



City of Bixby Planning Commission Meeting Agenda

Chairman Jason Mohler
Vice Chair Josh Nave
Commissioner Tom Holland
Commissioner Lance Whisman

Monday, July 21, 2025

6:00 PM

Bixby Municipal Building
111 N Cabaniss Avenue
Bixby, OK 74008

Call to Order

Chairman

Roll Call

Secretary

Oath of Office

- 1) Administer the Oath of Office to Lance Whisman as a member of the Planning Commission.
- 2) Administer the Oath of Office to Josh Nave as a member of the Planning Commission.
- 3) Administer the Oath of Office to Tom Holland as a member of the Planning Commission.

Consent Agenda

- 1) Consider and approve the minutes of the June 16, 2025, Planning Commission Meeting.

Public Hearing

- 1) Discussion and possible action regarding the incorporation of the Greyhawk Interceptor Sewer Basin into the City's Excess Capacity Fee Structure.
- 2) Discussion, consideration, and possible action for Final Plat BXPT-22.17 FP, submitted for The Reserve at Cedar Ridge, a proposed private residential development located approximately half a mile east of South Mingo Road, near the 10500 block of East 121st Street South.

- 3) Discussion, consideration, and possible action on Rezone Case BXZO-25.07, a request to rezone property located at 12105 S. Memorial Drive, Bixby, Oklahoma, from Commercial Shopping (CS) to Commercial Heavy (CH) for Fix Auto.
- 4) Discussion, consideration and possible action on a Specific Use Permit (BXSUP-25.01) to allow Use Unit 25 (Automotive Painting) in the CH (Commercial Heavy) District for property located at 12105 S Memorial Drive, Bixby, Oklahoma.
- 5) Discussion, consideration, and possible action on the first Major Amendment (MA.01) to Planned Unit Development BXPUD-24.08, for a proposed residential development referred to as Bixby Meadows II, encompassing approximately 125.9 acres, located at the northeast corner of East 161st Street South and South Harvard Avenue.
- 6) Discussion, consideration, and possible action on the second Major Amendment (MA.02) to Planned Unit Development PUD-31, for a proposed development referred to as Bricktown Square, encompassing approximately 5.32 acres, located at 12409 S Memorial Drive, Bixby, Oklahoma.

New Business

Adjournment

Notice of Posting

This Notice and Agenda was posted on the bulletin board on July 17, 2025, at or before 6:00 p.m., at City Hall, 111 N Cabaniss Avenue, Bixby, Oklahoma.

Respectfully Submitted

Gladys Gill
Assistant Planner I

For Special Accommodations

Individuals requiring special accommodations to participate in this meeting must contact Shannon Duran, City Clerk, at 116 West Needles Avenue, Bixby, Oklahoma, 918-366-4430 or via Email: SDuran@bixbyok.gov at least 48 hours before the meeting. TDD users must contact Oklahoma Relay at 1-800-722-0353, and voice calls should be made to 1-800-522-8506 to facilitate communication between hearing telephone users and TDD users.

Please Note: All cell phones and pagers must be turned off or operated silently during all meetings.

21 O.S. Section 280 provides the following: A. It is unlawful for any person, alone or in concert with others and without authorization, to willfully disturb, interfere or disrupt state business, agency operations or any employee, agent, official or representative of the

state. B. It is unlawful for any person who is without authority or who is causing any disturbance, interference or disruption to willfully refuse to disperse or leave any property, building or structure owned, leased or occupied by state officials, employees, agents or representatives or used in any manner to conduct state business or operations after proper notice by a peace officer, sergeant-at-arms, or other security personnel. C. Any violation of the provisions of this section shall be a misdemeanor punishable by imprisonment in the county jail for a term Oklahoma Statutes - Title 21. Crimes and Punishments Page 94 of not more than one (1) year, by a fine not exceeding One Thousand Dollars (\$1,000.00), or by both such fine and imprisonment. D. For purposes of this section, “disturb, interfere or disrupt” means any conduct that is violent, threatening, abusive, obscene, or that jeopardizes the safety of self or others.

Planning Commission Meeting Minutes

Bixby Municipal Building
111 N Cabaniss Avenue
Bixby, OK 74008
June 16, 2025 at 6:00 PM

Call to Order

Chairman Jason Mohler opened the Planning Commission meeting at 6:12 PM.

Roll Call

Secretary Gladys Gill called the roll, and the following were present:

Members Present

Jason Mohler, Chairman
Josh Nave, Vice Chair
Tom Holland, Commissioner
Lance Whisman, Commissioner

Staff Present

John Hammons, City Attorney
Gladys Gill, Secretary/Assistant Planner

Consent Agenda

Consider and approve the minutes of the April 21, 2025, Planning Commission Meeting.

Chairman Mohler called for a motion to approve the minutes from the April 21, 2025, meeting. Vice Chair Nave made the motion, which was seconded by Commissioner Holland. The vote results were as follows:

Motion carried: 4-0

Ayes: Nave, Holland, Whisman, Mohler
Nays: 0

Public Hearing

Discuss and/or take action on the appointment of a Planning Commission member to serve on City of Bixby Tax Increment Financing District No. 1 Review Committee to consider amendments to Ordinance No. 2297 creating City of Bixby Tax Increment Financing District No. 1.

Chairman Jason Mohler introduced Item 1 on the agenda for discussion and consideration.

City Attorney John Hammon provided the board with background information on the TIF Review

Committee and its purpose. He also explained that one member of the board would need to be appointed and that this would involve at least two meetings.

Commissioner Tom Holland stated that he would be willing to participate in the TIF Review Committee.

Vice Chair Nave made a motion to appoint Commissioner Holland to serve on the TIF Review Committee. Commissioner Whisman seconded the motion.

Discussion, consideration, and possible vote to approve the resubmittal of Preliminary Plat BXPT-22.03, submitted for Bixby Business Park, a proposed commercial development within the Sitrin Center Addition located near South Kimberly-Clark Place and East 146th Street South.

Chairman Jason Mohler introduced Item 2 on the agenda for discussion and consideration.

Gladys Gill provided the Commission with an overview of the proposed Preliminary Plat BXPT-22.03 for Bixby Business Park. Chairman Mohler requested clarification on why the Preliminary Plat had been resubmitted. Ms. Gill stated that Preliminary Plats expire after a year, which is why the applicant needed to resubmit the Preliminary Plat.

Chairman Mohler asked for a motion on item 2. Commissioner Holland made a motion to approve the Preliminary Plat BXPT-22.03. Commissioner Whisman seconded the motion. The vote was recorded as follows:

Ayes: Holland, Whisman, Nave, Mohler

Nays: 0

Motion carried: 4-0

Discussion, consideration, and possible vote to approve the resubmittal of Preliminary Plat BXPT-21.17, submitted for a project currently known as 141st & Lewis Phase I, a proposed residential development located near East 141st Street South and South Lewis Avenue.

Chairman Jason Mohler introduced Item 3 on the agenda for discussion and consideration.

Gladys Gill presented the Commission with an overview of the proposed Preliminary Plat BXPT-21.17 for the 141st & Lewis Phase I project. Alen Betchan from AAB provided a comprehensive background and the current status of the proposed Preliminary Plat.

Chairman Mohler inquired whether the proposed Preliminary Plat aligned with the approved Planned Unit Development (PUD). Ms. Gill confirmed that it is indeed in alignment with the approved PUD.

Chairman Mohler asked for a motion on item 3. Commissioner Whisman made a motion to approve Preliminary Plat BXPT-21.17 with staff comments. Chairman Mohler seconded the motion. The vote was recorded as follows:

Ayes: Whisman, Mohler, Holland, Nave

Nays: 0

Motion carried: 4-0

Discussion, consideration, and possible vote to approve a Preliminary Plat BXPT-25.02, submitted for Legends Reserve, a proposed residential development near East 111th Street South and South Mingo Road.

Chairman Jason Mohler introduced Item 4 on the agenda for discussion and consideration.

Gladys Gill presented the Commission with an overview of the proposed Preliminary Plat BXPT-25.02 for Legends Reserve. Commissioner Whisman requested clarification regarding the Engineering Memo. Ms. Gill stated that all the comments from Engineering would need to be complied with or addressed by the time the Final Plat is submitted. Ryan McCarty with Select Design then addressed the Commission, offering additional details and stating that they had addressed most of the Engineering comments and would continue to work with the City Engineer during all phases of the project.

Chairman Mohler inquired whether the proposed Preliminary Plat aligned with the approved Planned Unit Development (PUD). Ms. Gill confirmed that it is indeed in alignment with the approved PUD.

Chairman Mohler asked for a motion on item 4. Vice Chair Nave made a motion to approve Preliminary Plat BXPT-25.02 with staff and engineering comments. Commissioner Whisman seconded the motion. The vote was recorded as follows:

Ayes: Nave, Whisman, Holland, Mohler

Nays: 0

Motion carried: 4-0

Discussion, consideration, and possible vote to approve a Final Plat BXPT-22.17 FP, submitted for The Reserve at Cedar Ridge, a proposed private residential development located approximately half a mile east of South Mingo Road, near the 10500 block of East 121st Street South.

Chairman Jason Mohler introduced Item 5 on the agenda for discussion and consideration.

Gladys Gill presented the Commission with an overview of the proposed Final Plat BXPT-22.17 FP for The Reserve at Cedar Ridge. Vice Chair Nave inquired whether the Final Plat could still be approved despite some outstanding Engineering Comments. Ms. Gill confirmed that, while it is unusual to have engineering comments unresolved during the Final Plat stage, the applicant will address all comments prior to the City Council's consideration and approval.

Erik Enyart of Tanner Consulting, LLC, addressed the Commission to provide additional background on the project. Justin Morgan with Tanner Consulting, LLC, gave further background and clarification to the Commission's questions. Discussion ensued.

At the recommendation of the City Attorney, the Commission tabled Final Plat BXPT-22.17 FP for The Reserve at Cedar Ridge due to the Final Plat not being fully approved by staff.

Chairman Mohler asked for a motion on item 5. Commissioner Whisman made a motion to table Final Plat BXPT-22.17 FP. Vice Chair Nave seconded the motion. The vote was recorded as follows:

Ayes: Whisman, Nave, Holland, Mohler

Nays: 0

Motion carried: 4-0

Discussion and possible action to approve Rezone Case BXZO-25.04, a request to rezone approximately 40 acres from Agriculture (AG) to Residential Single-Family (RS-2), for a future residential development currently referred to as Binney or Bixby Plains, generally located southeast of South 90th Avenue East and East 163rd Street South.

Chairman Jason Mohler introduced Item 6 on the agenda for discussion and consideration.

Gladys Gill presented the Commission with an overview of the proposed Rezone Case BXZO-25.04, known as Binney or Bixby Plains.

Justin Morgan of Tanner Consulting, LLC, provided the Commission with further background and clarification regarding the rezoning of the 40 acres.

Chairman Mohler opened the floor to public comments.

A nearby resident addressed the Planning Commission to express her concerns about the area's infrastructure.

Chairman Mohler asked for a motion on item 6. Chairman Mohler made a motion to approve Rezone Case BXZO-25.04. Vice Chair Nave seconded the motion. The vote was recorded as follows:

Ayes: Mohler, Nave, Whisman, Holland

Nays: 0

Motion carried: 4-0

Discussion and possible action to approve Rezone Case BXZO-25.02, a request to rezone approximately 102 acres from Agriculture (AG) to Residential Single-Family (RS-2.5), for a proposed residential development referred to as Bixby Farms located near the 14600 block of South Sheridan Road.

Chairman Jason Mohler introduced Items 7 and 8 on the agenda for discussion and consideration.

Mrs. Gladys Gill provided an overview of the proposed rezoning and Planned Unit Development (PUD) for the Bixby Farms project.

Mr. Nathan Cross, the applicant, was present to answer questions and offered additional background and clarification regarding the proposed development. Commissioner Holland inquired about the

depth of each lot. Mr. Cross responded that the zoning code does not regulate or define lot depth. He continued to explain the zoning and PUD requests in further detail. A general discussion followed. Vice Chair Nave expressed concern regarding the overall scale of the project, noting that the development appeared to have tripled in size.

Chairman Mohler opened the floor for public comment:

- Traci Robert raised concerns about the well-being of a pair of eagles nesting on the property, as well as potential impacts to public safety and emergency response times.
- Gayli Hanry voiced concerns about the condition of roads in and around the proposed development site.

Commissioner Holland responded, advising Ms. Hanry to contact her City Council representative regarding road improvements.

- Barbara Coleman also expressed concerns about traffic impacts, road conditions, and the presence of the eagle nest on the property.

Chairman Mohler then closed the public comment portion of the meeting. He asked the Commission if there were any further questions or comments. Vice Chair Nave clarified that the Commission was generally comfortable with the proposed RS-2.5 zoning for the original 40-acre portion of the site.

Mr. Cross addressed the Commission again, stating that the proposed zoning is appropriate for the area. Discussion among the Commissioners continued.

Chairman Mohler then permitted an additional speaker:

- Ajay Sangal asked for clarification on the criteria the Commission considers when approving or denying zoning cases.

Vice Chair Nave explained that zoning decisions are made in accordance with the City's Comprehensive Plan. Commissioner Holland added that the community participated in shaping the Comprehensive Plan.

City Attorney John Hammons provided additional legal context regarding the Commission's role and statutory considerations in zoning matters.

Chairman Mohler asked for a motion on item 7. Vice Chair Nave motioned to approve rezone BXZO-25.02 with staff comments. Chairman Mohler seconded the motion. The vote was taken with the following results:

Ayes: Nave, Mohler, Whisman, Holland

Nay: 0

Motion carried: 4-0

Discussion, consideration, and possible vote to approve Planned Unit Development BXPUD-25.01, for a proposed residential development referred to as Bixby Farms, encompassing approximately 141 acres, located near the 14600 block of South Sheridan Road.

Chairman Mohler asked if there were any additional comments on item 8 regarding the proposed Planned Unit Development (PUD) BXPUD-25.01.

Mr. Nathan Cross provided a brief recap of the PUD request.

Commissioner Holland requested clarification from Mr. Cross regarding the proposed density and how the square footage per dwelling unit is calculated. A discussion followed between the applicant and the Commission members.

Chairman Mohler then called for a motion on Item 8. Chairman Mohler made a motion to approve PUD BXPUD-25.01, and Commissioner Whisman seconded the motion. The vote was taken with the following results:

Ayes: Mohler, Whisman

Nay: Holland, Nave

Tied vote: 2-2

Following the vote, Chairman Mohler requested guidance from City Attorney John Hammons regarding the proper procedure for a tied vote. Mr. Hammons clarified that in the event of a tie, the item proceeds to the City Council without a recommendation from the Planning Commission.

Discussion and possible action to approve Rezone Case BXZO-25.04, a request to rezone approximately 34 acres from Agriculture (AG) to Residential Single-Family (RS-2) and Commercial General (CG), for a proposed residential development referred to as Greyhawk, located near 12915 South Mingo Road.

Chairman Mohler introduced Items 9 and 10 on the agenda.

Mrs. Gladys Gill provided an overview of the proposed development known as Greyhawk, which included zoning and a major amendment to PUD BXPUD-24.01.

Chairman Mohler inquired about the original approval date of the Planned Unit Development (PUD). Mrs. Gill confirmed that the PUD was approved in 2024.

The applicant and developer, Mr. Dave Cocolin, addressed the Commission and provided additional background and context regarding the proposed development and PUD amendment.

Vice Chair Nave asked Mr. Cocolin whether he would consider increasing the masonry requirement from 75% to 100% for the entire development. Mr. Cocolin responded that he was not prepared to make that modification to the proposed PUD amendment at this time.

Chairman Mohler then called for a motion to approve Rezone Case No. BXZO-25-04. Commissioner Holland made a motion to approve the rezone, which was seconded by Commissioner Whisman. A roll call vote was taken with the following results:

Ayes: Holland, Whisman, Nave, Mohler

Nays: None

Motion carried: 4-0

Discussion, consideration, and possible vote to approve the first Major Amendment (MA.01) to Planned Unit Development BXPUD-24.01, for a proposed residential development referred to as Greyhawk, encompassing approximately 139.2 acres, located at the northeast corner of East 131st Street South and South Mingo Road.

Chairman Mohler asked if any members of the Commission or the applicant had additional comments regarding the proposed PUD.

Both the Commission and the applicant indicated that they had no further comments.

Chairman Mohler then called for a motion to approve the Major Amendment for Planned Unit Development Case No. BXPUD-24.01 MA.01. Commissioner Holland made a motion to approve the PUD. Commissioner Whisman seconded the motion. A roll call vote was taken with the following results:

Ayes: Holland, Whisman, Mohler

Nay: Nave

Motion carried: 3-1

Adjournment

Adjournment was called at 8:41 pm

Chairman

Secretary

BIXBY PLANNING COMMISSION
SIGN IN SHEET
DATE: June 16, 2025

NAME	ADDRESS	EMAIL	ITEM
✓ 1. Traci Robert	6021 E 149 th St	awdtraci37@gmail	BX 2024.06
✓ 2. Gayle Darnay	6461 E 148 th St	gaylehdarnay@gmail.BX	
✓ 3. Barbara Coleman	6431 E 148 th St	BMICKEY@YAHOO.COM	
✓ 4. Arjay Sanson	6281 E 140 th St	Liksonja@gmail.com	
5. _____	_____	_____	_____
6. _____	_____	_____	_____
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13. _____	_____	_____	_____

Bixby
Forms

REGULAR AGENDA ITEM COMMENTARY

ITEM TITLE: DISCUSS AND/OR APPROVE AN ORDINANCE ADDING A GRAY-HAWK INTERCEPTOR EXCESS CAPACITY FEE, ADDING ATTACHMENTS “E” AND “F”, AND UPDATING ATTACHMENT “A” TO ORDINANCE 2486; AND DECLARING AN EMERGENCY.

INITIATOR: Bea Aamodt

STAFF INFORMATION SOURCE: Bea Aamodt

BACKGROUND:

The purpose of this ordinance is to amend Ordinance 2486 by incorporating the Gray-Hawk Interceptor sewer basin into the Excess Capacity Fee Structure. This ordinance establishes a per-acre fee for both residential and commercial development within the newly defined Gray-Hawk Basin. It also includes the addition of Attachments “E” and “F” and updates Attachment “A” to delineate the affected areas and provide clarification. The ordinance formalizes the reimbursement of public infrastructure costs from developers benefiting from the interceptor project and ensures equitable contributions toward existing capacity improvements.

EXHIBITS: Excess Capacity Fee Ordinance – Gray-Hawk Interceptor

KEY ISSUE: Inclusion of Gray-Hawk Interceptor in Excess Capacity Fee structure and update of related attachments

COUNCIL ACTION: Approve Ordinance

RECOMMENDATION: Approve Ordinance

ITEM NO: _____

MEETING DATE: 06-09-2025

MEETING: City Council

ORDINANCE NO. _____

AN ORDINANCE AMENDING ORDINANCE 2486 BY ADDING A GRAY-HAWK INTERCEPTOR EXCESS CAPACITY FEE, ADDING ATTACHMENTS “E” AND “F”, AND UPDATING ATTACHMENT “A”

WHEREAS, the City of Bixby, Oklahoma, acknowledging the necessary cost and expense in the expansion of excess capacity fees for the Gray-Hawk interceptor;

WHEREAS, the City of Bixby, Oklahoma, adopted an Excess Capacity Fee Structure under Ordinance 2486;

WHEREAS, Ordinance 2486 shall remain in effect and amended with this Ordinance to add the Gray-Hawk Interceptor sewer basin and associated fees per acre;

WHEREAS it is necessary to adjust the fee structure as well as establish a fee structure for cost and future construction projects;

IT IS HEREBY ORDAINED BY THE COUNCIL OF THE CITY OF BIXBY, OKLAHOMA:

Section 1. The City of Bixby finds that it is necessary in the public’s interest that the public be reimbursed for the special benefit conferred by the City to properties within the Gray-Hawk Interceptor basins identified in the attached Exhibits “A”, “E”, “F”

Section 2. There are hereby established excess capacity fees that shall be paid by individuals or business entities specifically benefiting from the City of Bixby’s construction and completion of the Interceptor projects within the Gray-Hawk Basin

Section 3. The Excess Capacity Fee shall be paid to the City by those individuals and business entities developing as yet unplatted parcels of land identified in Exhibit “A,” “E”, and “F” on or before the parcels are subdivided and platted, or, if already platted or remaining unplatted, on or before a building permit is issued for expanded or intensified redevelopment and use. After an Excess Capacity Fee is paid for a parcel of land, the Fee shall not be charged on that parcel again.

Section 4. The amount of the Excess Capacity Fee paid for development or intensified development on the properties shall be as follows:

Basin	Residential Cost/Acre	Commercial Cost/Acre	Township, Range, Section	Seen In Attachments
Gray-Hawk	\$7,100	\$7,100	T: 17N R: 13E, 14E S: 01,06	<ul style="list-style-type: none">• A• E• F

For parcels less than an acre, the amount shall be a pro rata percentage of the per acre amount.

Section 5. The City Engineer shall administer the assessment of these Excess Capacity Fees. Any grievance from an individual or business entity over the assessment of any Excess Capacity Fee shall be referred to the Bixby City Manager for resolution, subject to an appeal to the City Council filed with the City Clerk within ten (10) calendar days of the City Manager’s final resolution. Once filed, the City Council shall commence a hearing on the grievance within thirty (30) calendar days.

Section 6. SEVERABILITY CLAUSE. If any section, sentence, clause, or phrase of this ordinance or any part is for any reason found to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the remainder of this ordinance or any part thereof.

APPROVED in an open meeting of the Bixby City Council and PASSED by an affirmative majority vote of the entire membership of the City Council, to-wit: ____-YES, ____-NO, ____-ABSTAINING, ____-ABSENT, on this _____ day of _____ 2025.

MAYOR, City of Bixby, Oklahoma

Section 6. EMERGENCY CLAUSE. That because this Ordinance is essential to the proper and orderly growth of the City of Bixby, an Emergency is now declared to exist for the preservation of the public peace, health, and safety, by reason whereof a second reading of this ordinance is waived and this Ordinance shall take effect and be in force immediately upon its passage.

APPROVED as an Emergency Measure ruled upon separately and PASSED by an affirmative majority vote of at least four-fifths (4/5) of the entire membership of the Bixby City Council, to wit: ____-YES, ____-NO, ____-ABSTAINING, ____-ABSENT, on this _____ day of _____ 2025.

MAYOR, City of Bixby, Oklahoma

SIGNATURES CONTINUE ON NEXT PAGE

(Seal)

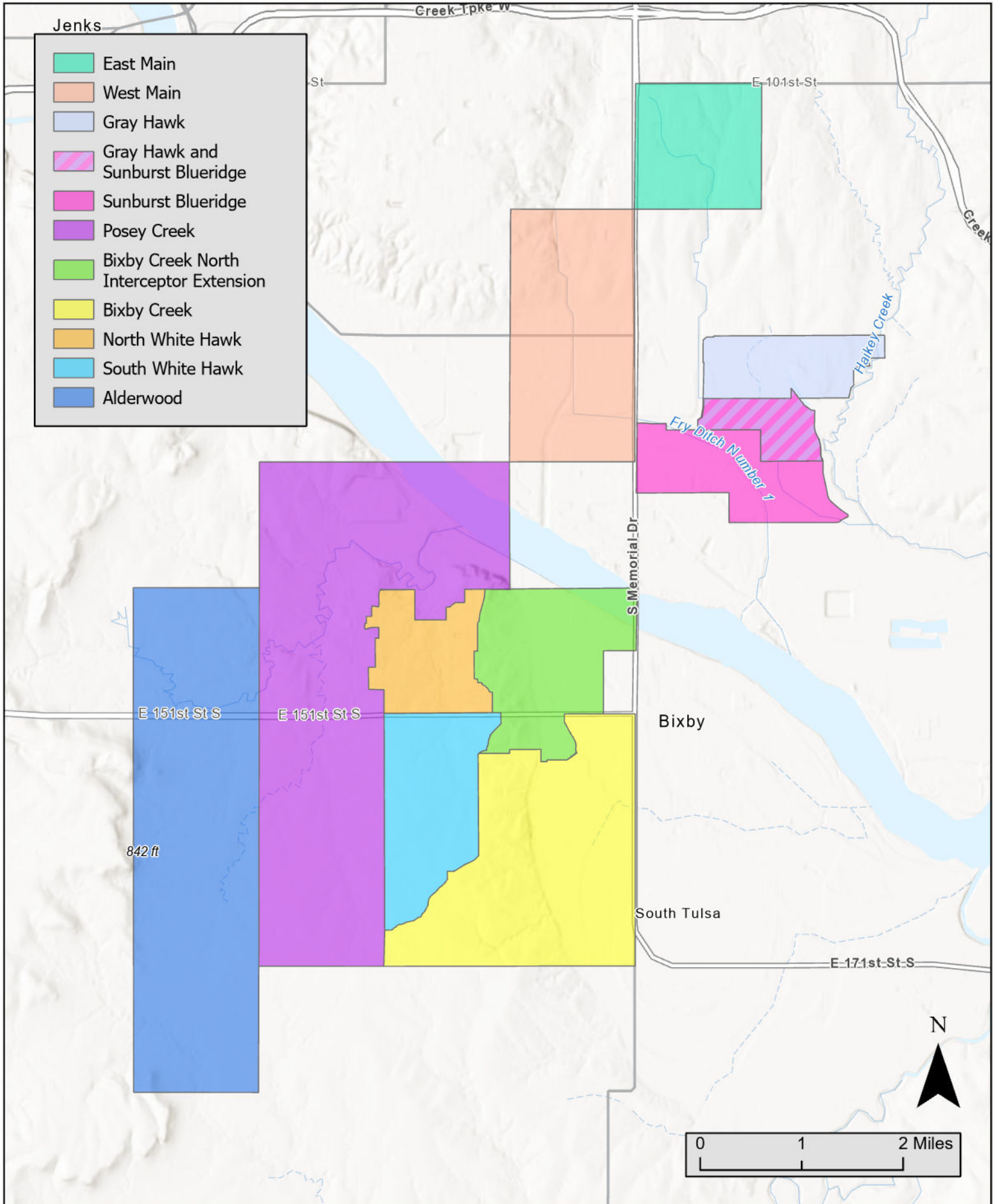
ATTEST:

SHANNON DURAN, City Clerk

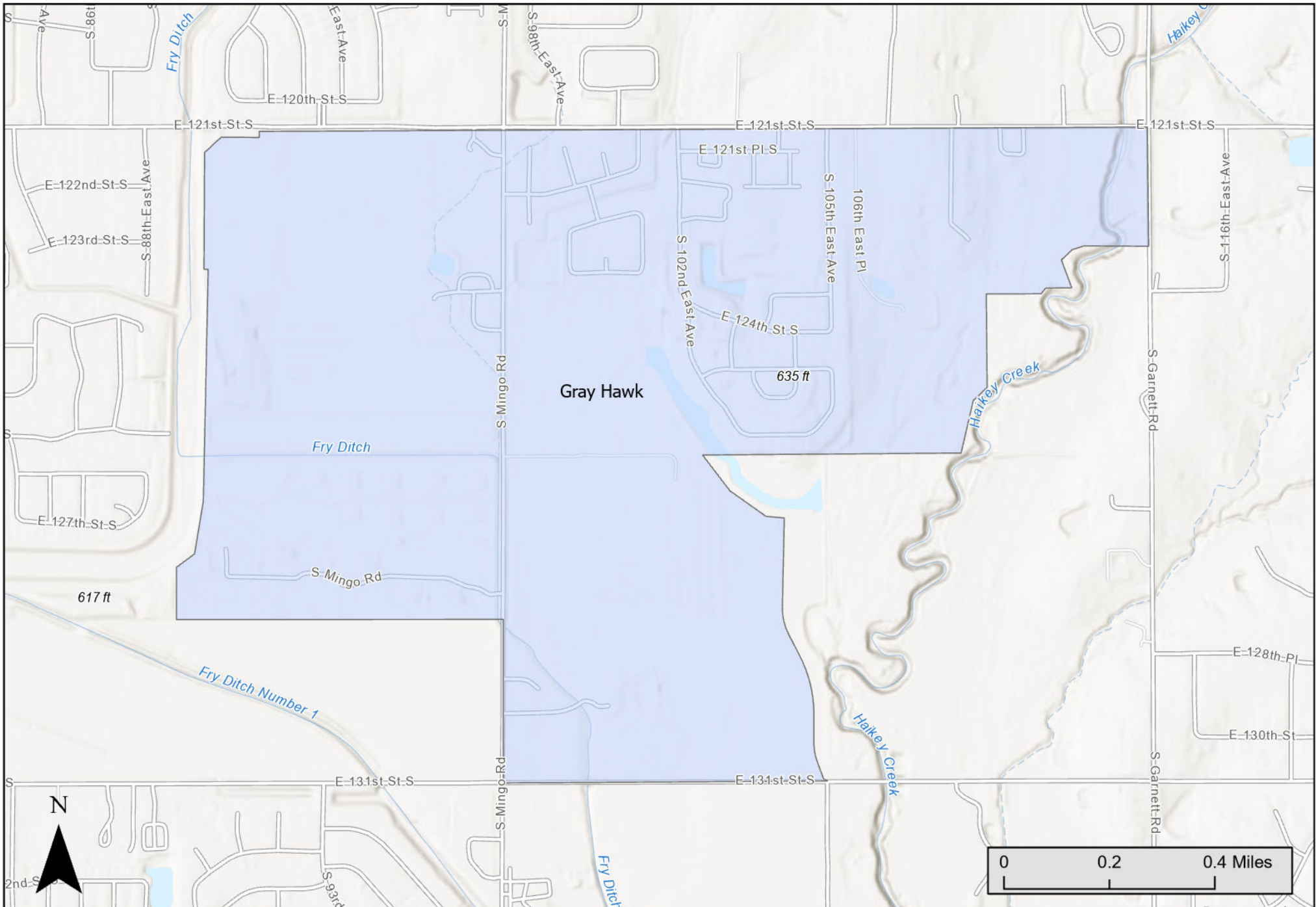
APPROVED AS TO FORM:

JOHN T. HAMMONS, City Attorney

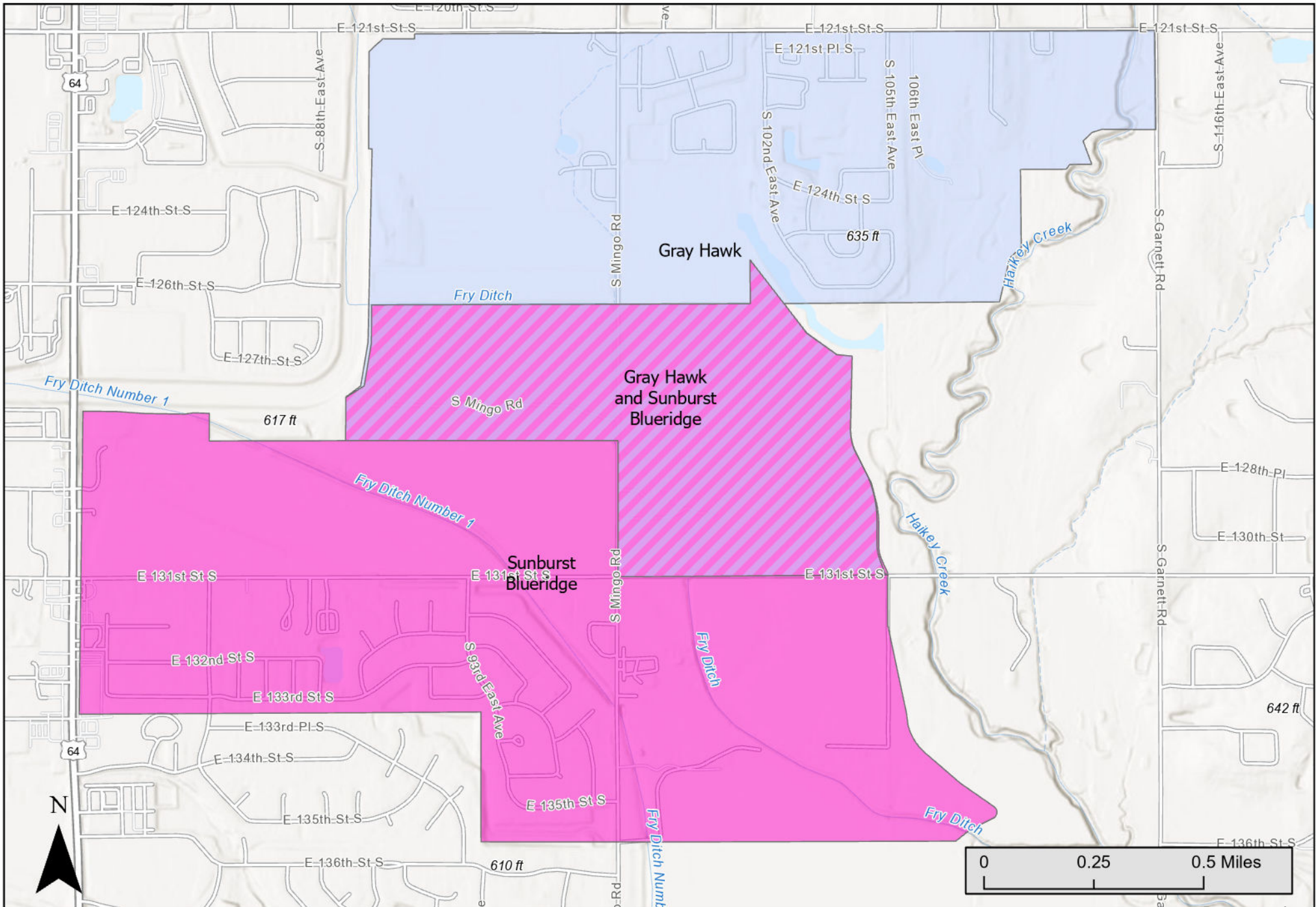
Interceptor Expansion Excess Capacity Fee Regions - Attachment A



Interceptor Expansion Excess Capacity Fee Regions - Attachment E



Interceptor Expansion Excess Capacity Fee Regions - Attachment F





STAFF REPORT

TO: Planning Commission

FROM: Gladys Gill, Planner

DATE: June 16, 2025

NAME: The Reserve at Cedar Ridge

CASE(S): **FINAL PLAT** | BXPT-22.17 FP

LOCATION: Approximately half a mile east of South Mingo Road near the 10500 block of East 121st Street South

EXISTING ZONING: Residential Single-Family (RS-1)

PROPOSED ZONING: N/A

STR: Section 6, Township 17N, Range 14E

APPLICANT: Tanner Consulting, LLC

REQUEST:

Tanner Consulting is requesting approval of the Final Plat for The Reserve at Cedar Ridge, a 32.312-acre residential subdivision zoned RS-1 with supplemental zoning via BXPUD-22.07.

Site Stats:

Acres: 32.312 +/-	Min. Lot Width: 120 ft.	DU/acre: 1.08	Min. Dwelling Sq. Ft: 4,000
Number of Lots: 30	Number of Blocks: 4	Reserve Areas: 5	Max. Bldg. Height: 35 ft.

Abutting Zoning; Use:

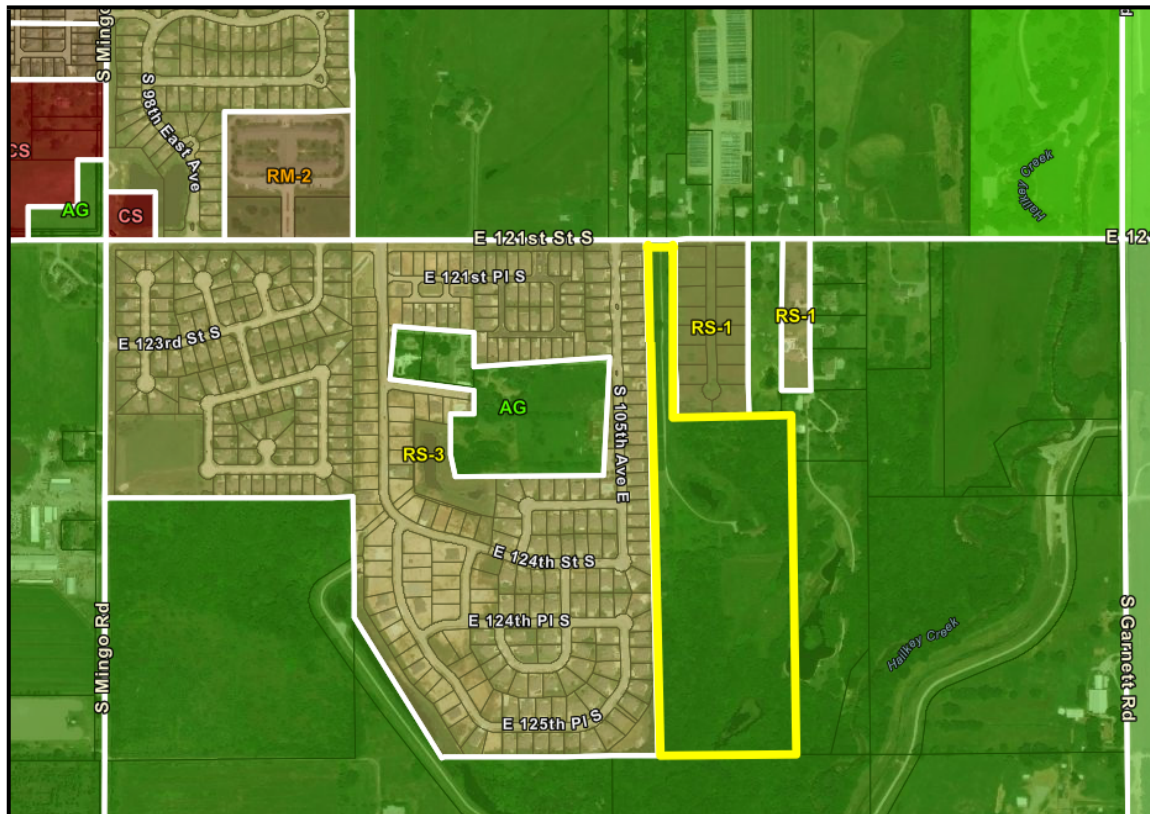
North: (AG) Agriculture, Single-Family Dwellings; (RS-1) Residential Single-Family, Lon-Jan Addition

East: (AG) Agriculture, Single-Family Dwellings

South: (AG) Agriculture, Vacant

West: (RS-3) Residential Single-Family Dwellings, Chisholm Ranch

Figure 1: City of Bixby Zoning Map



Public Comments:

Plats are not subject to public advertising, and no public comments were received at the time of writing.

Engineering Review Comments: Tanner Consulting has actively coordinated with the City Engineer throughout the review process. While most engineering comments have been addressed, one item remains unresolved:

- Utility Easement Width: The City’s standard requires a 17.5-foot utility easement along the western boundary.

As of June 30, 2025, all other engineering comments had been resolved. However, Tanner Consulting is requesting a modification to the utility easement width requirement, which must be approved by the City Council.

See attached Engineering Memo dated June 3, 2025, and City/Engineering/TAC Review Comments dated June 30, 2025.

Waiver/Modification Request:

Tanner Consulting submitted a formal request dated June 5, 2025, seeking a modification or waiver from Subdivision Regulations §12-3-3(A) to allow utility easements (U/E) of 11 feet and 15 feet along the western boundary instead of the standard 17.5 feet. This request is based on the presence of an existing 17.5-foot U/E within Chisholm Ranch and coordination with the City Engineer and utility providers. The design avoids redundancy and allows room for future improvements, such as retaining walls, while preserving buildable space for homeowners who may desire backyard amenities like pools.

See Waiver Request Letter dated June 5, 2025.

Staff Comments

Staff has reviewed the conditional final plat and finds it consistent with the previously approved Planned Unit Development (BXPUD-22.07) for The Reserve at Cedar Ridge. The PUD was recommended for approval by the Planning Commission on October 17, 2022, and approved by the City Council on October 24, 2022, through Ordinance No. 2422, which included an emergency clause and took effect immediately. A minor amendment to the PUD was later approved by the Planning Commission on September 16, 2024, reducing the front and exterior side yard setbacks from 35 feet to 30 feet.

Staff has no objection to the approval of Final Plat BXPT-22.17 FP for The Reserve at Ceda Ridge.

Figures: Figure 1: City of Bixby Zoning Map

Attachments: Conditional Final Plat with Deed of Dedication
Street Light Plan
Engineering Memo dated June 3, 2025
Waiver Request Letter dated June 5, 2025
City/Engineering/TAC Review Comments dated June 30, 2025

Conditional Final Plat

BXPUD-22.07

The Reserve at Cedar Ridge

PART OF THE WEST HALF OF THE NORTHEAST QUARTER (W/2 NE/4) OF SECTION SIX (6), TOWNSHIP SEVENTEEN (17) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN MERIDIAN A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

DEED OF DEDICATION & RESTRICTIVE COVENANTS

KNOW ALL PERSONS BY THESE PRESENTS:

SOONER DEVELOPMENT GROUP – CR RESERVE, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, HEREINAFTER REFERRED TO AS THE "DEVELOPER", IS THE OWNER OF THE FOLLOWING DESCRIBED LAND IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA:

A TRACT OF LAND THAT IS PART OF THE WEST HALF OF THE NORTHEAST QUARTER (W/2 NE/4) OF SECTION SIX (6), TOWNSHIP SEVENTEEN (17) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN MERIDIAN, IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF "CHISHOLM RANCH", AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF (PLAT NO. 6325); THENCE NORTH 88°37'46" EAST AND ALONG THE NORTH LINE OF SAID W/2 NE/4, FOR A DISTANCE OF 150.00 FEET TO A POINT AT THE NORTHWEST CORNER OF "LON-JAN ADDITION", AN ADDITION IN TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF (PLAT NO. 2708);

THENCE SOUTH 2°22'17" EAST AND ALONG THE WEST LINE OF SAID "LON-JAN ADDITION", FOR A DISTANCE OF 900.00 FEET; THENCE NORTH 88°37'46" EAST AND ALONG THE SOUTH LINE OF SAID ADDITION, AND ITS EXTENSION, FOR A DISTANCE OF 600.00 FEET; THENCE SOUTH 1°14'01" EAST FOR A DISTANCE OF 1,735.76 FEET TO A POINT ON THE SOUTH LINE OF SAID W/2 NE/4; THENCE SOUTH 88°29'08" WEST AND ALONG SAID SOUTH LINE, FOR A DISTANCE OF 715.50 FEET THE SOUTHEAST CORNER OF SAID "CHISHOLM RANCH"; THENCE NORTH 2°22'17" WEST AND ALONG THE EAST LINE OF "CHISHOM RANCH", FOR A DISTANCE OF 2,637.82 FEET TO THE POINT OF BEGINNING;

SAID TRACT CONTAINING 1,407,525 SQUARE FEET, OR 32.312 ACRES.

THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83); SAID BEARINGS ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING MONUMENTS:

- 5/8" IRON PIN WITH YELLOW CAP FOUND AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER (NE/4) OF SECTION 6;
 - ALUMINUM CAP FOUND AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER (NE/4) OF SECTION 6;
- THE BEARING BETWEEN SAID MONUMENTS BEING NORTH 88°37'46" EAST.

DEVELOPER HAS CAUSED THE ABOVE DESCRIBED LAND TO BE SURVEYED, STAKED, PLATTED, GRANTED, DONATED, CONVEYED, DEDICATED, AND SUBDIVIDED INTO BLOCKS, LOTS, RESERVE AREAS, AND STREETS, AND HAS DESIGNATED THE SAME AS "THE RESERVE AT CEDAR RIDGE", A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA (THE "SUBDIVISION").

SECTION I - STREETS, EASEMENTS, AND UTILITIES

A. STREETS AND GENERAL UTILITY EASEMENTS

THE DEVELOPER HEREBY GRANTS, DONATES, CONVEYS, AND DEDICATES FOR PUBLIC USE THE STREET "EAST 121ST STREET SOUTH" AS DEPICTED ON THE ACCOMPANYING PLAT AND FURTHER DEDICATES FOR PUBLIC USE THE UTILITY EASEMENTS AS DEPICTED ON THE ACCOMPANYING PLAT AS "U/E" OR "UTILITY EASEMENT" FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING SANITARY SEWERS, COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATERLINES, AND PUBLIC AND PRIVATE STORM SEWERS, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS, AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO, OVER, AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES AFORESAID, TOGETHER WITH SIMILAR EASEMENT RIGHTS IN THE PUBLIC STREET EAST 121ST STREET SOUTH, PROVIDED HOWEVER, DEVELOPER HEREBY RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY, REPAIR, REPLACE, AND REMOVE WATERLINES AND SEWER LINES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING, REPAIRING, REPLACING, AND REMOVING OVER, ACROSS AND ALONG ALL OF THE UTILITY EASEMENTS DEPICTED ON THE PLAT, FOR THE PURPOSE OF FURNISHING WATER AND SEWER SERVICES TO THE AREA INCLUDED IN THE PLAT. DEVELOPER HEREBY IMPOSES A RESTRICTIVE COVENANT, WHICH COVENANT SHALL BE BINDING ON EACH LOT AND RESERVE AREA OWNER AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, AND BY THE SUPPLIER OF ANY AFFECTED UTILITY SERVICE THAT, WITHIN THE STREETS AND UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, NO BUILDING, STRUCTURE, OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION THAT INTERFERES WITH THE ABOVE SET FORTH USES AND PURPOSES OF A STREET OR UTILITY EASEMENT SHALL BE PLACED, ERECTED, INSTALLED, OR MAINTAINED, PROVIDED HOWEVER, NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT PROPERLY-PERMITTED DRIVES, PARKING AREAS, CURBING, LANDSCAPING, OR CUSTOMARY SCREENING FENCES OR WALLS.

B. UNDERGROUND SERVICE

1. OVERHEAD POLES FOR THE SUPPLY OF ELECTRIC AND COMMUNICATION SERVICE MAY BE LOCATED IN THE RIGHT-OF-WAY OF EAST 121ST STREET SOUTH AS DEDICATED BY THIS PLAT AND WITHIN THE PERIMETER UTILITY EASEMENTS OF THE SUBDIVISION. STREET LIGHT POLES OR STANDARDS SHALL BE SERVED BY UNDERGROUND CABLE AND, EXCEPT AS PROVIDED IN THE IMMEDIATELY-PRECEDING SENTENCE, ALL ELECTRIC, COMMUNICATION, AND GAS LINES SHALL BE LOCATED UNDERGROUND IN THE

EASEMENT-WAYS RESERVED FOR GENERAL UTILITY SERVICES AND IN THE RIGHT-OF-WAY OF THE PUBLIC STREET EAST 121ST STREET SOUTH AS DEPICTED ON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN THE UTILITY EASEMENTS.

2. UNDERGROUND SERVICE CABLES AND LINES TO ALL STRUCTURES LOCATED WITHIN THE SUBDIVISION MAY BE RUN FROM THE NEAREST SERVICE PEDESTAL, TRANSFORMER, OR GAS MAIN TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURE AS MAY BE LOCATED UPON A LOT OR RESERVE AREA, PROVIDED THAT, UPON THE INSTALLATION OF A SERVICE CABLE OR LINE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, AND EFFECTIVE RIGHT-OF-WAY EASEMENT ON THE LOT OR RESERVE AREA, COVERING A FIVE (5) FOOT STRIP EXTENDING TWO AND ONE-HALF (2.5) FEET ON EACH SIDE OF THE SERVICE CABLE OR LINE, EXTENDING FROM THE SERVICE PEDESTAL, TRANSFORMER, OR GAS MAIN TO THE SERVICE ENTRANCE ON THE STRUCTURE.

3. THE SUPPLIERS OF ELECTRIC, COMMUNICATION, AND GAS SERVICES, THROUGH THEIR AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS WITH THEIR EQUIPMENT TO ALL UTILITY EASEMENTS DEPICTED ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING, OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, COMMUNICATION, OR GAS FACILITIES INSTALLED BY THE SUPPLIER OF THE UTILITY SERVICE.

4. THE SUPPLIERS OF ELECTRIC, COMMUNICATION, AND GAS SERVICES SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF THEIR RESPECTIVE UTILITY SERVICE FACILITIES BUT THE OWNER OF EACH LOT OR RESERVE AREA SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UTILITY SERVICE FACILITIES LOCATED ON SUCH OWNER'S LOT OR RESERVE AREA AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE ELECTRIC, COMMUNICATION, OR GAS FACILITIES. THE LOT OR RESERVE AREA OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE LOT OR RESERVE AREA OWNER OR SUCH OWNER'S AGENTS OR CONTRACTORS.

5. THE EASEMENT CONTAINED WITHIN RIGHT OF WAY AGREEMENT GRANTED IN FAVOR OF OKLAHOMA NATURAL GAS, FILED OF RECORD IN BOOK 4282 ON PAGE 668, COUNTY OF TULSA RECORDS, CONTAINS CERTAIN RESTRICTIONS AS SPECIFICALLY SET FORTH WITHIN SAID RIGHT OF WAY AGREEMENT.

6. THE COVENANTS SET FORTH IN THIS SUBSECTION B. SHALL BE ENFORCEABLE BY THE SUPPLIERS OF ELECTRIC, COMMUNICATION, AND GAS SERVICE AND THE OWNERS OF EACH LOT AND RESERVE AREA AGREE TO BE BOUND HEREBY.

C. PUBLIC WATER, SANITARY SEWER, AND STORM SEWER SERVICE

1. THE OWNER OF EACH LOT OR RESERVE AREA SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS, PUBLIC SANITARY SEWER FACILITIES, PUBLIC STORM SEWER FACILITIES AND PRIVATE STORM SEWER FACILITIES LOCATED ON THEIR LOT OR RESERVE AREA AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH SAID PUBLIC WATER MAINS, PUBLIC SANITARY SEWER FACILITIES, PUBLIC STORM SEWER FACILITIES OR PRIVATE STORM SEWER FACILITIES. WITHIN THE UTILITY EASEMENT AREAS DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF GRADE FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER MAIN, PUBLIC SANITARY SEWER FACILITY, PUBLIC STORM SEWER FACILITY OR PRIVATE STORM SEWER FACILITY, OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH SUCH MAINS OR FACILITIES, SHALL BE PROHIBITED. WITHIN THE UTILITY EASEMENTS; IF THE GROUND ELEVATIONS ARE ALTERED BY THE LOT OR RESERVE AREA OWNER FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER MAIN, PUBLIC SANITARY SEWER FACILITY, PUBLIC STORM SEWER FACILITY OR PRIVATE STORM SEWER FACILITY, ALL GROUND LEVEL APPURTENANCES, INCLUDING VALVE BOXES, FIRE HYDRANTS, PUBLIC AND PRIVATE STORM SEWER INLETS, AND MANHOLES SHALL BE ADJUSTED TO THE ALTERED GROUND ELEVATIONS BY THE OWNER OF THE LOT OR RESERVE AREA OR, AT ITS ELECTION, THE CITY OF BIXBY, OKLAHOMA, MAY MAKE SUCH ADJUSTMENT AT SUCH OWNER'S EXPENSE.

2. NO PERMANENT FENCE, PERMANENT WALL, PERMANENT BUILDING, OR PERMANENT STRUCTURE WHICH WOULD CAUSE AN OBSTRUCTION SHALL BE PLACED OR MAINTAINED IN THE UTILITY EASEMENT AREAS, AND ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE PUBLIC WATER MAINS, PUBLIC SANITARY SEWER FACILITIES, PRIVATE STORM SEWER SYSTEM OR PUBLIC STORM SEWER SYSTEM IS PROHIBITED.

3. THE CITY OF BIXBY, OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER MAINS, PUBLIC SANITARY SEWER FACILITIES, AND PUBLIC STORM SEWER FACILITIES, BUT THE OWNER OF EACH LOT OR RESERVE AREA SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE LOT OR RESERVE AREA OWNER OR SUCH OWNER'S AGENTS OR CONTRACTORS.

4. EXCEPT FOR THOSE PUBLIC STORM SEWER FACILITIES WITHIN THE PUBLIC STREET EAST 121ST STREET SOUTH AND WITHIN THE PERIMETER UTILITY EASEMENTS, OR AS OTHERWISE NOT IDENTIFIED AS "PRIVATE" ON THE CIVIL ENGINEERING CONSTRUCTION PLANS APPROVED BY AND ON FILE WITH THE CITY OF BIXBY, OKLAHOMA, ALL STORM SEWER FACILITIES WITHIN THE SUBDIVISION SHALL BE PRIVATE AND MAINTAINED BY THE LOT OR RESERVE AREA OWNER OR THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW).

5. THE CITY OF BIXBY OR ITS SUCCESSORS, THROUGH ITS PROPER AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS WITH THEIR EQUIPMENT TO ALL UTILITY EASEMENTS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING, AND REPLACING ANY PORTION OF THE UNDERGROUND WATER, SANITARY SEWER, AND STORM SEWER FACILITIES.

6. ALL WATER, SANITARY SEWER, AND STORM SEWER FACILITIES SHALL BE MAINTAINED IN GOOD REPAIR BY THE UTILITY CONTRACTOR FOR THE TERM OF AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE MAINTENANCE BOND OF WHICH THE CITY OF BIXBY IS THE BENEFICIARY. IF ANY REPAIR ISSUES ARISE DURING SAID TERM, THE DEVELOPER SHALL ASSIST THE CITY OF BIXBY IN COORDINATION AND FACILITATION WITH THE APPROPRIATE CONTRACTOR.

7. THE FOREGOING COVENANTS SET FORTH IN THIS SUBSECTION C. CONCERNING WATER, SANITARY SEWER, AND STORM SEWER FACILITIES SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OR ITS SUCCESSORS, AND THE OWNER OF EACH LOT OR RESERVE AREA AGREES TO BE BOUND HEREBY.

D. SURFACE DRAINAGE

EACH LOT WITHIN THE SUBDIVISION SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE STORM AND SURFACE WATERS FROM LOTS AND DRAINAGE AREAS OF HIGHER ELEVATION WITHIN AND OUTSIDE OF THE SUBDIVISION. NO LOT OWNER SHALL CONSTRUCT OR PERMIT TO BE CONSTRUCTED ANY FENCING OR OTHER OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF STORM AND SURFACE WATERS OVER AND ACROSS SAID OWNER'S LOT. THE FOREGOING COVENANTS SET FORTH IN THIS SUBSECTION D. SHALL BE ENFORCEABLE BY ANY AFFECTED LOT OR RESERVE AREA OWNER, THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW), AND BY THE CITY OF BIXBY, OKLAHOMA.

E. PAVING AND LANDSCAPING WITHIN EASEMENTS

THE OWNER OF THE LOT OR RESERVE AREA AFFECTED SHALL BE RESPONSIBLE FOR THE REPAIR OF DAMAGED PROPERLY-PERMITTED LANDSCAPING AND PAVING OCCURRED BY NECESSARY MAINTENANCE OF UNDERGROUND WATER, SANITARY SEWER, PUBLIC OR PRIVATE STORM SEWER, NATURAL GAS, COMMUNICATION, OR ELECTRIC FACILITIES WITHIN THE UTILITY EASEMENT AREAS DEPICTED UPON THE ACCOMPANYING PLAT, PROVIDED HOWEVER, THE CITY OF BIXBY, OKLAHOMA, OR OTHER SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

F. FENCE EASEMENTS

THE DEVELOPER DOES HEREBY ESTABLISH FOR THE BENEFIT OF THE OWNERS OF ALL LOTS WITHIN THE SUBDIVISION, AND RESERVES FOR FUTURE GRANT TO THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW), FENCE EASEMENTS OVER AND UPON THE AREAS DESIGNATED AS "FENCE EASEMENT" OR "F/E" AND SHOWN ON THE ACCOMPANYING PLAT. THE FENCE EASEMENTS ARE FOR THE LIMITED PURPOSE OF CONSTRUCTING AND MAINTAINING RETAINING WALLS, TOGETHER WITH THE RIGHT OF ACCESS OVER, ACROSS, AND ALONG SUCH EASEMENTS AND OVER, ACROSS, AND ALONG ALL AREAS WHICH CONTAIN SUCH EASEMENTS. WITHIN THE FENCE EASEMENTS, THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW) SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL RETAINING WALLS., WITHIN FENCE EASEMENTS, ANY SCREENING FENCES OR WALLS ADJACENT TO OR INTEGRATED WITH A RETAINING WALL SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE ENGINEERING DEPARTMENT OF THE CITY OF BIXBY, OKLAHOMA, AND SHALL BE MAINTAINED BY THE ASSOCIATION. THE RIGHTS HEREIN ESTABLISHED AND GRANTED SHALL BE SUBORDINATE TO THE RIGHTS ESTABLISHED AND GRANTED BY UTILITY EASEMENTS ELSEWHERE DEDICATED HEREIN.

G. OVERLAND DRAINAGE EASEMENT

1. THE DEVELOPER DOES HEREBY DEDICATE TO THE PUBLIC PERPETUAL AND NON-EXCLUSIVE EASEMENTS ON, OVER, AND ACROSS THOSE AREAS DESIGNATED AND SHOWN ON THE ACCOMPANYING PLAT AS "OVERLAND DRAINAGE EASEMENT" OR "ODE" FOR THE PURPOSE OF PERMITTING THE OVERLAND AND UNDERGROUND FLOW, CONVEYANCE, DETENTION, RETENTION, AND DISCHARGE OF STORMWATER RUNOFF FROM THE VARIOUS AREAS WITHIN THE SUBDIVISION AND FROM ADJACENT PROPERTIES NOT INCLUDED WITHIN THE SUBDIVISION.

2. DRAINAGE, DETENTION, AND RETENTION FACILITIES LOCATED WITHIN THE OVERLAND DRAINAGE EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADOPTED STANDARDS OF THE CITY OF BIXBY, OKLAHOMA, AND PLANS AND SPECIFICATIONS APPROVED BY THE ENGINEERING DEPARTMENT OF THE CITY OF BIXBY, OKLAHOMA.

3. NO FENCE, WALL, BUILDING, HVAC, POOL, OR OTHER BUILDING-RELATED EQUIPMENT, OR OTHER OBSTRUCTION (EXCEPTING THE PLANTING OF TURF) SHALL BE PLACED OR MAINTAINED WITHIN THE OVERLAND DRAINAGE EASEMENTS NOR SHALL THERE BE ANY ALTERATION OF GRADE IN SAID EASEMENTS UNLESS APPROVED BY THE ENGINEERING DEPARTMENT OF THE CITY OF BIXBY, OKLAHOMA, PROVIDED, HOWEVER, WHERE COINCIDENT WITH A UTILITY EASEMENT, CUSTOMARY ABOVE-GROUND UTILITY APPURTENANCES SHALL BE DEEMED NON-OBSTRUCTING AND SHALL BE PERMITTED.

4. DRAINAGE, DETENTION, AND RETENTION FACILITIES LOCATED WITHIN THE OVERLAND DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE OWNER OF THE LOT OR RESERVE AREA CONTAINING THE EASEMENT TO THE EXTENT NECESSARY TO ACHIEVE

THE INTENDED DRAINAGE AND DETENTION FUNCTIONS, INCLUDING REPAIR OF APPURTENANCES, REMOVAL OF OBSTRUCTIONS AND SILTATION, AND CUSTOMARY GROUNDS MAINTENANCE, IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS APPROVED BY THE CITY OF BIXBY, OKLAHOMA. IN THE EVENT THE OWNER OF THE LOT OR RESERVE AREA, AS SUBJECT TO THE EASEMENT, SHOULD FAIL TO PROPERLY MAINTAIN THE OVERLAND DRAINAGE EASEMENT LOCATED THEREON OR, IN THE EVENT OF THE PLACEMENT OF AN OBSTRUCTION WITHIN THE EASEMENT, THE ALLOWANCE OF THE ACCUMULATION OF SILTATION, THE UNAPPROVED ALTERATION OF GRADE, OR THE GENERAL LACK OF GROUNDS MAINTENANCE THEREIN, THE CITY OF BIXBY, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR, MAY ENTER THE OVERLAND DRAINAGE EASEMENT AREA AND PERFORM MAINTENANCE NECESSARY TO ACHIEVE THE INTENDED DRAINAGE FUNCTIONS AND MAY REMOVE ANY OBSTRUCTION OR SILTATION OR CORRECT ANY ALTERATION OF GRADE, AND THE COSTS THEREOF SHALL BE PAID BY THE LOT OR RESERVE AREA OWNER, AS SUBJECT TO THE EASEMENT. IN THE EVENT THE LOT OR RESERVE AREA OWNER, AS SUBJECT TO THE EASEMENT, SHOULD FAIL TO PAY THE COST OF MAINTENANCE, AFTER RECEIPT OF A STATEMENT OF COSTS FROM THE CITY OF BIXBY, OKLAHOMA, THE CITY MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS IN THE RECORDS OF THE TULSA COUNTY CLERK, AND THEREAFTER THE COSTS SHALL BE A LIEN AGAINST THE LOT OR RESERVE AREA, AS SUBJECT TO THE EASEMENT. A LIEN ESTABLISHED AS PROVIDED ABOVE MAY BE FORECLOSED BY THE CITY OF BIXBY, OKLAHOMA.

5. THE COVENANTS SET FORTH IN THIS SUBSECTION G. SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, AND THE OWNER OF THE LOT OR RESERVE AREA, AS SUBJECT TO THE EASEMENT, AGREES TO BE BOUND BY THESE COVENANTS.

SECTION II - RESERVE AREAS

A. PURPOSE

FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF LOTS WITHIN THE SUBDIVISION, RESERVE AREAS A, B, AND C ARE HEREBY ESTABLISHED FOR VARIOUS PURPOSES INCLUDING BUT NOT LIMITED TO PRIVATE STREETS; PRIVATE OVERLAND AND UNDERGROUND STORMWATER DRAINAGE, DETENTION, AND RETENTION; AQUATIC RESOURCE PROTECTION; UTILITIES; OPEN SPACE; PRIVATE PARK; ENTRY AND SECURITY FEATURES; SIGNAGE; LANDSCAPING; IRRIGATION; LIGHTING; AND PRIVATE RECREATIONAL USES AND FACILITIES AS MAY BE PERMITTED BY THE CITY OF BIXBY, OKLAHOMA, AND ARE RESERVED FOR SUBSEQUENT CONVEYANCE TO THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW), FORMED PURSUANT TO SECTION IV HEREOF. RESERVES D AND E ARE FOR OVERLAND DRAINAGE AND OTHER USES AS DETERMINED BY THE DEVELOPER AND AS MAY BE PERMITTED BY THE CITY OF BIXBY, OKLAHOMA.

B. RESERVE A

1. RESERVE A, AS DESIGNATED ON THE ACCOMPANYING PLAT, IS HEREBY ESTABLISHED BY GRANT OF THE DEVELOPER FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF THE RESIDENTIAL LOTS WITHIN THE SUBDIVISION, THEIR GUESTS AND INVITEES, FOR THE PURPOSE OF PROVIDING VEHICULAR AND PEDESTRIAN ACCESS TO AND FROM THE LOTS IN THE SUBDIVISION AND THE PUBLIC STREETS BORDERING THE SUBDIVISION, AND SHALL BE LIMITED TO USE FOR PRIVATE STREETS, FOR PROVIDING PRIVATE STORM SEWER FACILITIES TO CONTROL STORMWATER RUNOFF, FOR UTILITIES, AND FOR PROVIDING ENTRANCE SECURITY FACILITIES, ENTRY FEATURES, SIGNAGE, PERIMETER FENCES AND WALLS, LANDSCAPING, IRRIGATION, AND LIGHTING, AND IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW), TO BE FORMED PURSUANT TO SECTION IV HEREOF, FOR THE PURPOSES OF THE ADMINISTRATION AND MAINTENANCE OF THE PRIVATE STREETS AND OTHER COMMON AREAS OF THE SUBDIVISION.

2. THE DEVELOPER HEREBY GRANTS TO THE CITY OF BIXBY, OKLAHOMA, THE UNITED STATES POSTAL SERVICE, ANY PUBLIC UTILITY PROVIDING UTILITY SERVICE TO THE SUBDIVISION, AND TO ANY REFUSE COLLECTION SERVICE WHICH PROVIDES SERVICE WITHIN THE SUBDIVISION, THE RIGHT TO ENTER AND TRAVERSE THE PRIVATE STREETS WITHIN RESERVE A AND TO OPERATE THEREON ALL SERVICE, EMERGENCY AND GOVERNMENT VEHICLES INCLUDING, BUT NOT LIMITED TO, POLICE, FIRE, AND EMERGENCY MEDICAL VEHICLES AND EQUIPMENT.

3. THE DEVELOPER, FOR ITSELF AND ITS SUCCESSORS, HEREBY COVENANTS WITH THE CITY OF BIXBY, OKLAHOMA, WHICH COVENANTS SHALL RUN WITH THE LAND AND INURE TO THE BENEFIT OF THE CITY OF BIXBY, OKLAHOMA, AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, TO:

- CONSTRUCT AND MAINTAIN STREETS EXTENDING THE FULL LENGTH OF RESERVE A, AS DEPICTED ON THE ACCOMPANYING PLAT, AND MEETING OR EXCEEDING CITY OF BIXBY DESIGN STANDARDS FOR A MINOR LOCAL RESIDENTIAL PUBLIC STREET.
- SECURE INSPECTION BY THE CITY OF BIXBY, OKLAHOMA, OF THE PRIVATE STREETS AND SECURE CERTIFICATION BY THE CITY OF BIXBY, OKLAHOMA, THAT THE PRIVATE STREETS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS ABOVE SET FORTH, OR IF THE CITY OF BIXBY, OKLAHOMA, DECLINES TO INSPECT THE PRIVATE STREETS, CERTIFICATION SHALL BE SECURED FROM A LICENSED PROFESSIONAL ENGINEER THAT THE PRIVATE STREETS WERE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS ABOVE SET FORTH, AND THE REQUIRED CERTIFICATION SHALL BE FILED WITH THE CITY OF BIXBY, OKLAHOMA, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ANY LOT THAT DERIVES ITS ACCESS FROM A PRIVATE STREET.

4. THE DEVELOPER ACKNOWLEDGES, FOR ITSELF AND ITS SUCCESSORS IN TITLE, THAT

THE CITY OF BIXBY, OKLAHOMA, SHALL HAVE NO DUTY TO MAINTAIN ANY OF THE PRIVATE STREETS WITHIN THE SUBDIVISION, NOR HAVE ANY IMPLIED OBLIGATION TO ACCEPT ANY SUBSEQUENT TENDER OF CONVEYANCE OF ANY PRIVATE STREET WITHIN THE SUBDIVISION.

5. RESERVE A, REGARDLESS WHETHER SO DESIGNATED ON THE ACCOMPANYING PLAT, IS HEREBY DEDICATED BY THE DEVELOPER AS A UTILITY EASEMENT.

C. RESERVE B

RESERVE B, AS DESIGNATED ON THE ACCOMPANYING PLAT, IS HEREBY ESTABLISHED BY GRANT OF THE DEVELOPER FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF THE RESIDENTIAL LOTS WITHIN THE SUBDIVISION, THEIR GUESTS AND INVITEES, FOR THE PURPOSE OF PROVIDING ENTRY FEATURES, SIGNAGE, PERIMETER FENCES AND WALLS, LANDSCAPING, IRRIGATION, AND LIGHTING, AND UTILITIES, AND IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW), TO BE FORMED PURSUANT TO SECTION IV HEREOF.

D. RESERVE C

1. RESERVE C IS HEREBY ESTABLISHED BY GRANT OF THE DEVELOPER FOR THE COMMON USE AND BENEFIT OF THE OWNERS OF THE LOTS WITHIN THE SUBDIVISION, THEIR GUESTS AND INVITEES, FOR THE PURPOSE OF PROVIDING FOR PRIVATE OVERLAND AND UNDERGROUND STORMWATER DRAINAGE, DETENTION, AND RETENTION; UTILITIES; PRIVATE RECREATIONAL USES SUCH AS OPEN SPACE, SIDEWALKS, TRAILS, AND PRIVATE PARKS; SIGNAGE; FENCES AND WALLS; LANDSCAPING; IRRIGATION; LIGHTING; AND OTHER RECREATIONAL USES AND FACILITIES AS MAY BE PERMITTED BY THE CITY OF BIXBY, OKLAHOMA.

2. RESERVE C POTENTIALLY CONTAINS AREAS OF JURISDICTIONAL WATERS OF THE UNITED STATES OF AMERICA OR OTHER AQUATIC RESOURCES. ALL SUCH AREAS WITHIN RESERVE C SHALL BE PROTECTED AS PERPETUAL AQUATIC ECOSYSTEM PRESERVES AS SET FORTH BY THE U.S. ARMY CORPS OF ENGINEERS. ACTIVITY WITHIN SUCH AREAS OF RESERVE C INCLUDING BUT NOT LIMITED TO DRAINING, MOWING, CLEARING, ETC., SHALL BE PERFORMED ONLY WITH THE APPROVAL OF THE U.S. ARMY CORPS OF ENGINEERS AND THE CITY OF BIXBY, OKLAHOMA. UTILITY COMPANIES AND CONTRACTORS ARE ADVISED TO SECURE ALL APPLICABLE PERMITS PRIOR TO COMMENCING WORK WITHIN RESERVE C. IT SHALL BE THE RESPONSIBILITY OF THE ASSOCIATION (AS DEFINED BELOW) TO PROPERLY POST AND MONITOR ALL ACTIVITIES WITHIN RESERVE C TO ENSURE COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

3. RESERVE C, REGARDLESS WHETHER SO DESIGNATED ON THE ACCOMPANYING PLAT, IS HEREBY DEDICATED BY THE DEVELOPER AS AN OVERLAND DRAINAGE EASEMENT.

E. RESERVES D AND E

1. RESERVES D AND E ARE HEREBY ESTABLISHED BY GRANT OF THE DEVELOPER FOR THE PURPOSE OF PROVIDING FOR PRIVATE OVERLAND AND UNDERGROUND STORMWATER DRAINAGE, THE EXCLUSION OF REGULATORY FLOODPLAIN AREAS FROM LOTS, AND FOR OTHER USES AS DETERMINED BY THE DEVELOPER OR SUBSEQUENT OWNER THEREOF AND AS MAY BE PERMITTED BY THE CITY OF BIXBY, OKLAHOMA.

2. RESERVE D POTENTIALLY CONTAINS AREAS OF JURISDICTIONAL WATERS OF THE UNITED STATES OF AMERICA OR OTHER AQUATIC RESOURCES. ALL SUCH AREAS WITHIN RESERVE D SHALL BE PROTECTED AS PERPETUAL AQUATIC ECOSYSTEM PRESERVES AS SET FORTH BY THE U.S. ARMY CORPS OF ENGINEERS. ACTIVITY WITHIN SUCH AREAS OF RESERVE D, INCLUDING BUT NOT LIMITED TO DRAINING, MOWING, CLEARING, ETC., SHALL BE PERFORMED ONLY WITH THE APPROVAL OF THE U.S. ARMY CORPS OF ENGINEERS AND THE CITY OF BIXBY, OKLAHOMA. UTILITY COMPANIES AND CONTRACTORS ARE ADVISED TO SECURE ALL APPLICABLE PERMITS PRIOR TO COMMENCING WORK WITHIN RESERVE D. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF RESERVE D TO PROPERLY POST AND MONITOR ALL ACTIVITIES WITHIN RESERVE D TO ENSURE COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

3. RESERVE E SHALL NOT BE TRANSFERRED, SOLD, GRANTED, CONVEYED, DONATED, ASSIGNED OR OTHERWISE OWNED SEPARATE OR APART FROM ONE (1) OR MORE OF THE FOLLOWING: LOT TWO (2) OF BLOCK TWO (2); RESERVE D; OR RESERVE C, UNLESS IT IS PROVIDED DIRECT FRONTAGE ON A PUBLIC OR PRIVATE STREET OR ACCESS THERETO BY MEANS OF A VALID, UNINTERRUPTED EASEMENT.

4. RESERVES D AND E, REGARDLESS WHETHER SO DESIGNATED ON THE ACCOMPANYING PLAT, ARE HEREBY DEDICATED BY THE DEVELOPER AS OVERLAND DRAINAGE EASEMENTS.

5. ANY FENCING ENCLOSING RESERVES D AND E SHALL BE SUBJECT TO THE PROVISIONS OF THE OVERLAND DRAINAGE EASEMENT AS PROVIDED HEREIN.

DATE OF PREPARATION: May 6, 2025

The Reserve at Cedar Ridge

SHEET 2 OF 3

Conditional Final Plat

BXPUD-22.07

The Reserve at Cedar Ridge

PART OF THE WEST HALF OF THE NORTHEAST QUARTER (W/2 NE/4) OF SECTION SIX (6), TOWNSHIP SEVENTEEN (17) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN MERIDIAN A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

DEED OF DEDICATION & RESTRICTIVE COVENANTS

SECTION II. RESERVE AREAS (CONTINUED)

F. MAINTENANCE

1. ALL COSTS AND EXPENSES ASSOCIATED WITH ALL RESERVE AREAS, INCLUDING MAINTENANCE OF PRIVATE STREETS AND VARIOUS OTHER IMPROVEMENTS AND RECREATIONAL FACILITIES, SHALL BE THE RESPONSIBILITY OF THE OWNER THEREOF. WITH THE POSSIBLE EXCLUSION OF RESERVES D AND E, SAID OWNER SHALL BE THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW) AS PROVIDED IN SECTION VI HEREOF, UPON CONVEYANCE OF SUCH RESERVE AREA BY THE DEVELOPER TO THE HOMEOWNERS' ASSOCIATION. THE CITY OF BIXBY SHALL NOT BE LIABLE FOR ANY DAMAGE OR REMOVAL OF ANY LANDSCAPING OR IRRIGATION SYSTEMS IN ANY RESERVE AREA.

2. ALL COMMON SPACE WITHIN ALL RESERVE AREAS, INCLUDING ENTRY FEATURES AND AREAS OF GRASS, AND THE GRASS-COVERED AREAS OF THE ADJACENT PUBLIC STREET RIGHT-OF-WAY OF EAST 121ST STREET SOUTH, SHALL BE MAINTAINED AS TO SCHEDULE AND STANDARD OF CARE AS DETERMINED APPROPRIATE BY THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW). AT A MINIMUM, THE GRASS-COVERED AREAS OF THE RESERVE AREAS AND ADJACENT RIGHT-OF-WAY SHALL BE MOWED EVERY 7 - 10 DAYS DURING THE GROWING SEASON.

3. IN THE EVENT ANY RESERVE AREA OWNER SHOULD FAIL TO MAINTAIN SUCH RESERVE AREA, THE CITY OF BIXBY, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR, MAY ENTER SUCH RESERVE AREA AND PERFORM MAINTENANCE NECESSARY, AND THE COSTS THEREOF SHALL BE PAID BY THE OWNER THEREOF, WHICH SHALL BE THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW), AS SET FORTH IN SECTION VI HEREIN, UPON CONVEYANCE OF SUCH RESERVE AREA TO THE HOMEOWNERS' ASSOCIATION, WITH THE POSSIBLE EXCEPTION OF RESERVES D AND E. IN THE EVENT THE RESERVE AREA OWNER SHOULD FAIL TO TIMELY PAY THE COSTS OF SAID MAINTENANCE, AFTER COMPLETION OF THE MAINTENANCE BY AND RECEIPT OF A STATEMENT OF COSTS FROM THE CITY OF BIXBY, OKLAHOMA, THE CITY MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS, AND THEREAFTER THE COSTS SHALL BE A LIEN THE RESERVE AREA OWNER. ALTERNATIVELY, FOR ANY RESERVE AREA OWNED BY THE HOMEOWNERS' ASSOCIATION, THE CITY MAY FILE SAID LIEN AGAINST EACH OF THE LOTS WITHIN THE GEOGRAPHIC JURISDICTION OF THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW), PROVIDED, HOWEVER, THE LIEN AGAINST EACH LOT SHALL NOT EXCEED THAT LOT'S PRO RATA PORTION OF THE COSTS; OR THE CITY OF BIXBY PUBLIC WORKS AUTHORITY MAY ADD SUCH BILLING PRORATED UPON THE RESIDENTIAL LOT OWNERS' WATER BILLS, WHICH METHOD OF COLLECTION SHALL BE DETERMINED BY THE CITY OF BIXBY. A LIEN AS PROVIDED IMMEDIATELY ABOVE MAY BE FORECLOSED BY THE CITY OF BIXBY, OKLAHOMA.

G. INDEMNIFICATION OF OWNER AND CITY

EACH LOT AND RESERVE AREA OWNER, RESIDENT, AND MEMBER OF THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW) AGREES TO HOLD HARMLESS THE DEVELOPER AND THE CITY OF BIXBY, AND THEIR RESPECTIVE AGENTS AND REPRESENTATIVES, FROM ALL CLAIMS, DEMANDS, LIABILITIES, OR DAMAGES ARISING IN CONNECTION WITH THE OWNERSHIP OR USE OF THE FACILITIES AND IMPROVEMENTS CONSTRUCTED OR SITUATED IN THE RESERVE AREAS AND FURTHER AGREES THAT NEITHER THE CITY OF BIXBY NOR THE DEVELOPER SHALL BE LIABLE TO THE LOT OR RESERVE AREA OWNER OR RESIDENT OR MEMBER OF THE HOMEOWNERS' ASSOCIATION (AS DEFINED BELOW) OR ANY GUEST, VISITOR, OR INVITEE THEREOF FOR ANY DAMAGE TO PERSON OR PROPERTY CAUSED BY ACTION, OMISSION OR NEGLIGENCE OF ANY LOT OR RESERVE AREA OWNER OR RESIDENT OR MEMBER OF THE HOMEOWNERS' ASSOCIATION OR ANY GUEST, VISITOR, OR INVITEE THEREOF.

SECTION III - PLANNED UNIT DEVELOPMENT RESTRICTIONS

WHEREAS, THE SUBDIVISION WAS SUBMITTED AS A PART OF A PLANNED UNIT DEVELOPMENT (PUD) NO. BXPUD-22.07 ("THE RESERVE AT CEDAR RIDGE") AS PROVIDED WITHIN TITLE 11 OF THE BIXBY, OKLAHOMA CITY CODE (BIXBY ZONING CODE), AND

WHEREAS, PUD NO. BXPUD-22.07 WAS AFFIRMATIVELY RECOMMENDED BY THE CITY OF BIXBY PLANNING COMMISSION ON OCTOBER 17, 2022, AND APPROVED BY THE BIXBY CITY COUNCIL ON OCTOBER 24, 2022, WITH IMPLEMENTING ORDINANCE (ORDINANCE NO. 2422) APPROVED OCTOBER 24, 2022 WITH EMERGENCY CLAUSE ATTACHED, MAKING THE ORDINANCE EFFECTIVE IMMEDIATELY UPON ITS PASSAGE ON OCTOBER 24, 2022, AND

WHEREAS, MINOR AMENDMENT NO. 1 TO BXPUD-22.07, (B.X.P.U.D. 22.07 MA.01) "THE RESERVE AT CEDAR RIDGE", WAS APPROVED BY THE CITY OF BIXBY PLANNING COMMISSION ON SEPTEMBER 16, 2024, AND

WHEREAS, THE PLANNED UNIT DEVELOPMENT (PUD) PROVISIONS OF THE BIXBY ZONING CODE REQUIRE THE ESTABLISHMENT OF COVENANTS OF RECORD INURING TO AND ENFORCEABLE BY THE CITY OF BIXBY, SUFFICIENT TO INSURE THE IMPLEMENTATION AND CONTINUED COMPLIANCE WITH THE APPROVED PUD AND ANY AMENDMENTS THERETO, AND

WHEREAS, THE DEVELOPER DESIRES TO ESTABLISH THE FOLLOWING RESTRICTIONS FOR THE PURPOSE OF PROVIDING FOR THE ORDERLY DEVELOPMENT OF THE SUBDIVISION AND TO INSURE ADEQUATE RESTRICTIONS FOR THE MUTUAL BENEFIT OF THE DEVELOPER, ITS SUCCESSORS AND ASSIGNS, AND THE CITY OF BIXBY, OKLAHOMA.

NOW, THEREFORE, THE DEVELOPER DOES HEREBY IMPOSE THE FOLLOWING RESTRICTIONS AND COVENANTS WHICH SHALL BE COVENANTS RUNNING WITH THE LAND AND SHALL BE BINDING UPON THE DEVELOPER, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE ENFORCEABLE AS HEREINAFTER SET FORTH.

A. GENERAL

1. DEVELOPMENT IN ACCORDANCE WITH PUD

THE SUBDIVISION SHALL BE DEVELOPED AND USED IN SUBSTANTIAL ACCORDANCE WITH THE RESTRICTIONS AND DEVELOPMENT STANDARDS OF PUD NO. BXPUD-22.07, AS APPROVED BY THE CITY OF BIXBY, OR IN SUBSTANTIAL ACCORDANCE WITH SUCH MODIFICATIONS OR AMENDMENTS OF THE RESTRICTIONS AND DEVELOPMENT STANDARDS OF BXPUD-22.07 AS MAY BE SUBSEQUENTLY APPROVED.

2. APPLICABLE ORDINANCE

THE SUBDIVISION SHALL BE SUBJECT TO THE PLANNED UNIT DEVELOPMENT PROVISIONS OF THE CITY OF BIXBY ZONING CODE AS SUCH PROVISIONS EXISTED ON SEPTEMBER 6, 2022 (DATE OF PUD APPLICATION).

B. DEVELOPMENT STANDARDS

PERMITTED USES:	USES PERMITTED BY RIGHT IN THE RS-1 ZONING DISTRICT.
MINIMUM LOT SIZE:	20,000 SQ. FT.
MINIMUM LOT WIDTH:	120 FEET
MINIMUM BUILDING SETBACKS:	
FRONT:	30 FEET
REAR YARD:	20 FEET
INTERIOR SIDE YARDS:	10 FT./10 FT.
EXTERIOR SIDE YARD (ABUTTING A PRIVATE STREET):	30 FEET
EXTERIOR YARD ABUTTING AN ARTERIAL STREET:	35 FEET
MAXIMUM BUILDING HEIGHT:	35 FEET/2-AND ONE-HALF STORIES
ACCESSORY BUILDINGS:	35 FEET
MINIMUM LIVABILITY SPACE PER LOT:	10,000 SF *
* LIVABILITY SPACE PER LOT MAY TAKE INTO ACCOUNT, AND UTILIZE, COMMON OPEN SPACE TO SATISFY THE REQUIREMENT, IF NECESSARY.	
OTHER BULK AND AREA REQUIREMENTS:	AS ESTABLISHED IN THE RS-1 ZONING DISTRICT
FLOOR AREA OF DWELLING:	ALL DWELLINGS SHALL HAVE A MINIMUM FLOOR AREA OF 4,000 SQUARE FEET, MEASURED "OVER MASONRY". ADDITIONALLY, THE FIRST STORY OF ALL TWO-STORY DWELLINGS SHALL HAVE A MINIMUM (FIRST FLOOR) OF 3,000 SQUARE FEET MEASURED "OVER MASONRY".

C. LANDSCAPING AND OPEN SPACE

THE RESERVE AREAS SHOWN ON [BXPUD-22.07 "EXHIBIT 'A' THE RESERVE AT CEDAR RIDGE CONCEPTUAL SITE PLAN"] WILL BE USED FOR LANDSCAPING, ENTRY FEATURES AND SIGNAGE, STORMWATER DRAINAGE AND DETENTION AND OPEN SPACE. ADDITIONALLY, MUCH OF RESERVE (C) IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN AND IS TO REMAIN IN ITS UNDISTURBED AND NATIVE STATE, PROTECTING THE EXISTING, NATURAL HABITAT. STORMWATER DETENTION WILL BE PROVIDED IN THE NORTHERN PORTION OF RESERVE (C) THAT IS LOCATED OUTSIDE OF THE 100-YEAR FLOODPLAIN. ALL LANDSCAPING AND OPEN SPACE WILL BE PROVIDED IN ACCORDANCE WITH CITY OF BIXBY ZONING CODE.

TO FURTHER ENHANCE THE QUALITY OF LIFE FOR THE RESIDENTS AT THE RESERVE AT CEDAR RIDGE, WITHIN RESERVE (C), A PARK AND TRAILHEAD SHALL BE ESTABLISHED TO PROVIDE ADDITIONAL PASSIVE RECREATION OPPORTUNITIES AND PROVIDE ACCESS TO A SERIES OF NATURE TRAILS FOR WALKING, JOGGING, AND MOUNTAIN BIKING.

D. LOT COMBINATIONS

LOT COMBINATIONS MAY BE PERMITTED, WITH THE WRITTEN APPROVAL OF THE ARCHITECTURAL COMMITTEE, TO ALLOW DWELLING UNITS TO INCLUDE MULTIPLE LOTS IN ORDER TO ALLOW A BUILDING TO BE BUILT OVER LOT LINES BUT DOES NOT ALLOW FOR THE BUILDING TO ENCROACH INTO A PLATTED UTILITY EASEMENT.

E. SITE PLAN REVIEW

FOR THE PURPOSE OF SITE PLAN REVIEW, THE FINAL SUBDIVISION PLAT OF THE RESERVE AT CEDAR RIDGE SHALL SERVE AS THE REQUIRED SITE PLAN.

F. PLATTING REQUIREMENT

NO BUILDING PERMIT WILL BE ISSUED UNTIL THE PLANNED UNIT DEVELOPMENT SITE HAS BEEN INCLUDED WITHIN A SUBDIVISION PLAT SUBMITTED TO AND APPROVED BY THE CITY OF BIXBY PLANNING COMMISSION AND THE CITY OF BIXBY CITY COUNCIL, AND DULY FILED OF RECORD. THE REQUIRED SUBDIVISION PLAT WILL INCLUDE COVENANTS OF RECORD IMPLEMENTING THE DEVELOPMENT STANDARDS OF THE APPROVED PLANNED UNIT DEVELOPMENT AND THE CITY OF BIXBY SHALL BE A BENEFICIARY THEREOF.

SECTION IV - HOMEOWNERS' ASSOCIATION

A. FORMATION OF HOMEOWNERS' ASSOCIATION

THE DEVELOPER HAS FORMED OR SHALL CAUSE TO BE FORMED, IN ACCORDANCE WITH THE STATUTES OF THE STATE OF OKLAHOMA, A NOT-FOR-PROFIT CORPORATE ENTITY, AN ASSOCIATION (THE "HOMEOWNERS' ASSOCIATION" OR "ASSOCIATION") COMPRISED OF ALL OWNERS OF LOTS WITHIN "THE RESERVE AT CEDAR RIDGE", WHICH ASSOCIATION IS ESTABLISHED AND FORMED (OR TO BE ESTABLISHED AND FORMED) FOR THE GENERAL PURPOSES OF MAINTAINING THE COMMON AREAS, RESERVE AREAS, AND OTHER PROPERTY AND FACILITIES THAT ARE OR FROM TIME TO TIME MAY BE FOR THE COMMON USE AND BENEFIT OF THE LOTS AS THE SAME MAY BE AGREED TO BY THE MEMBERS OF THE ASSOCIATION, AND FOR THE PURPOSE OF ENHANCING THE VALUE, DESIRABILITY, AND ATTRACTIVENESS OF THIS SUBDIVISION.

B. MEMBERSHIP

EVERY PERSON OR ENTITY WHO IS A RECORD OWNER OF THE FEE INTEREST IN A LOT IN THE SUBDIVISION SHALL BE A MEMBER OF THE ASSOCIATION AND MEMBERSHIP SHALL BE APURTENANT TO AND SHALL NOT BE SEPARATED FROM THE OWNERSHIP OF A LOT. THE ACCEPTANCE OF A DEED TO A LOT SHALL CONSTITUTE ACCEPTANCE OF MEMBERSHIP TO THE ASSOCIATION AS OF THE DATE OF INCORPORATION, OR AS OF THE DATE OF RECORDING OF THE DEED, WHICHEVER OCCURS LAST.

C. COVENANT FOR ASSESSMENTS

EACH OWNER OF A LOT SUBSEQUENT TO THE DEVELOPER, BY ACCEPTANCE OF A DEED THEREFOR, IS DEEMED TO COVENANT AND AGREES TO PAY THE ASSOCIATION ASSESSMENTS TO BE ESTABLISHED BY THE ASSOCIATION IN ACCORDANCE WITH A DECLARATION TO BE EXECUTED AND FILED OF RECORD BY THE DEVELOPER. AN UNPAID ASSESSMENT, PROPERLY FILED, SHALL BECOME A LIEN UPON THE LOT(S) AGAINST WHICH IT IS MADE. THE LIEN, HOWEVER, SHALL BE SUBORDINATE TO THE LIEN OF ANY FIRST MORTGAGE.

D. ENFORCEMENT RIGHTS OF THE ASSOCIATION

WITHOUT LIMITATION OF SUCH OTHER POWERS AND RIGHTS AS THE ASSOCIATION MAY HAVE, THE ASSOCIATION SHALL BE A BENEFICIARY, TO THE SAME EXTENT AS A LOT OWNER, OF THE VARIOUS COVENANTS SET FORTH WITHIN THIS DEED OF DEDICATION AND RESTRICTIVE COVENANTS AND SHALL HAVE THE RIGHT TO ENFORCE THE COVENANTS TO THE SAME EXTENT AS A LOT OWNER.

SECTION V - ENFORCEMENT, DURATION, AMENDMENT, & SEVERABILITY

A. ENFORCEMENT AND DURATION

THE RESTRICTIONS HEREIN SET FORTH SHALL BE COVENANTS RUNNING WITH THE LAND AND SHALL BE BINDING UPON THE DEVELOPER, ITS GRANTEE, TRANSFERREES, SUCCESSORS, AND ASSIGNS AND ALL PARTIES CLAIMING UNDER IT FOR A PERIOD OF TWENTY-FIVE (25) YEARS FROM THE DATE OF RECORDING OF THIS DEED OF DEDICATION AND RESTRICTIVE COVENANTS, AFTER WHICH TIME SAID COVENANTS SHALL BE AUTOMATICALLY EXTENDED FOR SUCCESSIVE PERIODS OF TEN (10) YEARS UNLESS AMENDED OR TERMINATED AS HEREINAFTER PROVIDED. IF ANY LOT OWNER SHALL VIOLATE ANY OF THE COVENANTS HEREIN, IT SHALL BE LAWFUL FOR THE CITY OF BIXBY OR ANY PERSONS OWNING A LOT WITHIN THE SUBDIVISION TO MAINTAIN AN ACTION AT LAW OR IN EQUITY AGAINST THE PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY SUCH COVENANT(S) TO PREVENT SUCH PERSON OR PERSONS FROM SO DOING OR TO COMPEL COMPLIANCE WITH THE COVENANT(S) OR TO RECOVER DAMAGES FOR SUCH VIOLATION(S).

B. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I STREETS, EASEMENTS, AND UTILITIES, SECTION II RESERVE AREAS, AND SECTION V ENFORCEMENT, DURATION, AMENDMENT, & SEVERABILITY MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LOT OR LOTS TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND BY THE BIXBY PLANNING COMMISSION, OR ITS SUCCESSORS, WITH THE APPROVAL OF THE CITY OF BIXBY, OKLAHOMA. THE COVENANTS CONTAINED WITHIN SECTION III PLANNED UNIT DEVELOPMENT RESTRICTIONS RESTRICTIONS SHALL BE DEEMED AMENDED (WITHOUT NECESSITY OF EXECUTION OF AN AMENDING DOCUMENT) UPON APPROVAL OF A MINOR AMENDMENT TO BXPUD-22.07 BY THE BIXBY PLANNING COMMISSION AND RECORDING OF A CERTIFIED COPY OF THE MINUTES OF THE BIXBY PLANNING COMMISSION WITH THE TULSA COUNTY CLERK, OR UPON APPROVAL OF A MAJOR AMENDMENT TO BXPUD-22.07 UPON FILING OF RECORD AN ORDINANCE OR OTHER VALID RECORD OF CITY OF BIXBY APPROVAL. THE COVENANTS WITHIN SECTION IV HOMEOWNERS' ASSOCIATION MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE DEVELOPER DURING SUCH PERIOD THAT THE DEVELOPER IS THE RECORD OWNER OF AT LEAST ONE (1) LOT WITHIN THE SUBDIVISION OR ALTERNATIVELY, THE COVENANTS WITHIN SECTION IV MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNERS OF MORE THAN 75% OF THE LOTS WITHIN THE SUBDIVISION, PROVIDED HOWEVER, IN THE EVENT OF A CONFLICT OF AMENDING OR TERMINATING INSTRUMENTS, THE INSTRUMENT EXECUTED BY THE DEVELOPER SHALL GOVERN. THE PROVISIONS OF ANY SUCH INSTRUMENT AMENDING OR TERMINATING COVENANTS SHALL BE EFFECTIVE FROM AND AFTER THE DATE THE INSTRUMENT IS PROPERLY RECORDED.

C. SEVERABILITY

THESE RESTRICTIVE COVENANTS, TOGETHER WITH THE OTHER DOCUMENTS INCORPORATED HEREIN BY REFERENCE, SHALL BE CONSTRUED AS AN ENTITY AND THE PERTINENT SECTIONS OF ALL INSTRUMENTS AS A WHOLE. THE INVALIDITY OF ANY PHRASE, CLAUSE, OR PROVISIONS HEREIN CONTAINED SHALL NOT RENDER THE BALANCE OF THIS INSTRUMENT VOID, OR UNENFORCEABLE, AND THE SAME SHALL BE THEREAFTER CONSTRUED AS IF SUCH PHRASE, CLAUSE, OR PROVISION WERE NOT HEREIN CONTAINED, OR TO OTHERWISE GIVE MAXIMUM EFFECT TO THE INTENT OF THE DEVELOPER. THE FAILURE OF THE DEVELOPER OR ANY SUCCESSOR IN TITLE TO ENFORCE ANY RESTRICTION, COVENANT, OR CONDITION AT ANY TIME, OR FROM TIME TO TIME, SHALL NOT BE DEEMED TO BE A WAIVER OR RELINQUISHMENT OF ANY RIGHT OR REMEDY NOR A MODIFICATION OF THESE RESTRICTIONS, COVENANTS, OR CONDITIONS.

D. DEFINITIONS

IN THE EVENT OF AMBIGUITY OF ANY WORD OR TERM SET FORTH HEREIN, THE MEANING THEREOF SHALL BE DEEMED TO BE DEFINED AS SET FORTH WITHIN THE CITY OF BIXBY ZONING CODE AS THE SAME EXISTED ON SEPTEMBER 6, 2022 (DATE OF PUD APPLICATION), OR AS SUBSEQUENTLY AMENDED.

IN WITNESS WHEREOF, THE OWNER HAS CAUSED THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF _____, 2025.

SOONER DEVELOPMENT GROUP - CR RESERVE, LLC,
AN OKLAHOMA LIMITED LIABILITY COMPANY

BY: _____
THOMAS CONNELL CURRAN, MANAGER

STATE OF OKLAHOMA)

COUNTY OF TULSA)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS _____ DAY OF _____, 2025, PERSONALLY APPEARED THOMAS CONNELL CURRAN, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED THE NAME OF SOONER DEVELOPMENT GROUP - CR RESERVE, LLC TO THE FOREGOING INSTRUMENT, AS ITS MANAGER, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED AND AS THE FREE AND VOLUNTARY ACT AND DEED OF SOONER DEVELOPMENT GROUP - CR RESERVE, LLC FOR THE USES AND PURPOSES THEREIN SET FORTH. GIVEN UNDER MY HAND AND SEAL OF OFFICE THE DAY AND YEAR LAST ABOVE WRITTEN.

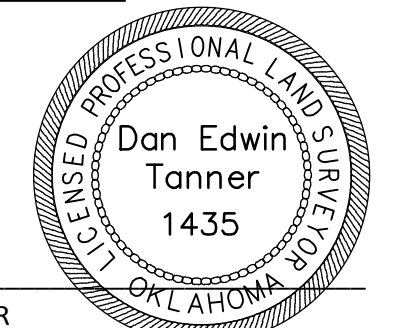
MY COMMISSION EXPIRES _____

NOTARY PUBLIC

CERTIFICATE OF SURVEY

I, DAN E. TANNER, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND HEREIN DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT DESIGNATED AS "THE RESERVE AT CEDAR RIDGE", A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, IS A TRUE REPRESENTATION OF A SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES AND MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING.

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____, 2025.



BY: _____
DAN E. TANNER
LICENSED PROFESSIONAL LAND SURVEYOR
OKLAHOMA NO. 1435

STATE OF OKLAHOMA)

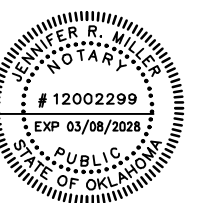
COUNTY OF TULSA)

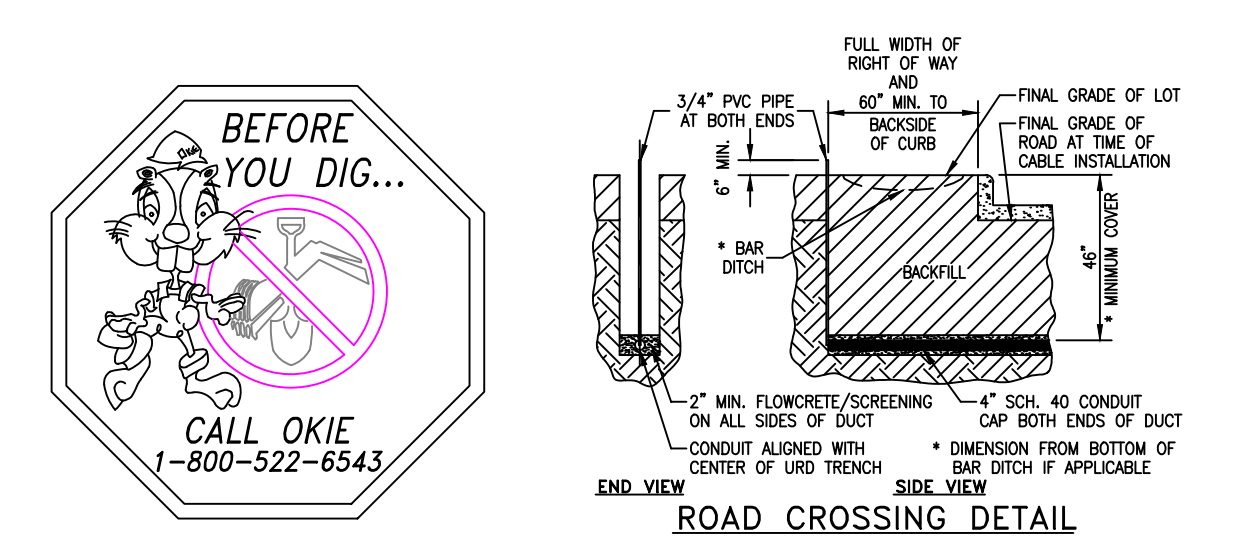
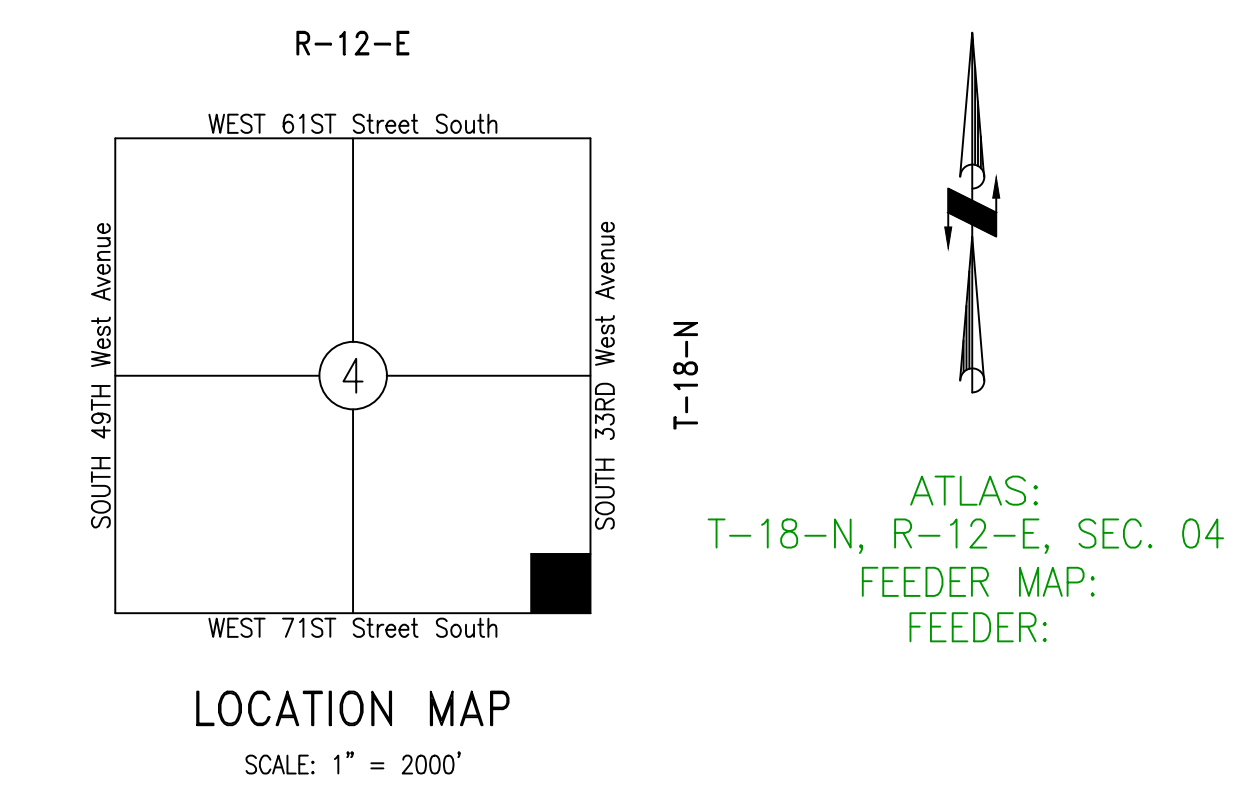
BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THE _____ DAY OF _____, 2025, PERSONALLY APPEARED TO ME DAN E. TANNER, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS NAME AS LICENSED PROFESSIONAL LAND SURVEYOR TO THE FOREGOING CERTIFICATE, AS HIS FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSES THEREIN SET FORTH. GIVEN UNDER MY HAND AND SEAL OF OFFICE THE DAY AND YEAR LAST ABOVE WRITTEN.

03/08/2028

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

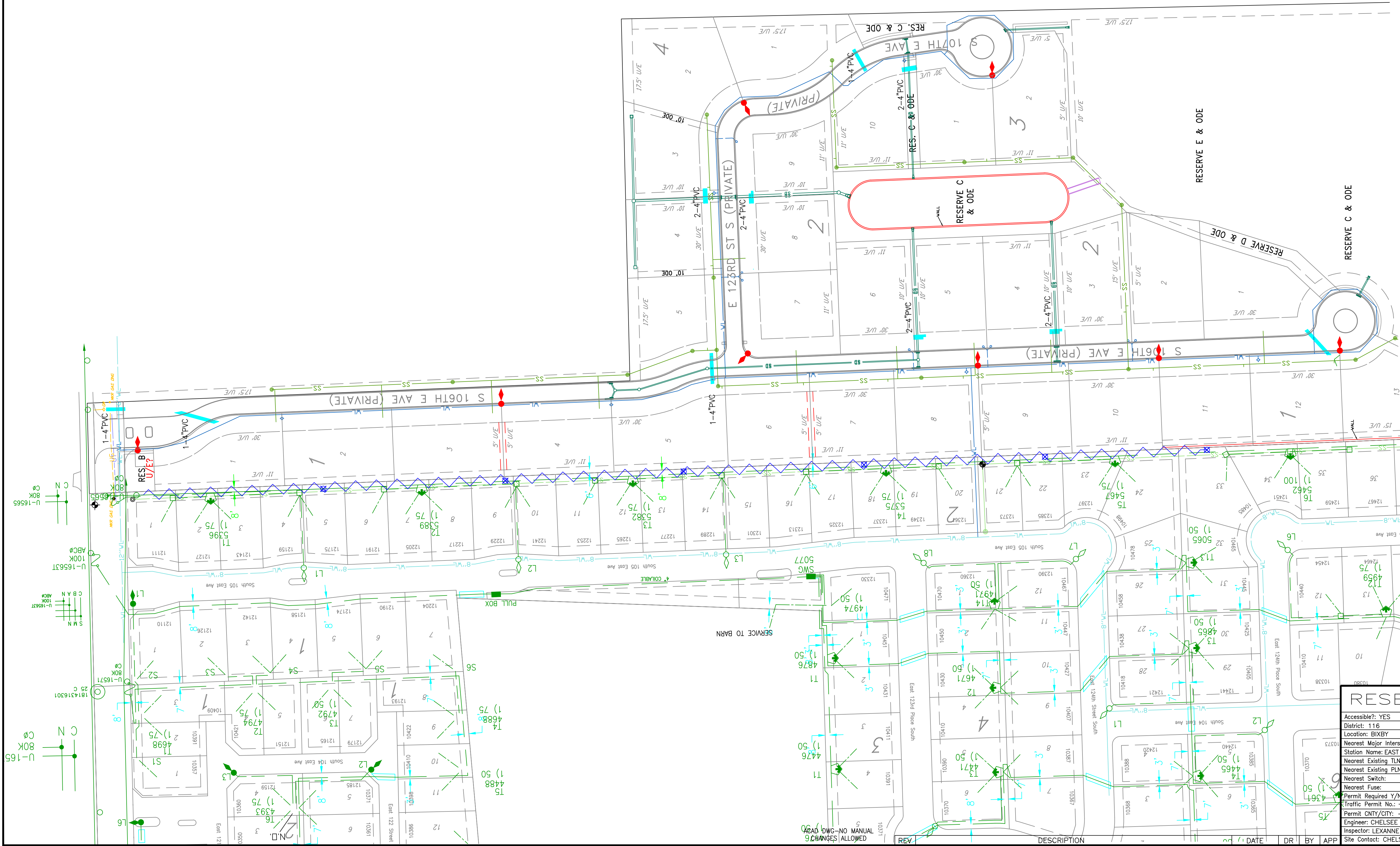




AEP - PUBLIC SERVICE COMPANY OF OKLAHOMA - GENERAL NOTES:

1. FOREIGN OBJECTS OR DEBRIS ARE NOT PERMITTED IN COMPLETED TRENCH. NO ROCKS ARE ALLOWED WITHIN 6" OF DIRECT-BURIED CABLES. NATIVE BACKFILL CAPABLE OF PASSING THROUGH A 1" MESH SCREEN SHALL BE CONSIDERED ROCK FREE.
2. DEVELOPER SHALL PROVIDE ROCK FREE BACKFILL (SAND OR SELECT BACKFILL), IF EXISTING BACKFILL DOES NOT PASS THROUGH A 1" MESH SCREEN. ROCK FREE BACKFILL WILL BE PLACED 3" BELOW AND 6" ABOVE ALL DIRECT-BURIED CABLES.
3. DEVELOPER SHALL PROVIDE **4" SCHEDULE 40 GRAY ELECTRICAL PVC CONDUITS** FOR ALL STREET CROSSINGS. CONDUITS FOR STREET CROSSINGS SHALL EXTEND THE FULL WIDTH OF THE RIGHT-OF-WAY AND A MINIMUM OF 5" FROM THE BACKSIDE OF THE CURB. **CREWS OPEN CUT ROUTE FOR ALL CONDUCTORS. IT IS THE DEVELOPER'S RESPONSIBILITY TO PROVIDE A 4" SCHEDULE 40 GRAY ELECTRICAL SLEEVE UNDER ANY, AND ALL, OBSTACLE THAT WILL PREVENT DIGGING, EVEN THOSE THAT ARE NOT DEPICTED ON LAYOUT. THIS INCLUDES, BUT NOT LIMITED TO: SIDEWALKS, CONCRETE, SOD, WALLS, FENCES, & OTHER UTILITIES.** DEVELOPER SHALL PROVIDE **CONCRETE ENCASED 4" SCHEDULE 40 GRAY ELECTRICAL PVC CONDUITS** FOR ALL ELECTRICAL CABLES THAT CROSS DRAINAGE EASEMENTS (CREEKS, SPILLWAYS, ETC.) AND **4" SCHEDULE 80 GRAY ELECTRICAL PVC CONDUITS** IN AREAS THAT WILL BE SUBJECT TO EROSION OR WASHOUT. CONDUITS FOR DRAINAGE EASEMENTS AND OTHER CROSSINGS SHALL EXTEND THE FULL WIDTH OF THE RIGHT-OF-WAY AND A MINIMUM OF 5" BEYOND THE EDGE OF OBSTRUCTION. CONCRETE ENCASED CONDUITS SHALL HAVE A MINIMUM OF 4" OF CONCRETE ON ALL SIDES. PSO SHALL INSPECT ALL CONDUITS BEFORE BACK FILLING AND COMPACTING. THE ENDS OF ALL CONDUITS SHALL BE SEALED AND MARKED WITH A 3/4" RISER PIPE TO BE INSTALLED AT EACH END OF THE CONDUIT, THAT EXTENDS 6" ABOVE FINAL GRADE. ALL CABLES SHALL MAINTAIN A MINIMUM CLEARANCE OF 6" FROM OTHER UTILITY (SEWER LINE, STORM DRAIN, ETC.) AND A MINIMUM OF 12" WHEN PARALLELING. IF OTHER UTILITY CROSSES THE TRENCH NEAR THE 48" DEPTH, THE DEVELOPER SHALL PROVIDE A **4" SCHEDULE 40 GRAY ELECTRICAL PVC CONDUIT** UNDER THE OBSTACLE WITH A 6" MINIMUM CLEARANCE. STREET CROSSINGS MUST CONFORM TO PSO DISTRIBUTION ENGINEERING GUIDE SECTION D202. IF THE GOVERNING MUNICIPALITY REQUIRES THE USE OF STEEL PIPE, ONLY MATERIAL APPROVED BY PSO WILL BE USED INSTEAD OF PVC. ALL CROSSING CONDUITS SHALL HAVE A MINIMUM COVERAGE BELOW FINAL GRADE AS LISTED BELOW:
 - A) PRIMARY SHALL BE A MINIMUM OF 48" OF COVERAGE.
 - B) SECONDARY SHALL BE A MINIMUM OF 48" OF COVERAGE.
 - C) SERVICE SHALL BE A MINIMUM OF 36" OF COVERAGE.
 - D) STREETLIGHT SHALL BE A MINIMUM OF 48" OF COVERAGE.
4. WARNING TAPE WILL BE INSTALLED IN PRIMARY AND SECONDARY TRENCHES. THE TAPE WILL BE INSTALLED IN THE CENTER OF THE TRENCH, APPROXIMATELY 2" ABOVE CABLE AND 1" BELOW GRADE. THE DEPTH OF THE TAPE WILL HAVE TO BE ADJUSTED TO THE DEPTH OF THE TRENCH.
5. **ALL CROSSINGS AND SLEEVES MUST BE INSPECTED CALL 48 HOURS IN ADVANCE OF INSTALLATION OF ROAD CROSSINGS**

CHECK-PRINT
FOR RED-LINE AND APPROVAL
NOT FOR CONSTRUCTION



RESERVE AT CEDAR RIDGE			
Accessible?: YES	No. Lots/Units: 30	Quadr: T17 R14 SEC06	Voltage: 7.6/120/240
District: 118	Crew HQ: 11758	County: TULSA	MTR Code: -
Location: BIVBY			Circuit No.: XK-3
Nearest Major Intersection: E 121ST ST S & S GARNETT RD			Phases: -
Station Name: EAST 121ST STREET			Primary Cable: 2AL CIC
Nearest Existing TUN: 1714-06-5396			Secondary Cable: 350AL CIC
Nearest Existing PLN: 55694148081283			Service Cable: 4/OAL CIC
Nearest Switch: -			SL Light Cable: 12/2 CU CIC
Nearest Fuse: -			Inside City Limits / Gated Community: GATED
Permit Required Y/N: N			
Traffic Permit No.: -			
Permit COUNTY: -			
Engineer: CHELSEE DAMAS	Phone: 918-599-6413	Drawn By: LB	Page: 1 of 1
Inspector: LEXANNE PENDERDRAFT	Phone: 918-695-2472	Reviewed By: LB	Scale: 1" = 50'
Site Contact: CHELSEE DAMAS	Phone: 918-599-6413	Approved By: -	DWG# 171406##-D

CITY OF BIXBY

P.O. Box 70
116 W. Needles Ave.
BIXBY, OK 74008
(918) 366-4430
(918) 366-6373 (fax)

Development Services – Engineering Memo

To: Justin Morgan, Tanner Consulting
Megan Pasco, Tanner Consulting

From: Bea Aamodt, Public Works Director/City Engineer

CC: Public Works
Development Services
City Manager
File

Date: June 3, 2025

Re: **The Reserve at Cedar Ridge – Final Plat**

This review is based upon the following:

- Civil Plans dated January 13, 2025
- Comment Response Letter from Tanner dated December 13, 2024.

In general, the January 13th Plans addressed the Comments listed in the Response letter. However, below are the exceptions and consist of the original comments, the response, and follow-up comments.

1. Bullet Point 4. Lighting Plan will be required with the submittal of the Final Plat.

Responses	Noted.
Comment	<i>I was unable to find a copy of the Lighting Plan in our Records. Please submit a copy before final approval of the Plat.</i>

2. Bullet Point 5. All unique plan items (i.e. backflow prevention lots) shall be included on the face of the final plat

Responses	Noted.
Comment	<i>No backflow preventers are listed on the Plat. Only in the vicinity of MH 10 (CD21) does it appear that pad elevations are lower than the downstream manholes.</i>

3. Comment #2. The City is actively seeking grant opportunities to extend a 10-foot side path along the south side of 121st, east of Mingo. Due to the short distance along the frontage of 121st, please consider expanding sidewalk to 10-feet to align with City trail goals.

Responses	Further discussion needed. No change with this submittal.
------------------	-----------------------------------------------------------

Comment	<i>Only standard sidewalks are shown at the development entrance. The City has secured a Grant to build a side path on 121st. The sidewalks should be expanded to 10-ft</i>
----------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

4. Comment #5. Is there a net cut within the floodplain?

Responses	Yes. Floodplain storage on site will be increased after proposed grading.
Comment	<i>Provide documentation to substantiate this assertion</i>

5. Comment #15. Flatten Storm Line C2 (Junction 1 to 2) to allow waterline to lay on top of the storm system.

Responses	This is not possible. Line C2 from Junction 1 to Junction 2 is 97% full and cannot be laid at a flatter slope. A larger pipe diameter would be required from Junction 2 to Outlet C. A larger diameter pipe would also conflict with water in this location. During the design process, storm line F1 from Outlet F to Inlet Fb was upsized to 36" from 30" not for storm water capacity, but to limit the number of times storm is laid over waterline.
Comment	<i>This pipe can definitely be laid at a flatter slope. The HGL is not determined by the slope of the bottom of the pipe. The profile shows the pipe is already flowing under surcharge conditions. Flattening the pipe will not affect the HGL and hence will not affect the pipe capacity or performance.</i>

6. Comment #19 and 20. Is Sewer Line A of sufficient depth to serve off-site properties to the north? Move MH 10 further south to the next Lon-Jan lot line. An extension from MH 10 to the east will be the likely sewer extension to serve the eastern portion of the site. Ensure sufficient depth to serve properties to the east.

Responses	Yes. Manhole 9 has been moved onto Lon-Jan property. When Lon-Jan develops, tees can be set on the existing line for the west side of the property. I expect an additional line will be extended from manhole 9 east along the south property line and then turn north along the east property line. I have confirmed there is adequate depth for this design.
Comment	<i>No documentation has been provided to substantiate this assertion. An exhibit showing the layout and elevations described would be in order.</i>

7. Comment #27. Adjust lot widths (e.g. reduce Lot 6, Block 1 by approximately 10-feet) to align the 15-foot wide utility easement on Lot 8, Block 1 with the two 11-foot utility easements in Chisholm Ranch (i.e. Lots 20 and 21, Block 2). This will allow a straight run of waterline between 105th and 106th. Utilize a fusible waterline pipe with valves at each end.

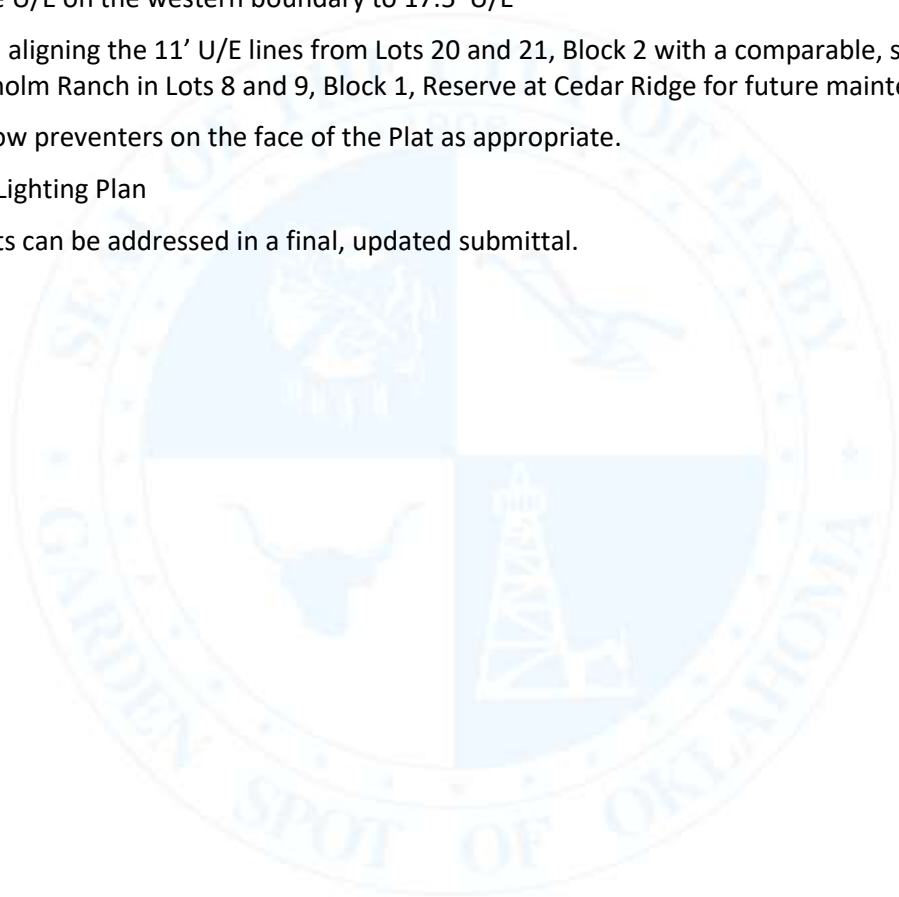
Responses	Done.
Comment	<i>The easements are not aligned and a single 15' easement has been provided for the waterline connection to Chisholm Ranch.</i>

Of these Comments, only Bullet Points 4 and 5 and Comment # 27 would impact the final plat. In addition, note that a 17.5' perimeter U/E has only been provided on the north, east, and south boundaries. Only Utility easements with widths of 11' and 15' are provided on the west boundary.

Therefore, for the Final Plat, the following are recommended:

- a. Increasing the U/E on the western boundary to 17.5' U/E
- b. Matching and aligning the 11' U/E lines from Lots 20 and 21, Block 2 with a comparable, straight 22' U/E corridor Chisholm Ranch in Lots 8 and 9, Block 1, Reserve at Cedar Ridge for future maintenance.
- c. Listing backflow preventers on the face of the Plat as appropriate.
- d. Submitting a Lighting Plan

All comments can be addressed in a final, updated submittal.



Thursday, June 5, 2025

Bixby City Council
c/o Gladys Gill
City of Bixby
PO Box 70
Bixby, OK 74008

Re: The Reserve at Cedar Ridge Modification/Waiver for Utility Easement Width

Dear Bixby City Council:

In accordance with the related review comment in Engineering Memo dated June 3, 2025 and our discussion at the June 4, 2025 TAC meeting, this letter will serve as written request for Modification/Waiver from Subdivision Regulations Section 12-3-3.A to allow 11'-wide and 15'-wide Utility Easements along the west perimeter abutting an existing 17.5'-wide U/E within Chisholm Ranch.

We have designed the subdivision in concert with the City Engineer and utility companies providing services to the subdivision, and have designed U/E widths in areas, especially when back-to-back with other perimeter U/Es, to achieve the necessary widths to accommodate all utilities. Eleven (11) feet is the customary width for a supplemental perimeter U/E when abutting a 17.5'-wide perimeter U/E in an adjoining subdivision. The sanitary sewerline along this boundary shared with Chisholm Ranch is within the 17.5'-wide U/E within Chisholm Ranch, and no new sanitary sewer is proposed along this line. Other existing utilities are within the Chisholm Ranch U/E and do not need to be duplicated on our side of the common line, except where a retaining wall will be constructed. For this area, we have widened the U/E from 11' to 15'.

For the benefit of the future homeowners, we avoid excessive U/E widths whenever permitted.

Please contact me at (918) 745-9929 or eenyart@tannerbaitshop.com if you have any questions or need additional information.

Respectfully,



Erik Enyart, AICP, CFM

From: [Erik Enyart](#)
To: [Gladys Gill](#)
Cc: [Megan Pasco](#); [Bea Aamodt](#); [Justin Morgan](#)
Subject: 23254 The Reserve at Cedar Ridge - City / Engineering / TAC Review Comments
Date: Monday, June 30, 2025 11:07:47 AM
Attachments: [image001.png](#)
[23254_20250630_The Reserve at Cedar Ridge Conditional Final Plat.pdf](#)
[23254_20250606_CITY_Modification-Waiver Request Letter.pdf](#)

Hi Gladys: Hope this finds you well!

As you may recall during the TAC meeting, we discussed new Engineering Review comments we received after the City had already approved the original Civil Engineering Construction Plans. Some of those new comments pertained to the Final Plat. They are below and our responses are provided:

Of these Comments, only Bullet Points 4 and 5 and Comment # 27 would impact the final plat. In addition, note that a 17.5' perimeter U/E has only been provided on the north, east, and south boundaries. Only Utility easements with widths of 11' and 15' are provided on the west boundary.

Therefore, for the Final Plat, the following are recommended:

- a. Increasing the U/E on the western boundary to 17.5' U/E
Per agreement on approach with Bea Aamodt at TAC, we drafted and sent City Modification/Waiver request letter 06/06/2025. We anticipate most of these homes will want to build pools at some point, which sets up a conflict with U/Es wider than necessary. It is attached again for your convenience. It was not included in PC agenda packet. Still pending PC next month. City Council can approve the Modification/Waiver but PC should be allowed opportunity to review and recommend upon the request along with the Final Plat.
- b. Matching and aligning the 11' U/E lines from Lots 20 and 21, Block 2 with a comparable, straight 22' U/E corridor Chisholm Ranch in Lots 8 and 9, Block 1, Reserve at Cedar Ridge for future maintenance.
Agreed to do this at TAC and it has been done in the attached updated Final Plat.
- c. Listing backflow preventers on the face of the Plat as appropriate.
I pointed out that we have a note on the plat face that all lots require backflow preventers unless otherwise permitted by the City. Bea Aamodt agreed to this approach.
- d. Submitting a Lighting Plan
Agreed to do this at TAC. I requested this from AEP-PSO 06/04/2025 and 06/10/2025 and 06/20/2025. We will get this to you as soon as we receive it from them. Since we are at the mercy of and on their timeline, if necessary, I trust this can be submitted after PC and CC approval of our Final Plat but before the plat is signed and released for filing.

I can provide additional hard copies tomorrow when we submit a Preliminary Plat for Central Park on Mingo. Just let me know if and how many you would like.

Can you confirm we will be back on the PC agenda 07/21/2025?

Respectfully submitted,

Erik Enyart, AICP, CFM

918.745.9929 Office

www.tannerbaitshop.com





CITY OF BIXBY
111 N Cabaniss Ave
Bixby, OK 74008
(918) 366-4430

STAFF REPORT

TO: Planning Commission

FROM: Gladys Gill, Planner

DATE: July 21, 2025

NAME: Fix Auto

CASE(S): **RE-ZONE** | BXZO-25.07
SPECIFIC USE PERMIT (SUP) | BXSUP-25.01

LOCATION: 12105 S Memorial Drive, Bixby, Oklahoma

EXISTING ZONING: Commercial Shopping (CS) with SUP

PROPOSED ZONING: Commercial High Intensity (CH) with SUP

STR: Section 01, Township 17N, Range 13E

APPLICANT: Larry Ham

REQUEST: The applicant is requesting a rezone from CS (Commercial Shopping) with a Specific Use Permit (SUP) for Use Unit 17: Automotive and Allied Activities to CH (Commercial Heavy) with a Specific Use Permit for Use Unit 25: Light Manufacturing and Industry, specifically to allow automotive painting.

Automotive painting is not permitted by right in CH and therefore requires an SUP per the Use Unit Matrix (Bixby Code §11-13-6).

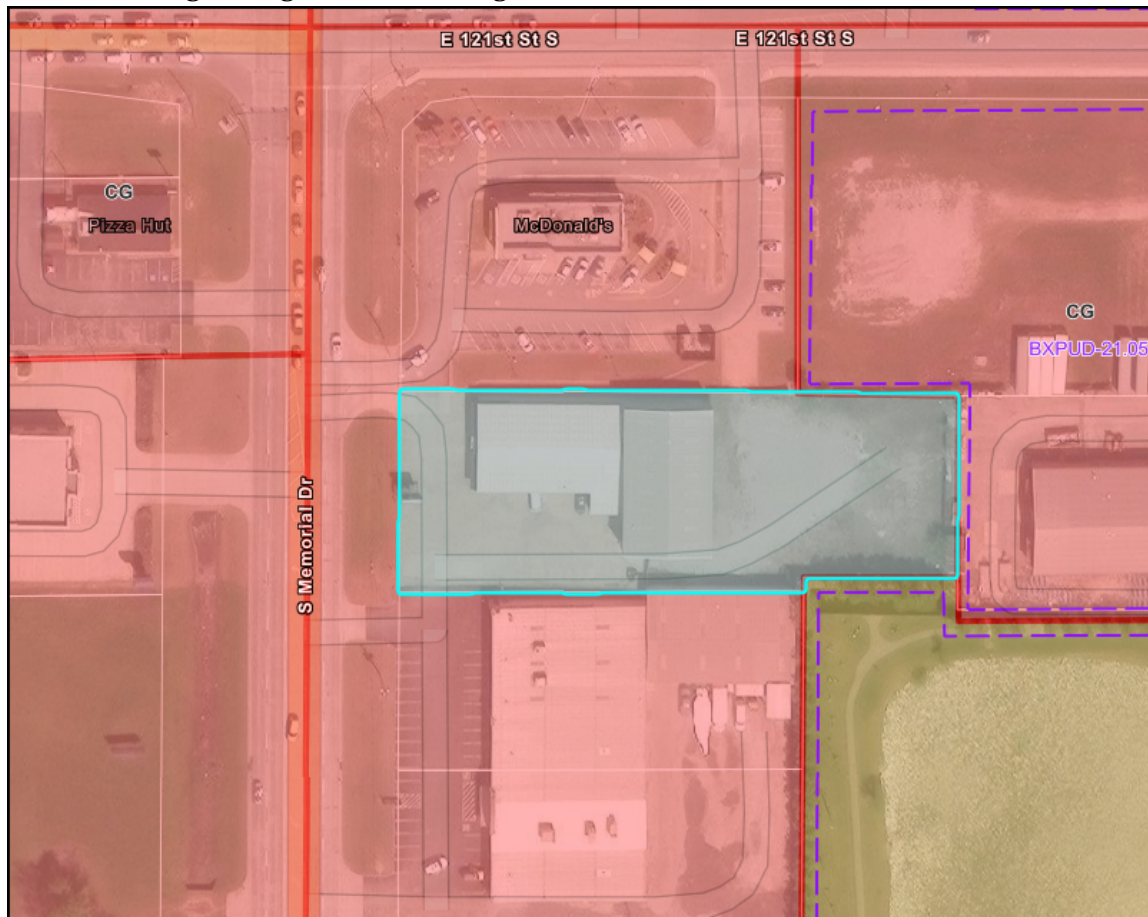
BACKGROUND: The subject property currently operates under CS zoning with an existing SUP authorizing Use Unit 17: Automotive and Allied Activities, which allows uses such as general vehicle repair, oil/lube services, tune-ups, and tire shops. The SUP was recommended for approval by the Planning Commission and approved by City Council in 2023. However, Mr. Ham, owner of Fix Auto, would like to offer automotive painting, which is not permitted under Use Unit 17 and is instead classified under Use Unit 25: Light Manufacturing and Industry (Bixby Code §11-9-25).

To accommodate the proposed expansion into vehicle painting services, the property must be rezoned to CH and obtain a new SUP for Use Unit 25. Please note that Use Unit 17: Automotive and Allied Activities would still be permitted as a use by right under CH zoning.

SURROUNDING ZONING AND LAND USE:

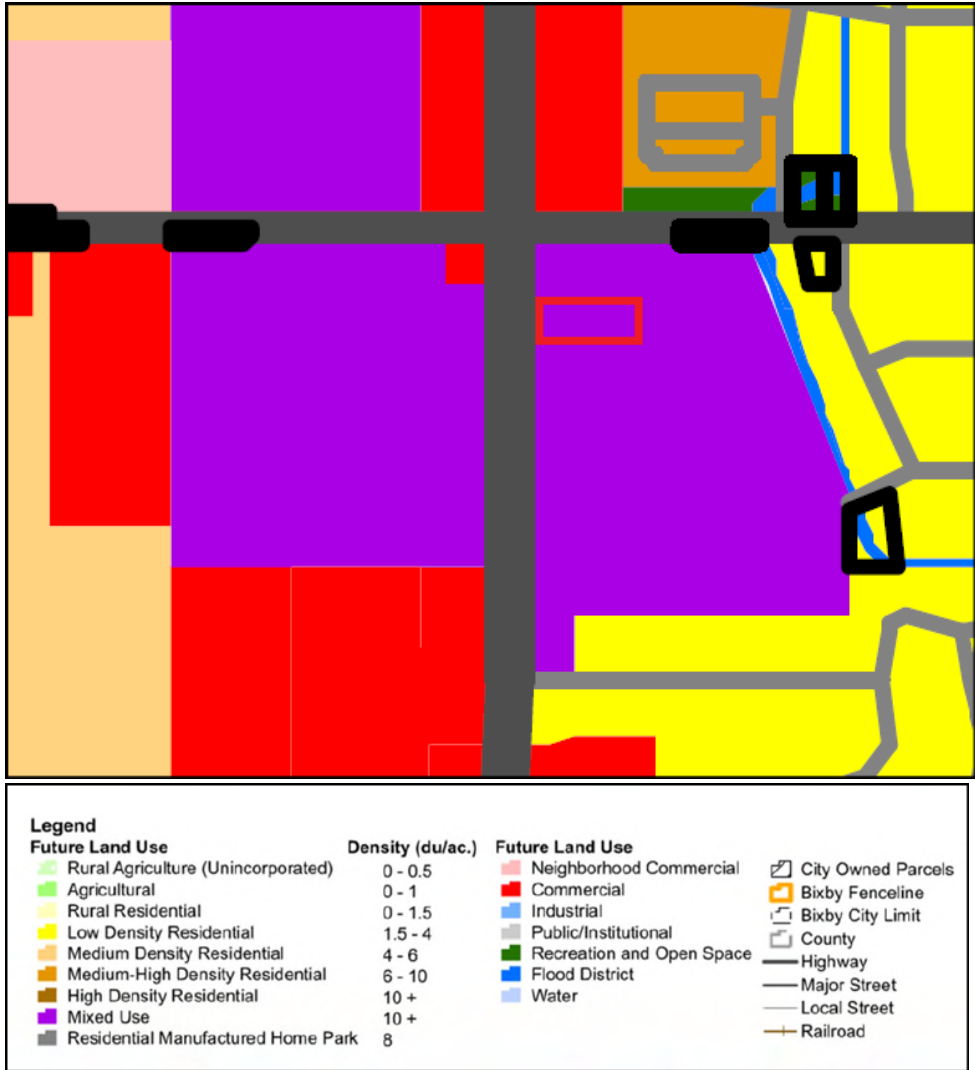
- North: (CS) Commercial Shopping: McDonalds
- South: (CS) Commercial Shopping: North Carolina Furniture Mart; Residential Multi-Family (RM-3): Residences at Boardwalk (walking trails)
- East: (CS) Commercial Shopping: Boardwalk (formerly Atlas)
- West: South Memorial Drive; (CS) Commercial Shopping: Dental Care of Bixby

Figure 1: Existing zoning for surrounding areas.



EXISTING COMPREHENSIVE PLAN:

Figure 2: Comprehensive Plan 2030 Future Land Use Designation



COMPREHENSIVE PLAN:

The City of Bixby’s 2030 Comprehensive Plan designates the area as Mixed Use. The proposed zoning of CH will not trigger a Comprehensive Plan amendment.

Figure 3: Snip from our 2030 Future Land Use Designation

Mixed Use	<p>The Mixed Use designation denotes areas where multiple unrelated uses are permitted on a single lot, clustered together to create a dense, walkable, and active urban area. Multiple uses may be stacked vertically in a single structure, or horizontally in a well-planned fashion. These areas should be pedestrian-oriented and located at focal points within the City, such as Downtown.</p> <p><i>Density: 10+ du/ac</i></p> <p><i>Zoning: RD, RT, RM-1, RM-2, RM-3, CS, OL, CG, OM, CH, ST</i></p>
------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

ZONING ANALYSIS:

Use Unit 25 includes automotive painting and similar uses that may have minor environmental impacts (e.g., odor, solvent use). The CH district allows these uses subject to SUP approval, with additional conditions to safeguard nearby properties and ensure compatibility.

- **USE UNIT 25 REQUIREMENTS:** As outlined in Bixby Code §11-9-25, Use Unit 25 is subject to the following conditions:
 - **Enclosure Requirement:** Uses within 300 feet of an R District must occur entirely within enclosed buildings.
 - **Screening Requirement:** Abutting R Districts require screening walls. If the use is accessed between 10:00 p.m. and 7:00 a.m., an 8-ft masonry wall is required unless waived by City Council.
 - A site plan shall be submitted and reviewed for compliance with these development standards.

PUBLIC INPUT:

Following the public notice and publication on May 27, 2025, no public comments have been submitted as of the time this report was prepared.

STAFF COMMENTS:

Staff has reviewed the proposed rezone and SUP for Fix Auto and finds that it meets the applicable approval criteria outlined in the City of Bixby Zoning Code while aligning with the goals and policies of the Comprehensive Plan.

Staff's comments are contingent upon the approval of the accompanying rezoning application BXZO 25.07 and BXSUP-25.01 and are subject to the following conditions:

- The spray booths/and or rooms shall be in compliance with the 2018 International Fire Code, 2018 International Building Code, and NFPA 33.
- Automotive painting operations shall be conducted entirely within an enclosed building.
- A screening wall shall be provided if the site abuts or is within 300 feet of an R District, consistent with §11-9-25(C)(2).
- The Applicant shall continue to use the side/rear portion of the property that is fenced, and all the vehicles will be located behind the fencing.
- A site plan including landscaping, lighting, and signage must be reviewed and approved by the Planning Commission and City Council prior to issuance of a building permit.
- All development activities conducted under this SUP shall comply with the recommendations outlined by the Bixby Fire Marshal, City Engineer, and City Attorney.

FIGURES:

- Figure 1: Existing Zoning
- Figure 2: Comprehensive Plan 2030 Future Land Use Designation

ATTACHMENTS:

- Attachment 1: Rezoning and SUP Application
- Attachment 2: Deputy Fire Chief Memo on Paint Booths or Paint Rooms

From: [Nick Flanary](#)
To: [Gladys Gill](#)
Subject: Re: Fix Auto - Paint Booth
Date: Monday, July 14, 2025 11:43:26 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[OutlookEmoji-175147093928552932667-0b90-44f7-ab57-bd9d46aae1db.png](#)
[OutlookEmoji-1751470939285e4d99689-0c2d-4723-85f1-599b50903792.png](#)
[OutlookEmoji-1751470939285e8060bf9-ced1-4981-b148-c8e6b546f6b8.png](#)
[OutlookEmoji-1751470939285f3bf2901-bfe6-4e92-92d4-efba54e11081.png](#)
[OutlookEmoji-175147093928507123614-fda8-4239-8075-4c9862557961.png](#)
[OutlookEmoji-1751470939285a9986c50-c7ce-41ee-b65f-b0061d9bf8ef.png](#)
[OutlookEmoji-175147093928520f6c6a2-3b8c-408f-a4f8-ce19a8bfa872.png](#)
[OutlookEmoji-175147093928537d41a4f-b25c-4f68-80ca-6ed04665fd54.png](#)
[OutlookEmoji-17514709392850bbaa39a-8355-4d18-bd33-764ae83a3a21.png](#)

Gladys,

The spray booths/and or rooms shall be in compliance with the 2018 International Fire Code, 2018 International Building Code, and NFPA 33.

2018 International Fire Code:

2404.3 Design and Construction

Design and construction of [spray rooms](#), [spray booths](#) and spray spaces shall be in accordance with Sections [2404.3.1](#) through [2404.3.3.1](#).

2404.3.1 Spray Rooms

[Spray rooms](#) shall be constructed and designed in accordance with [Section 416](#) of the [International Building Code](#) and [Section 2404.3.2](#) of this code, and shall comply with Sections [2404.4](#) through [2404.8](#) of this code.

2404.3.3 Spray Booths

The design and construction of [spray booths](#) shall be in accordance with Sections 2404.3.3.1 through 2404.3.3.6, Sections 2404.4 through 2404.8 and NFPA 33.

Hope this helps.

Nick Flanary | **Bixby Fire Department**
Deputy Chief



6397 E 151st St S
Bixby, OK 74008
T: 918-366-0458
E: NFlanary@BixbyOK.gov
W: BixbyOK.gov

From: Gladys Gill
Sent: Monday, July 14, 2025 11:05:34 AM
To: Nick Flanary
Subject: Fix Auto - Paint Booth

Could you please send me your preliminary opinion for a paint booth going in at Fix Auto located at 12105 S MEMORIAL DR E BIXBY 74008.

Respectfully,

GLADYS GILL

ASSISTANT PLANNER I

918-366-0453

ggill@bixbyok.gov

www.bixbyOK.gov

116 W Needles Ave.
Bixby, OK 74008



Our Vision, Our Future.





City Of Bixby
 P.O. Box 70
 116 W. Needles Ave.
 Bixby, OK 74008
 (918) 366-4430

BX70-25.07

Bixby Planning Department Rezoning Application

Project Name: Fix AUTO
 Project Case #: _____
 TAC Hearing Date: _____ Location: 113 West Dawes Avenue
 PC Hearing Date: _____ Location: 116 West Needles Avenue
 CC Hearing Date: _____ Location: 116 West Needles Avenue

Owner Information:

Name: OSAGE CREEK Investment Group Phone: (918) 284-9700
 Email: larry.ham@fixautousa.com
 Address: 20921 S. Lewis
 City/State: MOUNOS, OK Zip: 74047

Applicant Information:

Name: Fix AUTO Phone: (918) 369-3100
 Email: larry.ham@fixautousa.com
 Address: 12105 S. Memorial Dr.
 City/State: Bixby, OK Zip: 74008

If Applicant is other than Owner:

Indicate interest: _____
 Owner Consent Signature: Larry Ham Date: 6/3/25

Property Information:

Address: 12105 S. Memorial Drive Zip: 74008
 Subdivision: 121st Center Lot: 2:5 Block: 1
 SEC: 01 TWN: 17 RGE: 13

Legal Description: (If unplatted, attach a survey with legal description or copy of deed)

RECEIVED
 JUN 03 2025
CITY OF BIXBY

Application Checklist

01. Zoning Information:

Existing Zoning: CS Existing Use: Auto Repair
Requested Zoning: CH w/sup Proposed Use: Auto Repair w/paint
Proposed Use Unit(s) #: 17/25 PAINT only

02. N Is subject tract located in the 100-year floodplain?
03. N If so, does this request encroach into the 100-year floodplain?
04. If so, please attach Elevation Certificate.

05. Fees:

\$: 250.00* Rezoning Low Intensity
\$: 350.00* Rezoning Medium Intensity
\$: 400.00* Rezoning High Intensity
\$: 120.00 Additional Fee* (\$120.00 per sign)
\$: 520.00 Total Fees*

(*or as specified in current approved fee schedule)

I do hereby certify that the information submitted herein is complete, true and accurate:

Signature: Long Flom Date: 6/3/25

Applicant – Do Not Write Below This Line

.....
BXZO- _____
Application Date Received: _____ Received by: _____
Total Fees \$: _____ Date: _____ Receipt #: _____
PC Action: _____ CC Action: _____
Date/Vote: _____ Date/Vote: _____
Staff Rec. _____ Ord. #: _____
Case Ref. #: _____

RECEIVED

JUN 03 2025

CITY OF BIXBY



City Of Bixby
 P.O. Box 70
 116 W. Needles Ave.
 Bixby, OK 74008
 (918) 366-4430

Bixby Planning Department Specific Use Permit Application

Project Name: _____
 Project Case #: _____
 TAC Hearing Date: _____ Location: 113 West Dawes Avenue
 PC Hearing Date: _____ Location: 116 West Needles Avenue
 CC Hearing Date: _____ Location: 116 West Needles Avenue

Owner Information:

Name: _____ Phone: _____
 Email: _____
 Address: _____
 City/State: _____ Zip: _____

Applicant Information:

Name: _____ Phone: _____
 Email: _____
 Address: _____
 City/State: _____ Zip: _____

If Applicant is other than Owner:

Indicate interest: _____
 Owner Consent Signature: _____ Date: _____

Property Information:

Address: _____ Zip: _____
 Subdivision: _____ Lot: _____ Block: _____
 SEC: _____ TWN: _____ RGE: _____

Legal Description: (If unplatted, attach a survey with legal description or copy of deed)

Application Checklist

Zoning Information:

Existing Zoning: _____ Existing Use: _____

Requested Zoning: _____ Proposed Use: _____

Proposed Use Unit(s) #: _____

Lot Information:

- 01. _____ Frontage
- 02. _____ Avg. Depth
- 03. _____ Parking Spaces
- 04. _____ Is subject tract located in the 100-year floodplain?
- 05. _____ If so, does this request encroach into the 100-year floodplain?
- 06. _____ If so, please attach Elevation Certificate.

Structure Setback

- 01. _____ Front
- 02. _____ Side
- 03. _____ Side
- 04. _____ Rear

Fees:

\$: 375.00* Specific Use Permit Application
 \$: _____ Additional Fee* (\$140.00 per sign)
 \$: _____ Legal Publication* / Mailings*
 \$: _____ Total Fees*
 (*or as specified in current approved fee schedule)

I do hereby certify that the information submitted herein is complete, true and accurate:

Signature: _____ Date: _____

Applicant – Do Not Write Below This Line

.....
BXSUP-_____

Application Date Received: _____ Received by: _____

Total Fees \$: _____ Date: _____ Receipt #: _____

PC Action: _____ CC Action: _____

Date/Vote: _____ Date/Vote: _____

Staff Rec. _____ Ord. #: _____

Case Ref. #: _____



CITY OF BIXBY
111 N Cabaniss Ave
Bixby, OK 74008
(918) 366-4430

STAFF REPORT

TO: City Council

FROM: Gladys Gill, Planner

DATE: July 21, 2025

NAME: Bixby Meadows II

CASE(S): **PLANNED UNIT DEVELOPMENT** | BXPUD-24.08 MA.01 – Major Amendment #1

LOCATION: NE Corner of East 161st Street South and South Harvard Avenue.

EXISTING ZONING: (RS-2.5) Residential Single-Family with supplemental PUD.

PROPOSED ZONING: No Change

STR: Section 21, Township 17N, Range 14E

APPLICANT: AAB Engineering, LLC

REQUEST: The applicant requests approval of Major Amendment #1 to the Bixby Meadows II Planned Unit Development (BXPUD-24.08), reducing the minimum square footage total from 2,500 sq. ft. to 2,000 sq. ft.

BACKGROUND: Bixby Meadows II is being developed as a residential community covering approximately 125.9 acres. This Planned Unit Development (PUD) will consist of a maximum of 275 lots. On December 16, 2024, the Planning Commission voted 5-0 to recommend approval of the rezone and PUD. On February 24, 2025, the City Council voted 4-0 to approve the rezone and PUD, with a friendly amendment that requires the first floor to be constructed entirely of masonry, without the use of cementitious board. Additionally, left turn lanes and deceleration lanes will be added at the entrances on South Harvard Avenue and 161st Street. Perimeter fencing will also be installed along South Harvard Avenue and 161st Street, and it will be constructed entirely of masonry.

AMENDMENT SUMMARY: The only substantive change in the PUD amendment is the reduction of the total home size requirement from 2,500 sq. ft. to 2,000 sq. ft., while maintaining the 2,000 sq. ft. minimum for the first floor.

DEVELOPMENT STANDARDS:

	City Code RS-2.5	PUD
Minimum Dwelling Size	No minimum	2,000 SF
Maximum Number of Dwelling Units	571	275
Minimum Lot Width	70 feet	70 feet
Minimum Lot Size	8,500 SF	8,400 SF
Minimum Land Area per Dwelling Unit	9,600 SF	9,600 SF
Maximum Building Height	3 Stories or 48 feet	48 feet
Minimum Building Setbacks		
Front Yard	30 feet	25 feet
Rear Yard	25 feet	25 feet
Interior Side Yard	5 feet and 10 feet	5 feet on both sides
Side Yard abutting a street	5 feet	

Reserve Areas:

- **Reserve Areas A & B:** These areas are dedicated to stormwater detention and open space parks, and will be maintained by the Homeowners Association (HOA).
- **Reserve Area C:** This area includes a creek and serves as an open-space park, which the HOA also maintains.

Drainage & Utilities:

- Two detention facilities will be constructed to reduce peak runoff rates to pre-development levels.
- Waterlines will be extended to ensure fire protection and service.
- An 18-inch sanitary sewer line will be extended to serve the development.

Access and Circulation:

- The development continues to rely on public streets, with primary access from South Harvard Avenue, and is enhanced with turning and deceleration lanes as required.

Landscaping and Screening:

- 6-foot masonry perimeter fencing along South Harvard Avenue and East 161st Street.

Architectural Standards:

- Homes will have a minimum square footage of 2,000 sq. ft. (2,000 sq. ft. minimum for the first floor).
- All homes up to the first floor top plate require 100% masonry coverage without using cementitious board, excluding windows, porches, and patios.

Environmental Considerations:

- The site’s natural slope facilitates drainage toward Posey Creek.
- On-site soils are well-drained and suitable for construction.

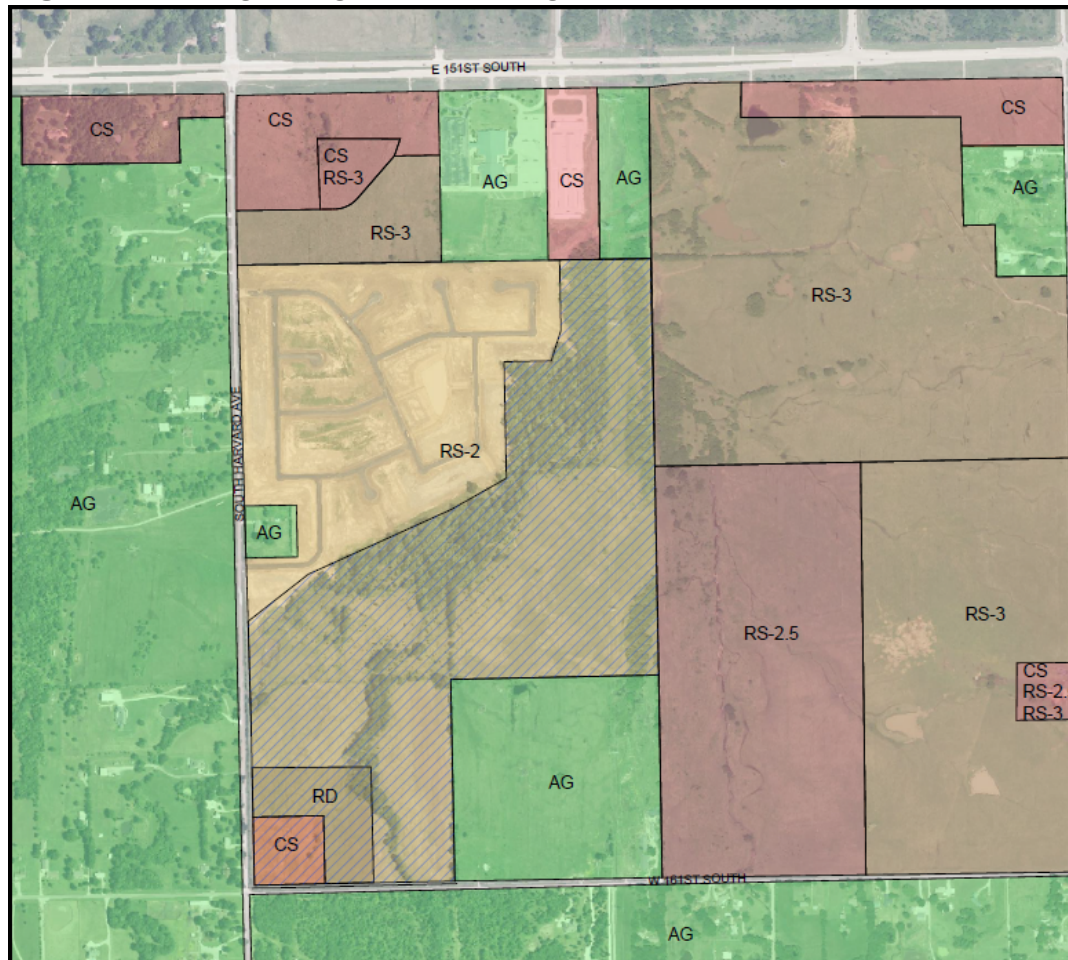
Development Schedule:

- Construction is anticipated to begin in late fall or early winter 2025.

SURROUNDING ZONING AND LAND USE:

North: (AG) Agriculture, (RS-2) Residential Single-Family, (CS) Commercial Shopping
South: (AG) Agriculture
East: (RS-3) Residential Single-Family, (RS-2.5) Residential Single-Family
West: (AG) Agriculture, (RS-2) Residential Single-Family

Figure 1: Existing zoning for surrounding areas.



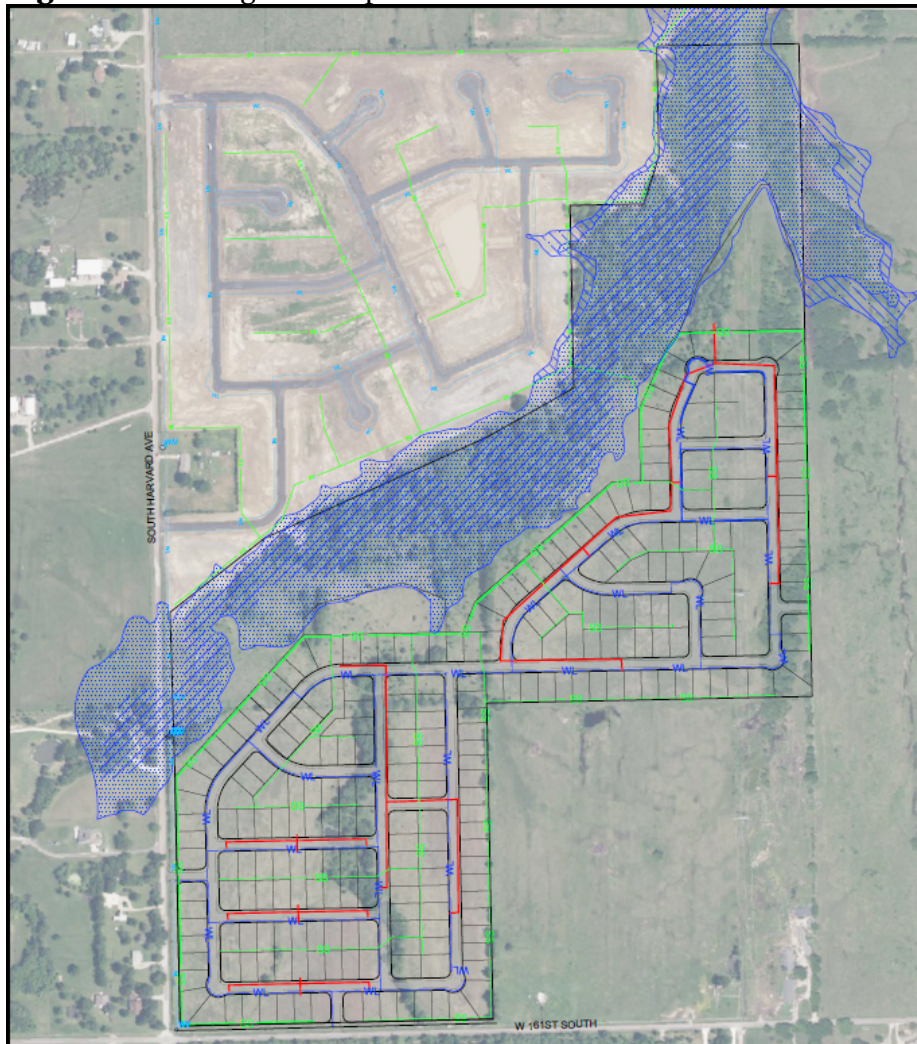
UTILITIES AND DRAINAGE:

Water: Water service will be provided by Okmulgee County Rural Water District #6. Three existing waterlines run adjacent to the property. Two waterlines run north and south along the subdivision adjacent to Harvard Avenue. A third waterline runs east and west along the subdivision adjacent to 161st Street. A waterline extension will be constructed by connecting the existing waterlines to provide fire protection and water service for the development.

Sewer: An 18” sanitary sewer line was extended to the northern boundary of the development during the first phase of construction. This line will be extended into the current development to serve the site as required by the City of Bixby. The sanitary sewer line will service along the back of the proposed lots.

Stormwater: Most of the development drains to the north toward an unnamed tributary of Posey Creek. Most of the developed water will be routed through one of the two detention facilities along the tributary and then discharged directly to the floodplain area. The detention facility will be designed to reduce peak runoff rates to that of pre-developed conditions as required by the City of Bixby Engineering Design Criteria.

Figure 2: Existing and Proposed Utilities



PUBLIC INPUT:

Following the public notice and publication on May 25, 2025, no public comments have been submitted as of the time this report was prepared.

ENGINEERING COMMENTS:

No comments new comments were received at the time this report was prepared.

STAFF COMMENTS:

Staff has reviewed the proposed Major Amendment #1 to Planned Unit Development BXPUD-24.08 for Bixby Meadows II. The following staff comments are contingent upon the approval of this amendment:

- Maintain collector road width through Bixby Meadows II to align with existing collector roads in Deer Valley to the east, ensuring connection to South Harvard Avenue.
- Provide multiple access points to the adjacent 40-acre unplatted parcel to the east, including stub streets along its north and west boundaries for future neighborhood integration.
- Update all exhibits to show the accurate project location, as the current maps are incorrect.
- As requested by the City Council on February 24, 2025, the PUD amendment will include the addition of left turn lanes and deceleration lanes at both entrances on South Harvard Avenue and East 161st Street.
- Final engineering plans for utility and drainage improvements shall be reviewed and approved by the City Engineer.
- Development shall be in substantial conformance with the submitted PUD amendment booklet, including architectural design concepts, access points, and private amenities.
- All development activities conducted under this PUD shall comply with the recommendations outlined by the Bixby Fire Marshal, City Engineer, and City Attorney.

FIGURES:

- Figure 1: Existing Zoning
- Figure 2: Existing and Proposed Utilities

ATTACHMENTS:

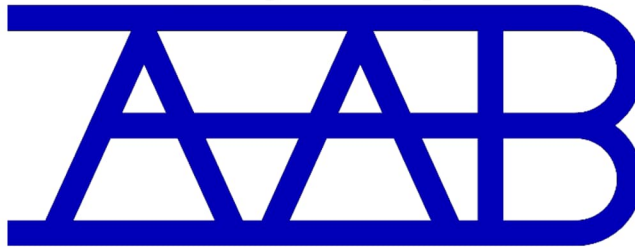
- Attachment 2: PUD Booklet dated May 2025

Bixby Meadows II

Planned Unit Development BXPUD-24.08
MINOR AMENDMENT #1
Zoning Case BXZO-24.07
May 5, 2025

Owner:
Shaw Homes Oklahoma, Inc.
1420 W. Kenosha St.
Broken Arrow, OK 74012

Prepared By:
AAB Engineering, LLC



Engineering • Surveying • Land Planning

PO Box 2136 Sand Springs, OK 74063
Office: (918) 514-4283 Fax: (918) 514-4288

Development Concept

Bixby Meadows is a proposed residential community on the northeast corner of West 161st Street South Harvard Avenue in the City of Bixby, Oklahoma. Exhibit "B" shows the surrounding areas of the PUD. The PUD is a Planned Unit Development overlay of a proposed RS-2.5 zoned parcel; see Exhibit "C" for the proposed zoning overlaid on the existing zoning map. The project will be developed along RS-2.5 bulk and area requirements with very few exceptions. The PUD is an approximately 125.9 acres development with a single development area as conceptual depicted on Exhibit "D". The legal description for the PUD is shown on Exhibit "A".

A maximum of 275 lots is proposed for this PUD. The proposed project will utilize the flexibility offered in the Planned Unit Development provisions of the Bixby Zoning Code while placing restrictions on the development that ensure development quality.

Development pursuant to this PUD shall comply with all recommendations of the Bixby Fire Marshal, City Engineer, and City Attorney.

Development Standards (Development Area B)

Gross Land Area 5,483,985 sq. ft. 125.89 ac

Permitted Uses

Uses permitted as a matter of right by the City of Bixby Zoning Code within the RS-2.5 district, including all uses customarily accessory thereto.

Minimum Lot Width 70 ft.

Minimum Land Area 9,600 sf.

Minimum Lot Area 8,400 sf.

Minimum Livability Space 4,000 sf.

Maximum Number of Lots

Minimum Setbacks

Front yards	25 ft.
Rear yards	25 ft.
Side yard (Both Sides)	5 ft.

Maximum Building Height: 48 ft.

Reserve Area 'A' & 'B'

Reserve Areas 'A' & 'B' shall be established by the owner for the construction of stormwater detention facilities and open space park. Such parks shall be for the sole use and enjoyment of the lot owners with Bixby Meadows II and their invitees. All structures or improvements related to the detention function of the facility shall be constructed according to City of Bixby standards. Livability space within Reserve Area 'A' & 'B' may be allocated to any lot or lots within the subdivision. Both reserve areas shall be conveyed to the Homeowner's Association which shall be responsible for the maintenance of all improvements contained within that reserve.

Reserve 'C'

Reserve Area 'C' shall be established by the owner for conveyance of stormwater runoff through the creek and open space park. Livability space within Reserve Area 'C' may be allocated to any lot or lots within the subdivision. Reserve Areas 'C' shall be conveyed to the Homeowner's Association which shall be responsible for the maintenance of all improvements contained within that reserve.

Drainage & Utilities

The majority of the development drains to the north toward an unnamed tributary of Posey Creek. Most of the developed water will be routed through one of the two detention facilities along the tributary and then discharged directly to the floodplain area. The detention facility will be designed to reduce peak runoff rates to that of pre-developed conditions as required by the City of Bixby Engineering Design Criteria.

Three existing waterlines run adjacent to the property. Two waterlines run north and south along the subdivision adjacent to Harvard Avenue. A third waterline runs east and west along the subdivision adjacent to 161st Street. A waterline extension will be constructed through the development connecting the existing waterlines to provide fire protection and water service for the development.

An 18" sanitary sewer line was extended to the northern boundary of the development during the first phase of construction. This line will be extended into the current development to serve the site as required by the City of Bixby. The sanitary sewer line will service along the back of the proposed lots.

Other utility services are currently provided to the site and will continue to be provided via underground services. See attached Exhibit "F" for the conceptual improvements plan.

Access and Circulation

All streets within the development will be public and will largely conform with the attached conceptual site plan. The primary entry to the subdivision will be derived from South Harvard Avenue as shown and shall have deceleration/turning lanes for both directions of traffic.

Landscape and Screening

Interior fencing and/or walls shall not extend beyond that point nearest the street at each end corner of the residence. The perimeter walls along South Harvard Avenue and East 161st Street shall be a 6' feet masonry wall. All such fencing shall be contained within a Fence Easement or Reserve by the plat of "Bixby Meadows".

Architectural Requirements

All homes constructed within the development shall have a minimum square footage of 2,000 square feet with a minimum first floor square footage of 2,000 square feet. All homes shall be constructed of 100% masonry to the first-floor top plate, excluding windows, covered porches, and patios.

Requirement to Plat

No building permit shall be issued until a plat containing restrictive covenants memorializing the above development standards is prepared and filed in accordance with the City of Bixby Subdivision Regulations.

Environmental Analysis

The site generally slopes from the southwest to northeast. The Tulsa County Soils survey defines the onsite soils as Dennis silt loam (36.6%) of varying grades, Okemah-Parsons-Pharoah complex (20.8%), Dennis-Pharoah complex (14.9%), Dennis-Radley complex (2.1%) of varying grades, Okemah silt loam (8.3%), and Radley silt loam (17.4%). These soils are typically well drained and provide little issue to construction of a project as proposed.

The attached Exhibit "E" depicts an aerial of the existing site as well as topography.

Schedule of Development

Development Construction is expected to begin in late fall or early winter 2025.

Exhibit "A"

A TRACT OF LAND LOCATED IN THE PART OF THE NORTHWEST QUARTER (NW/4) AND PART OF THE SOUTHWEST QUARTER (SW/4) OF SECTION TWENTY-ONE (21), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER (SW/4) OF SAID SECTION TWENTY-ONE (21), THENCE NORTH 01°10'21" WEST ALONG THE WEST LINE THEREOF, A DISTANCE OF 1,694.75 FEET TO THE SOUTHWEST CORNER OF BIXBY MEADOWS AMENDED, DOCUMENT NO. 7101; THENCE NORTH 52°01'57" EAST ALONG THE SOUTHERLY LINE OF SAID BIXBY MEADOWS AMENDED, A DISTANCE OF 540.61 FEET; THENCE NORTH 65°37'56" EAST CONTINUING ALONG SAID SOUTHERLY LINE, A DISTANCE OF 1,000.00 FEET; THENCE NORTH 60°32'17" EAST CONTINUING ALONG SAID SOUTHERLY LINE, A DISTANCE OF 399.92 FEET TO THE SOUTHEAST CORNER OF SAID BIXBY MEADOWS AMENDED; THENCE NORTH 01°09'56" WEST ALONG THE EASTERLY LINE THEREOF, A DISTANCE OF 739.23 FEET; THENCE NORTH 88°50'04" EAST CONTINUING ALONG SAID EASTERLY LINE, A DISTANCE OF 300.00 FEET; THENCE NORTH 17°38'45" EAST CONTINUING ALONG SAID EASTERLY LINE, A DISTANCE OF 203.48 FEET; THENCE NORTH 01°09'56" WEST CONTINUING ALONG SAID EASTERLY LINE, A DISTANCE OF 446.16 FEET TO THE NORTHEAST CORNER OF SAID BIXBY MEADOWS AMENDED; THENCE NORTH 89°05'18" EAST, A DISTANCE OF 578.62 FEET TO THE EAST LINE OF THE WEST HALF (W/2) OF SECTION TWENTY-ONE (21); THENCE SOUTH 01°09'55" EAST ALONG SAID EAST LINE, A DISTANCE OF 2,643.72 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE/4 SW/4); THENCE SOUTH 88°48'05" WEST ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 1,324.15 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4); THENCE SOUTH 01°10'08" EAST ALONG THE EAST LINE THEREOF, A DISTANCE OF 1,328.06 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4); THENCE SOUTH 88°36'55" WEST ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 1,324.08 FEET TO THE POINT OF BEGINNING. CONTAINING 5,483,985 SQUARE FEET OR 125.89 ACRES MORE OR LESS.

LEGAL DESCRIPTION BASIS OF BEARINGS IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM NORTH ZONE 3501 WITH THE WEST LINE OF THE SOUTHWEST QUARTER (SW/4) BEING NORTH 01°10'21" WEST.



STAFF REPORT

TO: Planning Commission

FROM: Gladys Gill, Planner

DATE: July 21, 2025

NAME: Bricktown Square

CASE(S): **PLANNED UNIT DEVELOPMENT | PUD-31 MA.02 – Major Amendment #2**

LOCATION: 12409 S Memorial Drive, Bixby, Oklahoma

EXISTING ZONING: Commercial General (CG) and Office Low (OL) with supplemental PUD-31.

PROPOSED ZONING: No Change

STR: Section 1, Township 17N, Range 13E

APPLICANT: AAB Engineering, LLC. for Bixby Asset, LLC.

REQUEST: The applicant requests approval of a Major Amendment to Planned Unit Development (PUD) 31, identified as PUD-31 MA.02, for a tract located at 12409 S. Memorial Drive. The amendment seeks to:

- Remove the residential restriction previously established for Development Area B, and
- Expand the existing commercial entitlements across the entire development site

The proposed amendment will facilitate the construction of a small-footprint private hospital with an emergency room fronting Memorial Drive, and two future buildings intended for office or medical uses on the remaining portion of the site.

This request includes updated development standards, signage criteria, landscaping buffers, architectural requirements, and access provisions, all of which are reflected in the revised PUD narrative and conceptual site plan.

BACKGROUND: The subject property is located at the northeast corner of East 126th Street and South Memorial Drive and consists of approximately 5.32 acres. The site is zoned CG (General Commercial) along Memorial Drive and OL (Office Low-Intensity) to the east, with a PUD overlay (PUD-31) in place.

- Original PUD (2003): Approved for entirely commercial development
- Major Amendment PUD-31-A (2014): Established two development areas:
 - Area A along Memorial Drive for commercial use
 - Area B for residential-only use

DEVELOPMENT OVERVIEW

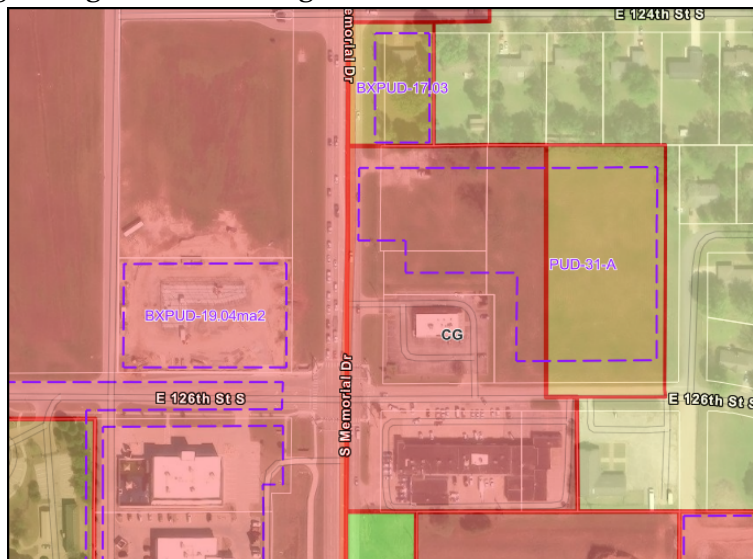
A second Major Amendment (PUD-31 MA.02) to the original Planned Unit Development would allow for a unified commercial medical campus on the 5.32-acre site. The development will be anchored by a small-format private hospital with an emergency room, fronting South Memorial Drive. The remaining area is intended for future development of medical office or professional service buildings, establishing a cohesive, healthcare-oriented campus.

The amendment seeks to remove the existing residential designation, thereby permitting commercial uses throughout the entire site. The proposed uses are consistent with surrounding commercial zoning and the development patterns along South Memorial Drive and are intended to support Bixby's growing need for healthcare and medical service infrastructure.

SURROUNDING ZONING AND LAND USE:

- North: (OL) Office Low-Intensity: BXPUD-17.03 and (RS-1) Residential Single-Family: Gre-Mac Acres
- South: (CS) Commercial Shopping: Commercial retail, including Mazzio's and retail strip centers
- East: (RS-1) Residential Single-Family: Southern Memorial Acres
- West: (CG) Commercial General: BXPUD-19.04 MA.02 and other undeveloped lots

Figure 1: Existing zoning for surrounding areas.



DEVELOPMENT STANDARDS

Development Area A

Land Area: 5.32 acres

Standard	Requirement	PUD
Permitted Uses	All uses permitted by right in the CG district and OL	All uses permitted by right in the CS district
Excluded Uses	All uses classified as “Sexually Oriented Businesses” (per Bixby Zoning Code §11-7D-6)	All uses classified as “Sexually Oriented Businesses” (per Bixby Zoning Code §11-7D-6)
Minimum Lot Frontage	100 feet (on arterials) 50 feet (non-arterials)	100 feet (on arterials) 50 feet (non-arterials)
Maximum Floor Area Ratio	0.75	0.50
Maximum Building Height	5 stories or 70 feet	1 stories or 35 feet
Maximum Number of Lots	No maximum	3 lots
Setbacks from Street Centerline:		
• Arterial Street	50 feet	50 feet
• Non-Arterial Street	25 feet	15 feet
Setback from Abutting Residential	10 feet minimum; plus 2 feet for every 1 foot of height over 15 feet if abutting RS, RD, or RE	15 feet on North and East boundaries
Interior Side and Rear Yard	Subject to site plan review; must comply with commercial district buffering and screening standards	In addition to standard landscape code requirements, a landscape buffer shall be established as follows: North and East Boundary: 10 feet width, 1 Tree Per 20 Linear Feet, with a minimum of 75% of required buffer trees shall be evergreen

ARCHITECTURE AND DESIGN

- Structures will comply with Corridor Appearance District regulations and city code 11-7G-5
- Masonry construction with parapet walls to screen rooftop units
- Uniform and architecturally integrated signage on the west façade:
 - Two monument signs: Max 25' height, 150 sq ft/side
 - Wall signage based on 2 sq ft per linear foot of west-facing wall

ACCESS AND PARKING

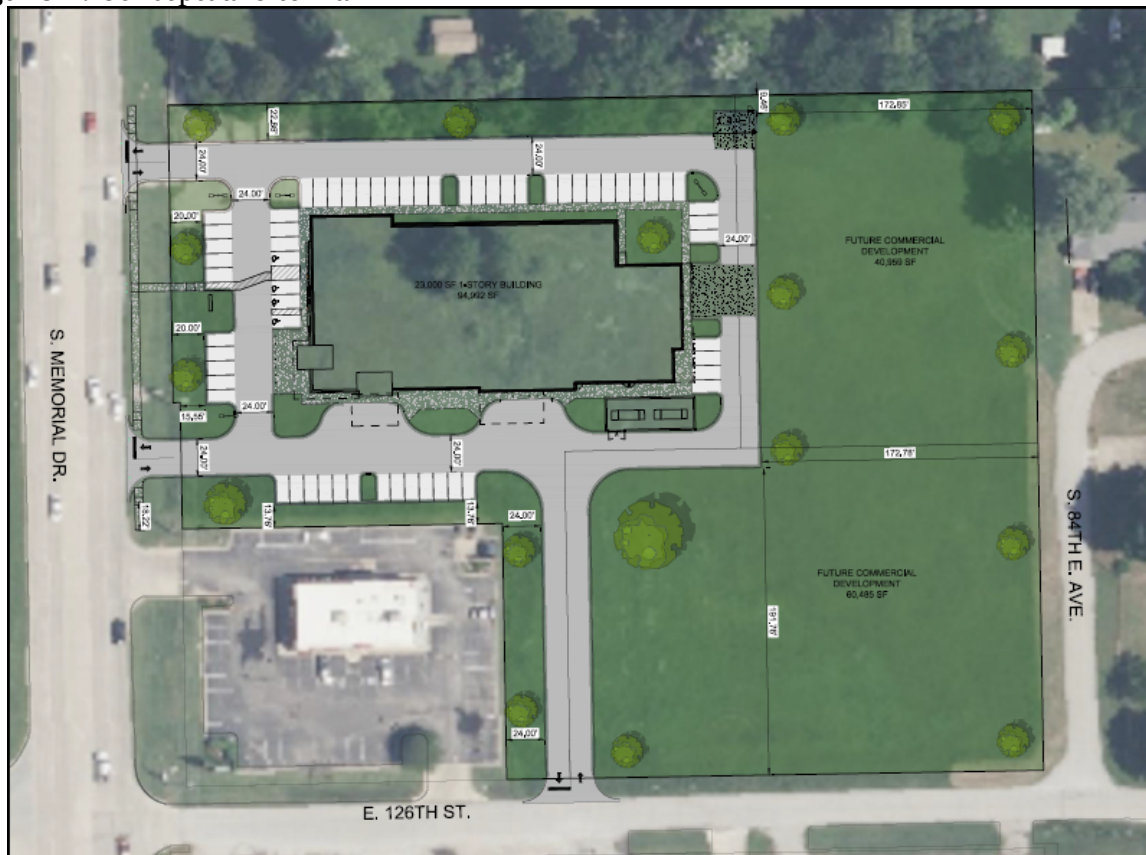
Access:

- Two drives to S. Memorial Drive (subject to ODOT approval)
- One access point to E. 126th Street

Parking Requirements:

- To comply with use-specific standards in Chapter 9, e.g., hospitals require 1 space per bed; medical offices = 1 per 300 sq ft
- Community services (Use Unit 5) = 1 per 2.5 guests + 1 per permanent employee

Figure 2: Conceptual Site Plan



LANDSCAPING AND SCREENING

- Minimum 15% landscaped area
- 10' landscape buffer along north and east with 1 tree per 20 linear feet (75% evergreen)
- Shielded light fixtures, limited to 18' in height, with 0.0 foot-candle spillover at R-district boundaries

UTILITIES AND STORMWATER

- Water: 12" main on Memorial Drive
- Sanitary Sewer: Existing north-south main to be relocated during the initial development phase
- Stormwater:
 - No on-site detention; runoff directed to regional storm sewer discharging to Fry Ditch
 - Public storm system designed for 100-year urbanized flow
 - Located in FEMA Zone X (shaded) = 500-year flood area

PUBLIC INPUT:

As of the preparation of this report, no public comments have been received following the required public notices published on May 25 and July 1, 2025. However, two nearby Bixby residents inquired about the project after receiving the notice.

ENGINEERING COMMENTS:

At this time, the main comment from Engineering had would be to address the sewer line on the property.

STAFF COMMENTS:

Staff has reviewed the proposed Major Amendment #2 to Planned Unit Development PUD-31 for Bricktown Square and finds that it meets the applicable approval criteria outlined in the City of Bixby Zoning Code, aligning with the goals and policies of the Comprehensive Plan, as well as commercial and employment uses along major arterials. It supports the expansion of health services and regional employment, and maintains compatibility with adjacent uses.

However, staff has the following comments contingent upon the approval of this major amendment:

- Compliance with all platting requirements prior to the issuance of building permits.
- Submission of detailed site plan, building elevations, and photometric plan for City Council approval in accordance with the Corridor Appearance District requirements.
- Per §11-7D-4, the building must be setback 10 ft + 2 ft for each 1 ft above 15 ft height if adjacent to RE, RS, or RD. At 35 feet, this equates to a total setback of 50 feet to the north unless amended per the PUD and approved by the Planning Commission and City Council.

- Final engineering plans for utility and drainage improvements shall be reviewed and approved by the City Engineer.
- Development shall be in substantial conformance with the submitted PUD booklet, including architectural design concepts, access points, and private amenities.
- All development activities conducted under this PUD shall comply with the recommendations outlined by the Bixby Fire Marshal, City Engineer, and City Attorney.

FIGURES:

Figure 1: Existing Zoning
Figure 2: Conceptual Site

ATTACHMENTS:

Attachment 1: PUD Booklet dated June 11, 2025

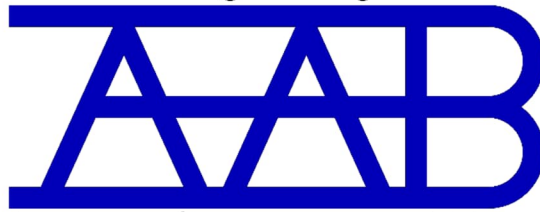
Bricktown Square
Planned Unit Development
Major Amendment PUD-31 MA.02

Prepared
June 11, 2025

Location
12409 S Memorial Dr.
Bixby, OK 74008

Developer
Bixby Asset LLC
6030 S Rive Ave Suite C
Houston, TX 77081

Prepared By:
AAB Engineering, LLC



Engineering • Surveying • Land Planning

PO Box 2136 Sand Springs, OK 74063
Office: (918) 514-4283 Fax: (918) 514-4288

Development Concept

Bricktown Square is a proposed development located near the northeast corner of 126th and Memorial Dr in Bixby, Oklahoma. The property is approximately 5.3 acres and is a combination of CG zoning along Memorial Drive and OL zoning to the east. There is a PUD overlay of the underlying zonings. In 2003 the original PUD of Bricktown Square was submitted and approved to be developed entirely for commercial purposes, however, in May of 2014 a major amendment was approved that created two development acres. Area A, along Memorial Drive, remained for commercial purposes but Development Area B, the balance of the property, was restricted to residential uses.

The owner plans to construct a small footprint private hospital with an emergency room on the parcel fronting Memorial Drive. The remainder of the property is planned to be developed with similar office medical uses and will likely include two additional buildings. In order to accommodate this development we propose to amend the current PUD to abandon Development Area B and extend the commercial uses across the entire development.

Development Area A Development Standards

Development Area A shall be developed in accordance with the Bixby Zoning Code and the use and development regulations of the CS district, except as hereinafter modified.

Gross Land Area:	5.32 acres 231,736 square feet
Net Land Area:	4.54 acres 198,024 square feet
Permitted Uses:	The permitted uses shall be limited to the uses included within: All uses permitted by right in the CS district.
Prohibited Use:	Sexually-Oriented Businesses
Maximum Floor Area:	99,012 sq. ft. (0.50 FAR)
Maximum Building Height:	1 story/35 feet
Minimum Building Setbacks:	
Memorial Drive right-of-way	50 feet
North Boundary	15 feet
East Boundary	15 feet
South Boundary	15 feet
Maximum Number of Lots:	3
Minimum Landscaped Area:	15%

Landscape Buffers

In addition to standard landscape code requirements a landscape buffer shall be established as follows:

North Boundary	
Minimum Width:	10 feet
Minimum Landscaping:	1 Tree Per 20 Linear Feet
East Boundary (
Minimum Width:	10 feet
Minimum Landscaping:	1 Tree Per 20 Linear Feet

*Minimum of 75% of required buffer trees shall be evergreen.

Lighting

Parking area lighting shall be a maximum height of 18 feet and limited to shielded fixtures designed to direct light downward and away from residential properties. At the time of Detail Site Plan Submittal a photometric plan shall be submitted that demonstrates that lighting from the project shall be reduced to 0.0 along all property lines shared with an R district as measured in foot-candles.

Signs

Two aggregate signs, in accordance with the Bixby Zoning Code, for the proposed center will be constructed as shown on the Concept Site Plan. Each sign shall be limited to 25 feet in height and 150 square feet of surface area per side, according to Code. Wall signs may be used on the west-facing wall based on the 2 square feet per lineal foot of wall. Wall signs will be uniform and consistent in size and configuration throughout the project and an integral part of the architectural design.

Maintenance Covenant

The Deed of Dedication / Restrictive Covenants of the plat will contain "Maintenance Covenant" provisions pertaining to the maintenance and upkeep of properties free of trash, debris, and litter. The Deed of Dedication / Restrictive Covenants shall state "The Owner, tenant or occupant, shall keep its building, improvements and appurtenances in safe, clean, maintained, neat and wholesome condition. Each such owner, tenant or occupant shall remove, at its own expense, any rubbish or trash of any character which may accumulate on their lot. Rubbish, trash, garbage or other waste shall be kept only in suitable, clean and sanitary containers and equipment for the storage or disposal of such materials.

Street Design and Access Limitations

Two access points to South Memorial Drive and one access point to East 126th Street South will be constructed to serve the development. Memorial Drive access points will be permitted through ODOT prior to construction.

Architectural Requirements

The buildings shall be constructed in accordance with the Corridor Appearance District. The developer proposes the use of masonry exterior walls consistent with the development standards of the Zoning Code Section 11-7G-5. Parapet walls will screen mechanical units on the top of the building from neighboring residences and adjoining rights of way.

Utilities

The City of Bixby will provide storm sewer, sanitary sewer, and water utilities for this proposed development. Franchise utilities will also serve the project with communications, natural gas, and electricity. These services will be underground throughout the development.

There is a 12" water line on the east side of South Memorial Drive that will serve the project. There are existing sanitary sewer lines to the north of the development and an existing main that bisects the development flowing from north to south. This line will be relocated as part of the initial phase of development and will provide service to all lots.

Stormwater Management

The property is designated as Zone X shaded according to the FEMA Insurance Rate Map which places the property within the 500 year flood which creates no additional development restrictions.

The storm sewer system along Memorial Drive has been sized to accommodate the 100 year fully urbanized runoff. All onsite runoff will be directed to this storm sewer to the extent possible. No onsite detention will be required since the 100 year system discharges directly to Fry Ditch.

Landscape and Screening Standards

All open space reserve areas shall be owned and maintained by the owner of the property and shall meet current City of Bixby landscaping requirements.

Exhibit A

Legal Descriptions



Overall PUD Legal Description

PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW/4 NW/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT 235 FEET NORTH AND 64.45 FEET EAST OF THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW/4 NW/4); THENCE EAST 535.55 FEET; THENCE NORTH 425 FEET; THENCE WEST 351 FEET; THENCE SOUTH 186 FEET; THENCE WEST 184.55 FEET; THENCE SOUTH 239 FEET TO THE POINT OF BEGINNING.

AND

BEGINNING AT THE NORTHWEST CORNER OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (S/2 SW/4 NW/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF; THENCE EAST 249 FEET; THENCE SOUTH 186 FEET; THENCE WEST 249 FEET; THENCE NORTH 186 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE WEST 60 FEET THEREOF; AND LESS AND EXCEPT THE FOLLOWING DESCRIBED TRACT; PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW/4 NW/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT 235 FEET NORTH AND 64.45 FEET EAST OF THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW/4 NW/4); THENCE EAST 200 FEET; THENCE NORTH 160 FEET; THENCE WEST 200 FEET; THENCE SOUTH 160 FEET TO THE POINT OF BEGINNING.

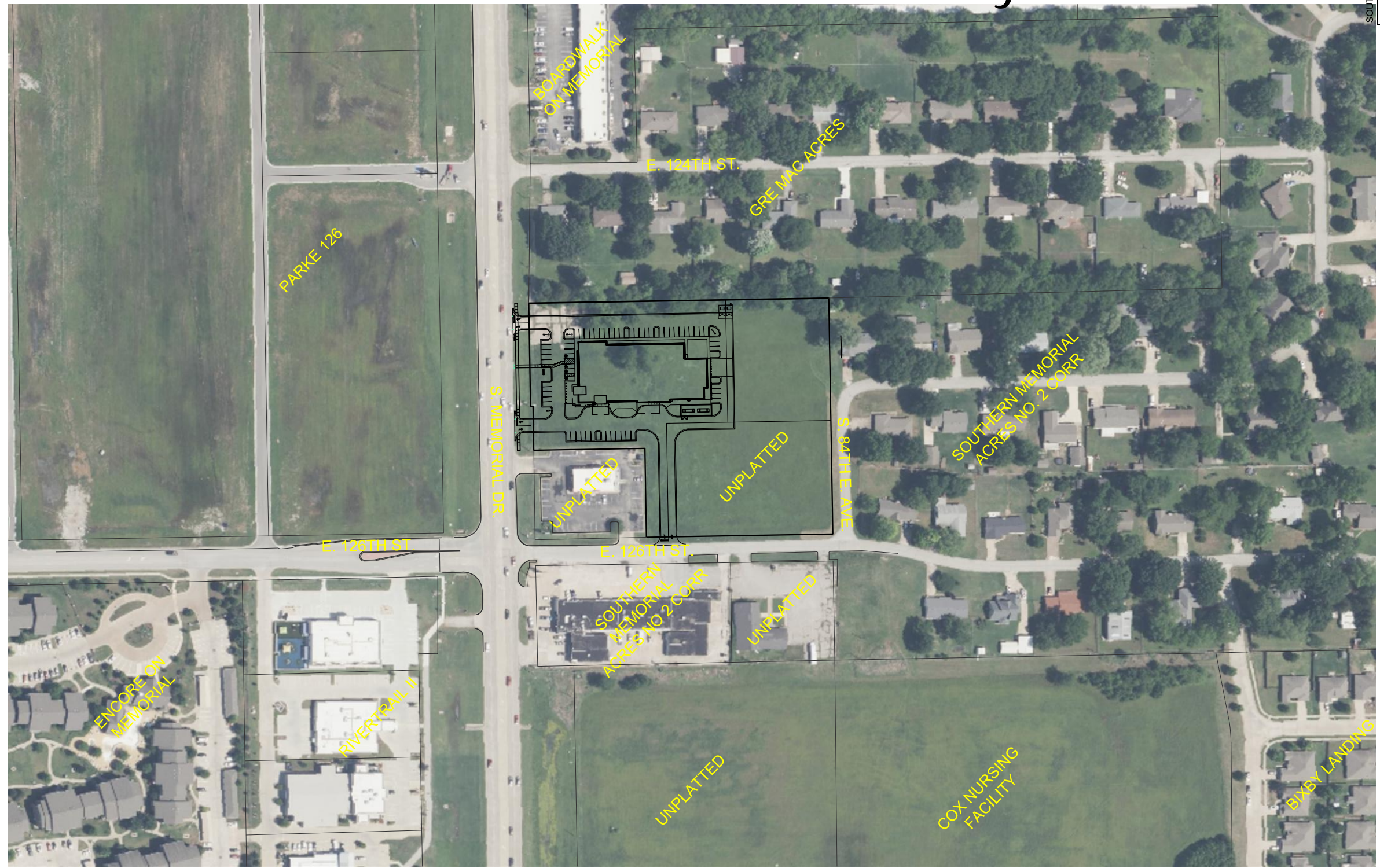
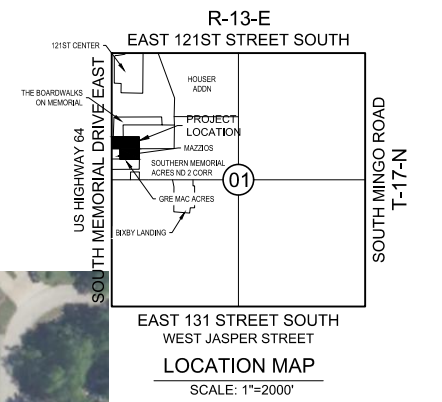
Exhibit B

Surrounding Areas
for

New Healthcare Bixby



0 50 100 200
DRAWING SCALE: 1"= 100'



PLOT DATE: FILE: P1171301NEW HEALTHCARE BIRXBY/HEALTHCARE BIRXBY HOSPITAL - P10.DWG



AAB Engineering, LLC

Engineering • Surveying • Land Planning

PO Box 2136 Sand Springs, OK 74663
 OK CA86181 Exp. June 30, 2026
 AZ CA223897 Exp. March 29, 2026
 KS CA622026 Exp. Dec 31, 2026
 SD CA87581 Exp. March 31, 2027
 Office: (918) 644-4200 Fax: (918) 644-4288

Exhibit C

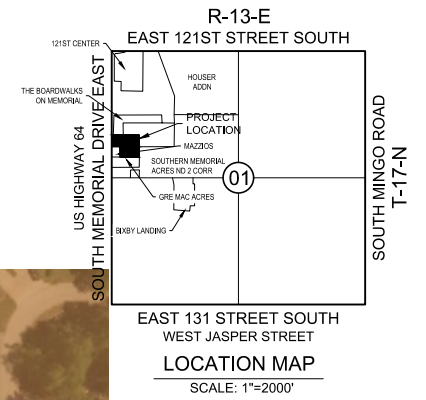
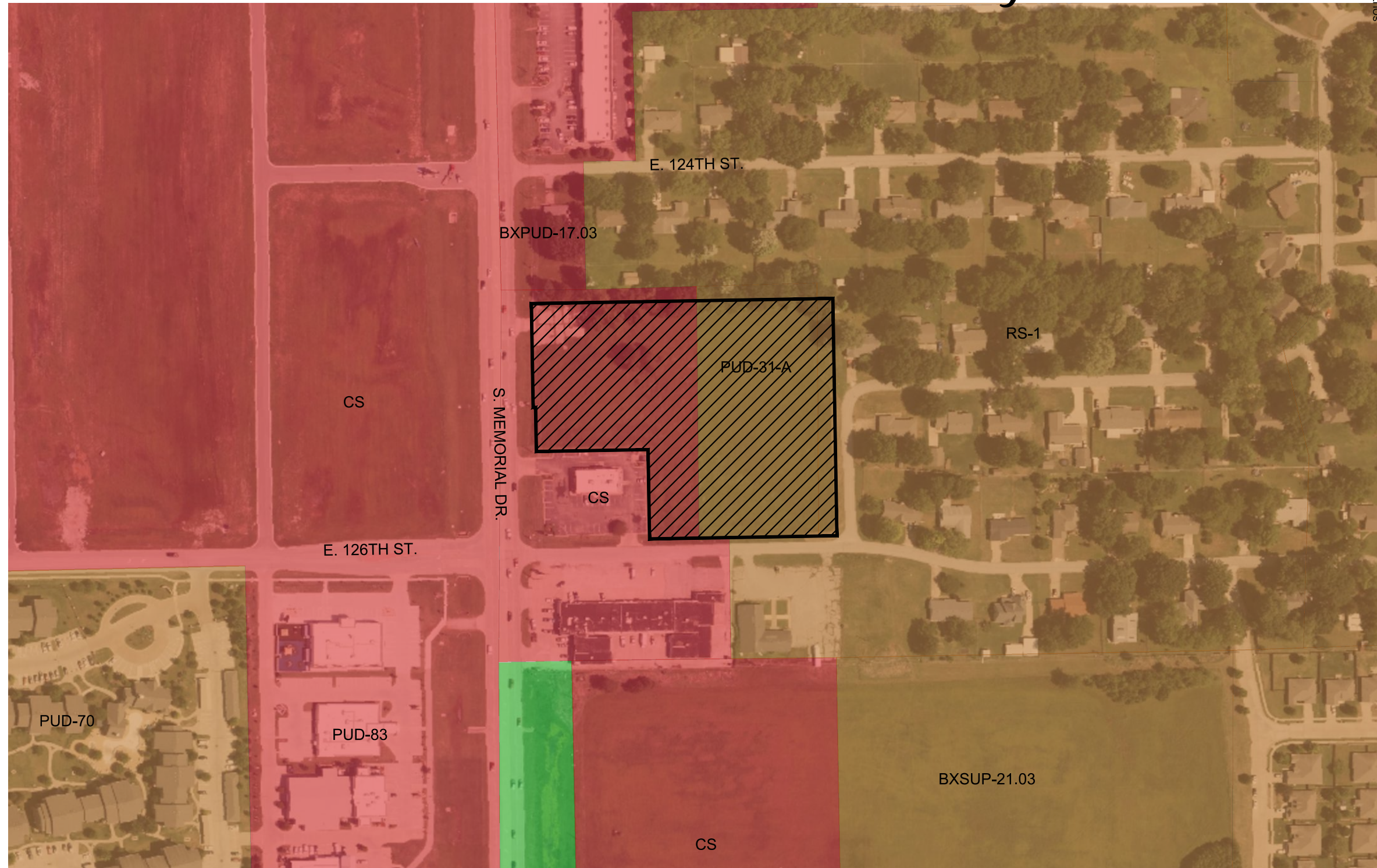
Existing Zoning and Proposed Zoning for New Healthcare Bixby



0 15 30 60
DRAWING SCALE: 1"= 30'

LEGEND

PROPOSED DEVELOPMENT



AAB Engineering, LLC
AAB
 Engineering • Surveying • Land Planning
PO Box 2138 Sand Springs, OK 74483
 OK CA86181 Exp. June 30, 2026
 AZ CA223897 Exp. March 29, 2026
 KS CA622019 Exp. Dec. 31, 2026
 SD CA875819 Exp. March 31, 2027
 Office: (918) 644-4200 Fax: (918) 644-4288

Exhibit D

Conceptual Site Plan
for

New Healthcare Bixby

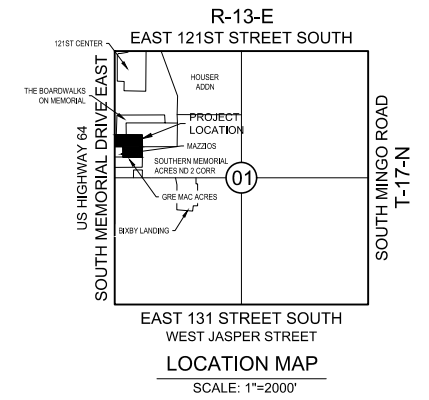
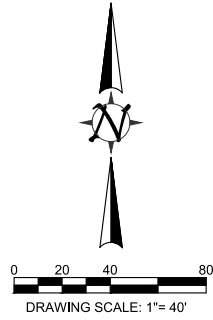


Exhibit E

Existing Topo & Aerial
for

New Healthcare Bixby

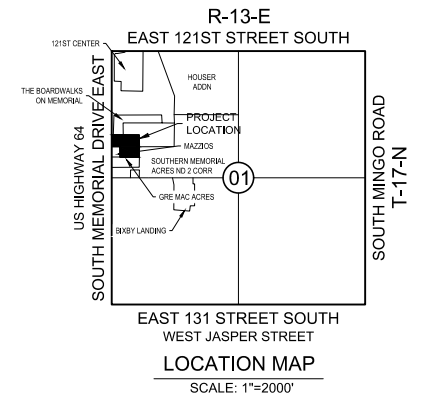
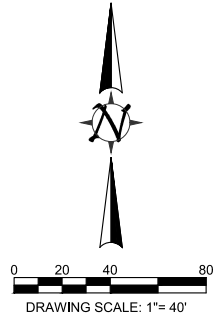
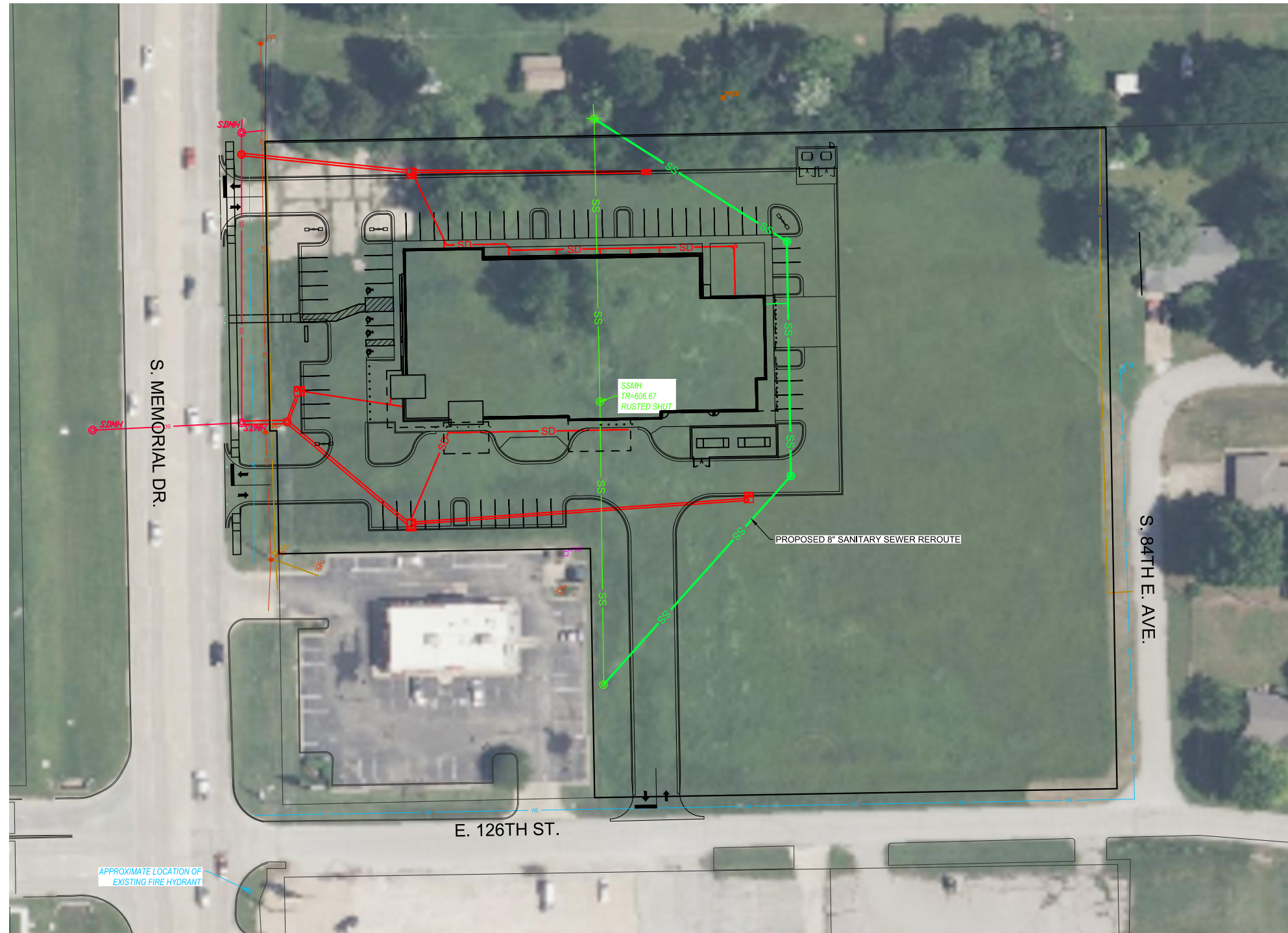
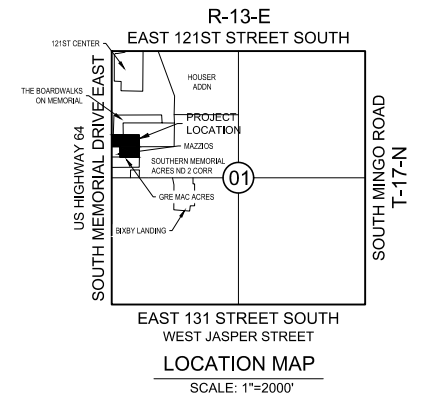
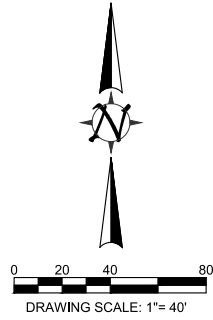


Exhibit F

Conceptual Improvements

for

New Healthcare Bixby



LEGEND

- SS — PROPOSED SANITARY SEWER
- SS — EXISTING SANITARY SEWER
- SD — PROPOSED ROOF DRAIN
- SD — PROPOSED STORM SEWER
- SD — EXISTING STORM SEWER

