF THIS SECTION.
- E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
- F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE, DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
- G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.9 QUALITY ASSURANCE

- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
- C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.

- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS
- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.
- F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED
- G. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/SHE FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. PREPARATION
1. BALLED AND BURLAPPED BAB PLANTS: DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
 2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
- B. DELIVERY
1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETRIORATION DURING DELIVERY AND WHILE STORED ON SITE.
 2. DELIVER ONLY PLANT MATERIAL THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
 3. PROTECT ROOT BALLS BY HEELING IN WITH SAND/STUR OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
 4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DISCOLORATION OF LEAVES.
 5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
 6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
 7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
 8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

- A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF ROOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
- B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
- C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
- D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
- E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
- H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
- I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING

ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).

- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
- L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
- M. CALIPER MEASUREMENTS FOR STANDARD SINGLE TRUNK TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
- O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALETTE OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS

- A. SANDY LOAM:
1. FRABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLASGRASS OR NUTGRASS SHALL BE REJECTED.
 2. PHYSICAL PROPERTIES AS FOLLOWS:
 - a. CLAY - BETWEEN 7-27%
 - b. SILT - BETWEEN 15-25%
 - c. SAND - LESS THAN 52%
 3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
- IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
- B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL.
- C. PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS, PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR AID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.
- D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
- E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
- F. ORGANIC FERTILIZER: FERTILAD, SUSTANE, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
- G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UP) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS.
- H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS

- A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING, DURAEDGE STEEL OR APPROVED EQUAL.
- B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
- C. FILTER FABRIC - MIRAFI 140N BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (869-533-0444) APPROVED FABRICS MUST ADHERE TO THE FOLLOWING ITEMS:
- C.A. NONWOVEN POLYPROPYLENE GEOTEXTILE: PROVIDE EXCELLENT WATER FLOW RATES AND DURABILITY.
 - C.B. CHEMICAL STABILITY: RESISTANT TO A WIDE RANGE OF AGGRESSIVE ENVIRONMENTS.
 - C.C. HIGH PERMITTIVITY: ALLOWS HIGH WATER FLOW RATES WHILE RETAINING SOIL.
 - C.D. C.D. HIGH PUNCTURE AND TEAR RESISTANCE: CAN WITHSTAND INSTALLATION STRESSES.
- D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND.

- E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5"
- F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BARK.
- G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 1"-3" IN DIAMETER
- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURERS LABELED RATES.

PART 3 - EXECUTION

3.1 PREPARATION

- A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
- B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. SET TOP OF BED TO BE A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATION. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).
 2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
- C. GRASS AREAS:
1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPPED OPEN, THEN WATERED THOROUGHLY.

3.2 INSTALLATION

- A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED.
- B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSIT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF 8 & 9 PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
- C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
- D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
- E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO THE ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SLICK OR GLAZED.
- F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN ITS VERTICAL DIMENSION. REMOVE AND HAIL FROM SITE ALL ROCKS AND STONES OVER THE PITS.
- G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS.
- H. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK, TOPSOIL AND THE SAME AREA SHOULD BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP 1/2 OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND VIOLETS TO CONTACT TREES WILL USUALLY BE ROOT BOUND, IF SO TYPICAL STANDARD NURSERY PRACTICE OF "ROOT SCORING".
- I. DO NOT WRAP TREES.
- J. DO NOT OVER PRUNE.
- K. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS.
- L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE

SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.

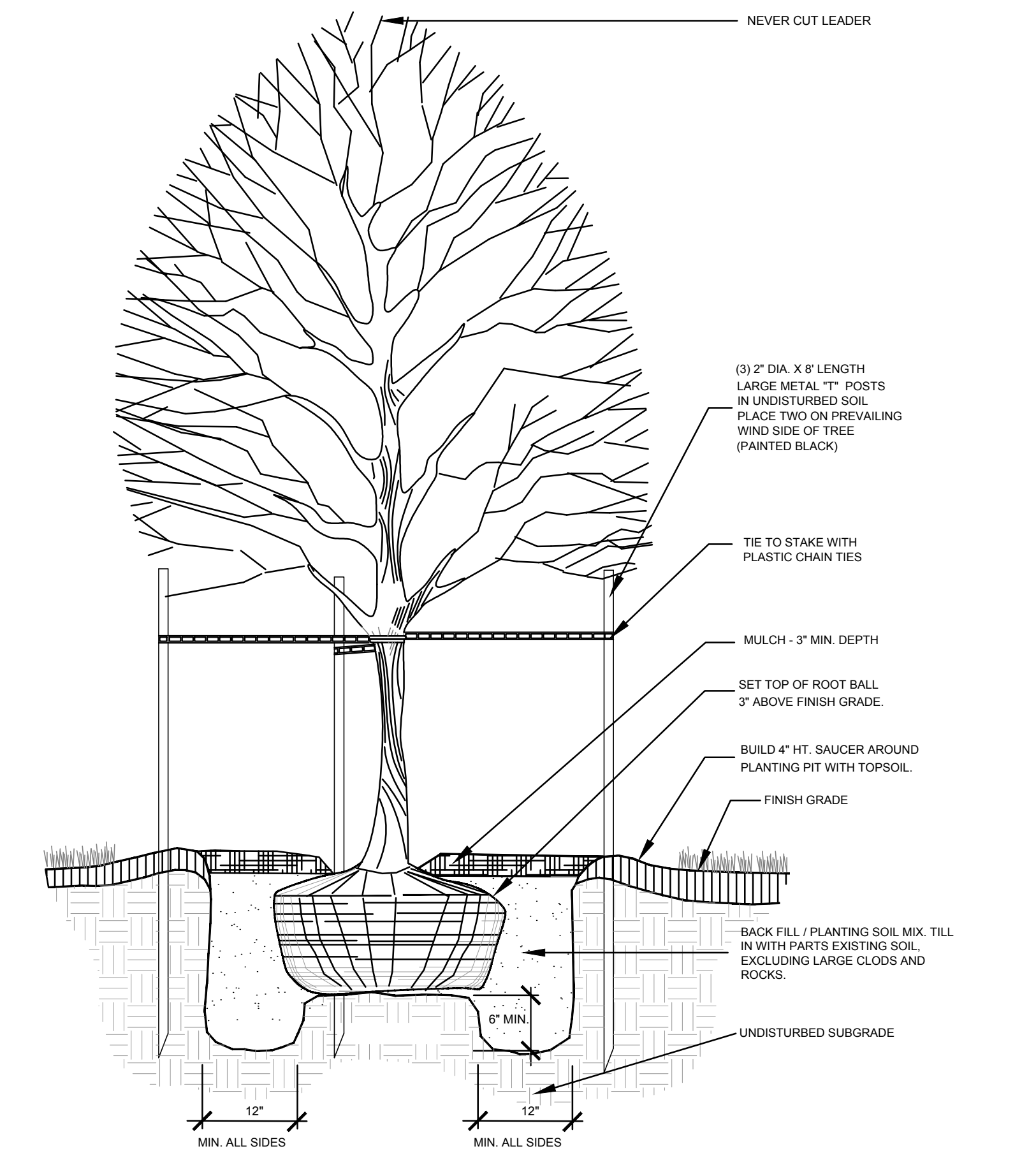
- M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
- N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.
- O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.
- P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.
- Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATION MAY BE SELECTED BY THE OWNER. WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3") FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.
- R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.
- S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE, FOLLOWING FINE CLASS PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORESTRIC ASSOCIATION.
1. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.
 2. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 3. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.

- Q. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS. STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN OWNERS APPROVAL PRIOR TO INSTALLATION.
1. ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT BENDS.
 2. TOP OF EDGING SHALL BE 1/2" MAXIMUM HEIGHT ABOVE FINAL FINISHED GRADE.
 3. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE.
 4. DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR CURBS.
5. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING MEETS SIDEWALKS OR CURBS.

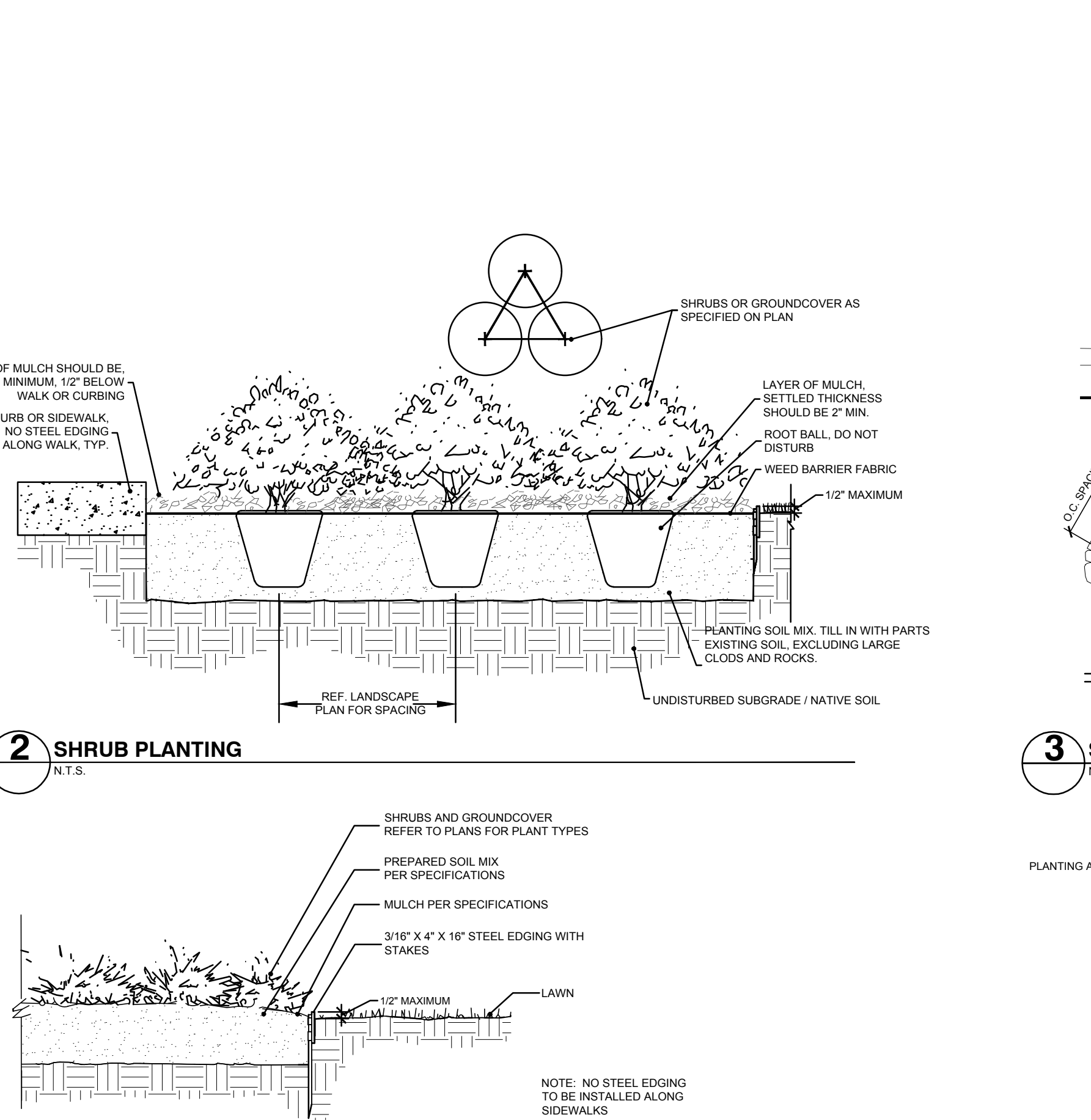
3.3 CLEANUP AND ACCEPTANCE

- A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING THEM AT END OF EACH WORK DAY.
- B. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES.
- C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
- D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- E. WHEN IF THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
- F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

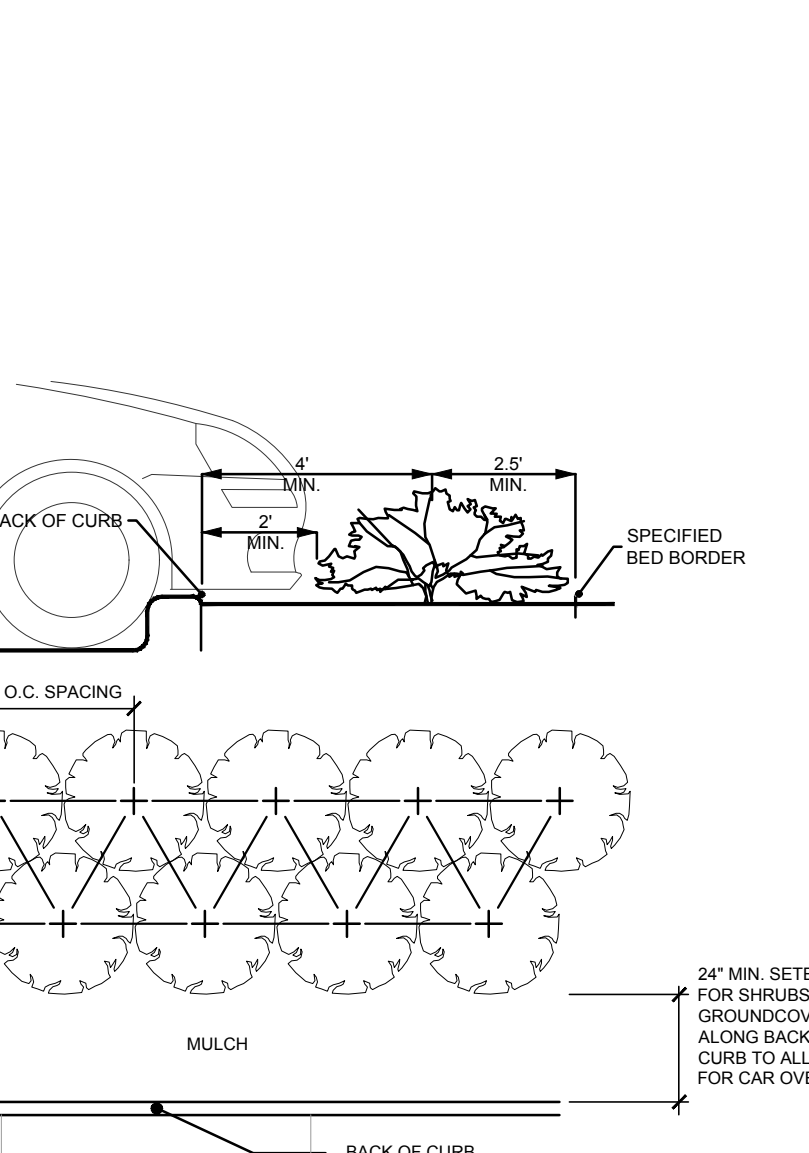
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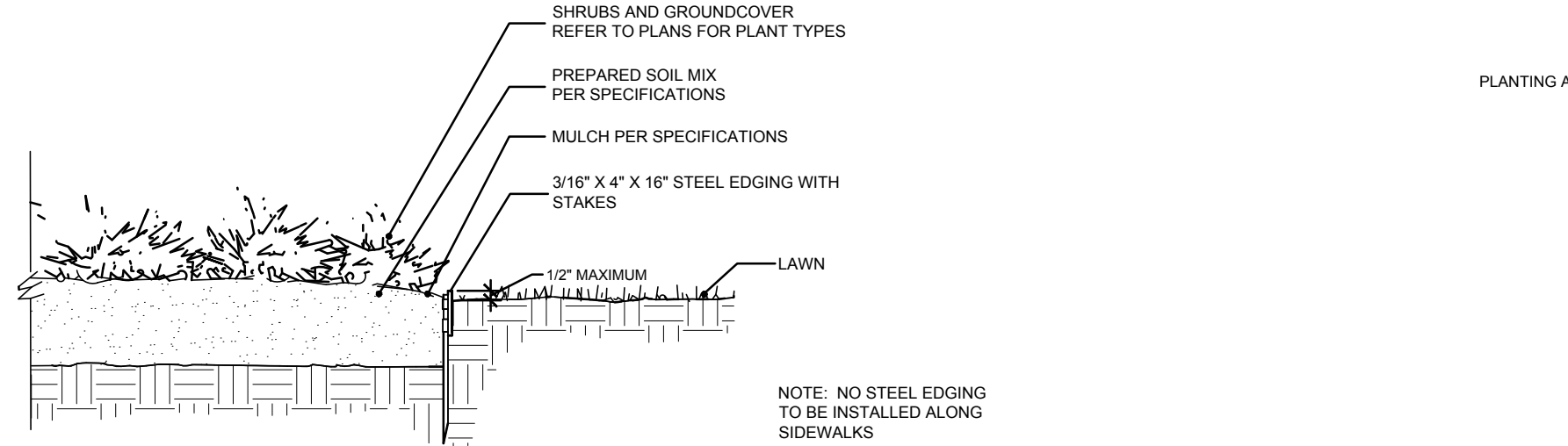
1 TREE PLANTING
N.T.S.



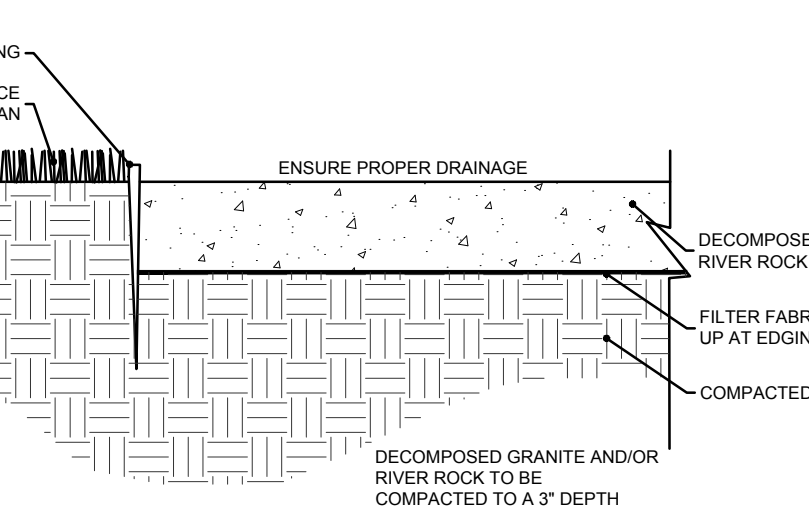
2 SHRUB PLANTING
N.T.S.



3 SHRUB SPACING AND PLANTING AT B.O.C.
N.T.S.



4 STEEL EDGING DETAIL
N.T.S.



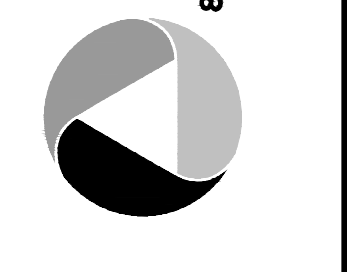
5 DECOMPOSED GRANITE / RIVER ROCK
N.T.S.



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5200 Buffington Road
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ON THE CORNER OF MEMORIAL
DRIVE & E. REGAL PL.
10437 S MEMORIAL DRIVE
CITY OF BIXBY
TULSA COUNTY, OKLAHOMA

CHICK-FIL-A
STORE #02292 CONSTRUCTION PLANS
LANDSCAPE SPECIFICATIONS
AND DETAILS

DATE 07/14/2025

REVISIONS

DRAWN BY: BG
CHECKED BY: CC
PROJECT MANAGER: CC
JOB #: 24004241
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