



City of Bixby Planning Commission Meeting Agenda

Tuesday, February 20, 2024

6:00 PM

Municipal Building
116 W. Needles Ave., Bixby,
OK 74008

Call to Order

Chairman

Roll Call

Secretary

Consent Agenda

- 1) Consider and Approve the Planning Commission Meeting Minutes from January 16, 2024.
- 2) Consider and Approve the Planning Commission Meeting Minutes of the Special Meeting on February 6, 2024.

Public Hearings

- 3) Discussion, consideration, and possible vote for approval of Bixby Zoning (B.X.Z.O) number 24.01, Rezoning for Greyhawk Residential, a proposed amendment to a zoning district in the City of Bixby, from Agriculture (A.G.) to Residential Single-Family (RS-2) The property contains 105.45 acres in Section 06, Township 17 North, Range 14 East, located approximately 2,000 feet North of 131st and South Mingo Road and 2,000 feet East of 131st and South Mingo Road.
- 4) Discussion, consideration, and possible vote for approval of Bixby Zoning (B.X.P.U.D) number 24.01, Planned Unit Development for Greyhawk Residential. The property contains 105.45 acres in Section 06, Township 17 North, Range 14 East, located approximately 2,000 feet North of 131st and South Mingo Road and 2,000 feet East of 131st and South Mingo Road.
- 5) Discussion, consideration, and possible vote for approval of Preliminary Plat (B.X.P.T.) number 24.01, for Greyhawk Residential. The property contains

105.45 acres in Section 06, Township 17 North, Range 14 East, located approximately 2,000 feet North of 131st and South Mingo Road and 2,000 feet East of 131st and South Mingo Road.

Old Business

New Business

Adjourn

Notice of Posting

This Notice and Agenda was posted on the bulletin board this day of February 16, 2024, on or before 6:00 p.m., at City Hall, 116 W. Needles Bixby, Oklahoma.

Respectfully Submitted

Gwen Plante, Assistant City Planner

Persons who require a special accommodation to participate in this meeting should contact Assistant City Planner Gwen Plante: 116 West Needles Avenue, Bixby, Oklahoma, 918-366-4430 or via Email: GPlante@bixbyok.gov as far in advance as possible and preferably at least 48- hours before the date of the meeting. Persons using a TDD may contact **Oklahoma Relay** at 1-800-722-0353 and voice calls should be made to 1-800-522-8506 to communicate via telephone with hearing telephone users and vice versa.

Planning Commission Meeting Minutes

116 W. Needles Ave., Bixby, OK 74008

Monday, January 16, 2024 at 6:00 PM

Call to Order: 6:22 P.M.

Roll Call was taken

MEMBERS PRESENT:

Steve Hobbs

Jason Mohler

Tom Holland

Josh Nave

MEMBERS ABSENT:

Lance Whisman

STAFF PRESENT:

Gwen Plante, Assistant City Planner

Justin Dowd, City Engineer

Phil Frazier, City Attorney

Consent Agenda

**1. Consider and/or approve the minutes of the December 18, 2023
Planning Commission Meeting.**

Chairman Hobbs asked for a motion to approve item 1 of the Consent Agenda. Vice Chairman Mohler made a motion to approve, seconded by Mr. Holland. The vote was taken with the following results:

Ayes: Mohler, Holland, Hobbs

Nays: 0

Abstain: Nave

Carried: 3-1-0

Public Hearings

Chairman Hobbs, said Items 2 and 3 would be pushed to the end of the agenda, awaiting the arrival of Commissioner Whisman. Chairman Hobbs and Vice Chairman Mohler were recused due to a conflict of interest.

2. Discussion and possible approval of Bixby Preliminary Plat and Final Plat (B.X.P.T.) number 23.18, for The Reserve at White Hawk, 10.26 acres, containing (15) lots, three (3) blocks, and two (2) reserve areas, in Section 15, Township 17 North, Range 13 East, located on the Southeast Corner of South Yale Avenue and East 141st Street South.

Item not heard due to lack of quorum.

3. Discussion and possible approval of Bixby Preliminary Plat and Final Plat (B.X.P.T.) number 23.10, for The Reserve at White Hawk Blocks 7-9, 18.43 acres, containing (38) lots, six (6) blocks, and four (4) reserve areas, in Section 15, Township 17 North, Range 13 East, located North of East 151st Street South and East of South 53rd East Ave.

Item not heard due to lack of quorum.

4. Discussion, consideration, and possible vote for approval of Bixby Zoning (B.X.Z.O) number 24.01, Rezoning for Greyhawk Residential, a proposed amendment to a zoning district in the City of Bixby, from Agriculture (A.G.) to Residential Single-Family (RS-2) The property contains 105.45 acres in Section 06, Township 17 North, Range 14 East, located approximately 2,000 feet North of 131st and South Mingo Road and 2,000 feet East of 131st and South Mingo Road.

Item 4 was passed to the next Planning Commission Meeting per the Applicant's request.

5. Discussion, consideration, and possible vote for approval of Bixby Zoning (B.X.P.U.D) number 24.01, Planned Unit Development for Greyhawk Residential. The property contains 105.45 acres in Section 06, Township 17 North, Range 14 East, located approximately 2,000 feet North of 131st and South Mingo Road and 2,000 feet East of 131st and South Mingo Road.

Item 5 was passed to the next Planning Commission Meeting per the Applicant's request.

6. Discussion, consideration, and possible vote for approval of Bixby Preliminary Plat (B.X.P.T.) number 23.17, for South County Industrial Park, 70 acres, containing eleven (11) lots, two (2) blocks, and two (2) reserve areas, in Section 16, Township 17 North, Range 13 East, located One-half (1/2) mile North of 151st Street South and West of Kimberly Clark Place.

Mr. Dowd gave an update on the changes to the Preliminary Plat to connect 2 streets and maintain property that is set aside for utility work. The plat has been reduced from 11 lots to 4 larger lots.

The Applicant, Ryan McCarty, Select Design was present and provided additional information and answered questions.

Commissioner Nave asked about signage and landscaping, and Mr. Dowd said that it is all the same as previously submitted and approved.

Chairman Hobbs asked if there was a motion on Item No. 6 for South County Industrial Park. Chairman Nave made a motion to approve. Chairman Hobbs seconded. The vote was recorded as follows:

Mr. Mohler	Yes
Mr. Holland	Yes
Mr. Hobbs	Yes
Mr. Nave	Yes

Motion was Approved, 4-0

7. Discussion, consideration, and possible vote for approval of Bixby Site Plan (B.X.S.P) number 24.02, Site Plan for Quail Creek Commons Building A, South of 121st Street South and East of South 74th E Ave

Mr. Dowd gave an update and overview of the project to the Planning Commission.

The Applicant, Weldon Bowman, and Chris Smith from W Design were present and provided additional information and answered questions.

Chairman Hobbs asked if there was a motion on Item No. 7 for Quail Creek Commons Building A. Chairman Nave made a motion to approve. Vice-Chair Mohler seconded. The vote was recorded as follows:

Mr. Mohler	Yes
Mr. Holland	Yes
Mr. Hobbs	Yes
Mr. Nave	Yes

Motion was Approved, 4-0

8. Discussion, consideration, and possible vote for approval of Bixby Site Plan (B.X.S.P) number 24.03, Site Plan for Quail Creek Commons Building B, South of 121st Street South and East of South 74th E Ave

Mr. Dowd gave an update and overview of the project to the Planning Commission.

The Applicant, Weldon Bowman, from W Design was present and provided additional information and answered questions.

Chairman Hobbs asked if there was a motion on Item No. 8 for Quail Creek Commons Building B. Chairman Hobbs made a motion to approve. Commissioner Holland seconded. The vote was recorded as follows:

Mr. Mohler	Yes
Mr. Holland	Yes
Mr. Hobbs	Yes
Mr. Nave	Yes

Motion was Approved, 4-0

Under the advice of legal Counsel, Chairman Hobbs and Vice-Chair Mohler recused themselves from the meeting at 6:38 P.M.

Commissioner Nave took over the meeting.

Items 2 and 3 from the Regular agenda were not heard due to a lack of quorum.

Old Business: None

New Business: None

Adjournment

Planning Commission Adjourned at 6:40 PM

Chairman

Secretary

BIXBY PLANNING COMMISSION MINUTES

SPECIAL MEETING

Tuesday | February 6, 2024 | 6:00 PM

City Hall, Council Chambers | 116 West Needles, Bixby, OK

CALL TO ORDER: 6:06 PM

Roll Call was taken

MEMBERS PRESENT: Josh Nave
Tom Holland
Lance Whisman

MEMBERS ABSENT: Jason Mohler
Steve Hobbs

STAFF PRESENT: Joey Wiedel, Director of Development Services
Gwen Plante, Assistant City Planner
Justin Dowd, City Engineer

- 1. Discussion, consideration, and possible approval of Bixby Preliminary Plat and Final Plat (B.X.P.T. 23.10) for the Reserve at White Hawk Blocks, 18.43 acres, in Section 15, Township 17N, Range 13 East, located North of East 151st Street South and East of South 53rd East Ave.**

Mr. Wiedel gave an overview of the project to the Planning Commission. Mr. Wiedel also explained that staff had received one (1) public comment regarding the project, that the Plat did not align with the Conceptual plan that was in the approved PUD. Staff determined that the Plat met the intent of the PUD. There is a 60-foot setback between the existing homes and the proposed homes.

Commissioner Holland asked if the covenants for this Plat match the existing Plat. Commissioner Nave asked the applicant to come up to answer questions.

The applicant Ryan McCarty with Select Design explained the project and clarified that the covenants are equivalent to or better than the existing ones. He also explained that the PUD documents are governed by the PUD text, the conceptual site plan is there as a guide to help explain what a project will look like. Mr.

McCarty said to be more in the spirit would take off the three (3) lots and reduce the length of the cul-de-sac to resolve any contention if necessary. Mr. McCarty addressed the trails and sidewalks that will be placed in the trail and sidewalk plan.

Commissioner Nave said when the conceptual documents do not match the text it can cause some confusion.

Mr. Holland asked about the architectural committee language that is in the covenants. Mr. Wiedel explained that the architectural committee is with the HOA.

Mr. Nave then opened the discussion up to the public for comments and the following residents spoke: Melissa Miglore; Beth Byrd; Mark Franks; Steve Crow; Greg Snyder; Will Wilkins; Larry Wagner; Paul Bush; Karen Clavin; Christie Rooney; Tom Christopolis. There were nine (9) speakers, four (4) spoke against the project and (5) were in favor.

Commissioner Nave asked if the restrictive covenants encompass all covenants of the PUD. Legal Counsel, Phil Frazier said the PUD is between the developers submitting to the City. The restrictive covenants are between the residents and the developer. The restrictive covenants can be more restrictive than the PUD but not less than.

The Commissioners have concerns over the Comprehensive Plan not being approved and the Preliminary and Final Plat before them now to approve or deny. Counsel advised on the matter and stated that the Comprehensive Plan is a guide that the rezoning and PUD have been approved and the plat is in line with the PUD. Discussion continued between the Commissioners.

Commissioner Nave asked if there was a motion to approve the Preliminary and Final Plat (BXSUP 23.10) Commissioner Holland made a motion to approve with all Staff recommendations, and Commissioner Whisman seconded. The vote was recorded as follows:

Mr. Nave	No
Mr. Whisman	Yes
Mr. Holland	Yes

Motion was Approved

3. Discussion, consideration, and possible approval of Bixby Preliminary Plat and Final Plat (B.X.P.T. 23.18) for the Reserve at White Hawk Blocks 7-9, 10.26 acres, in Section 15, Township 17N, Range 13 East, located on the Southeast Corner of South Yale and East 141st Street South.

Mr. Wiedel gave an overview of the project to the Planning Commission and stated the applicant was available for questions.

The Applicant, Ryan McCarty with Select Design, appeared and was available to answer questions.

Commissioner Holland questioned the 60 ft. setback with the street showing within that area. Mr. McCarty read the language from the PUD stating that no new residential lot will located closer than 60 ft. from any existing lot. He went on to say that a street is not a residential lot.

Speakers: Beth Byrd; Christie Rooney; Rick Synder; Will Wilkins

Commissioner Nave asked if there was a motion to approve the Preliminary and Final Plat for (BXPT 23.18). Commissioner Whisman made a motion to approve, and Commissioner Nave seconded. The vote was recorded as follows:

Mr. Nave Yes

Mr. Whisman Yes

Mr. Holland Yes

Motion was Approved

The meeting adjourned at 8:00 pm

Planning Commission

Gwen Plante, Secretary



City of Bixby
P.O. Box 70
116 W. Needles Ave.
Bixby, OK 74008
(918) 366-4430

Staff Report

To: City of Bixby, Planning Commission

From: Gwen Plante, Assistant City Planner

Date: Tuesday, January 16, 2024

Name: ***GREYHAWK RESIDENTIAL***

RE: Rezone (**BXZO-24.01**) from Agriculture (AG) to Residential Single-Family (RS-2); Planned Unit Development (**BXPUD-24.01**) and Preliminary Plat (**BXPT 24.01**)

Location: Approximately 2,000 feet North of 131st and South Mingo Road and 2,000 feet East of 131st and South Mingo Road.

105.45 (+/-) Acres

STR: Section 6, Township 17N, Range 14E

Applicant: Lou Reynolds, Eller & Detrich

Request: Rezone (BXZO 24.01), Planned Unit Development (BXPUD 24.01) and Preliminary Plat (BXPT 24.01).

Description: The applicant is requesting a Rezone from Agriculture (AG) to Single-Family Residential (RS-2) BXZO 24.01 with a Planned Unit Development (BXPUD-24.01), and approval of Preliminary Plat (BXPT 24.01).

The PUD will allow efficient use of the land by allowing 325 dwelling units.

Development Area A:	125 Lots, Min Lot Width 70 ft.
Development Area B:	150 Lots, Min Lot Width 65 ft.
Development Area C:	50 Lots, Min Lot Width 55 ft.

Amenities:

- Community pool with clubhouse
- Pavilion areas with BBQ Grills
- Neighborhood pond with fountains / aerators
- New tree planting and professional landscaping
- Substantial green space / reserve areas
- Stocked fishing pond
- Jogging trails
- Parks and open space
- Gated Private Streets (Development Areas A and C only)

Existing Zoning; Use:

Agriculture (AG); Agriculture

Abutting Zoning; Use:

North: (AG) Agriculture, Vacant; (RS-3) Residential Single-Family

East: (AG) Agriculture; Vacant

South: (RS-3) Residential Single Family, Vacant

West: (AG) Agriculture; (RS-1) Residential Single-Family, Vacant

Proposed Zoning; Use:

Residential-Single Family (RS-2) with PUD

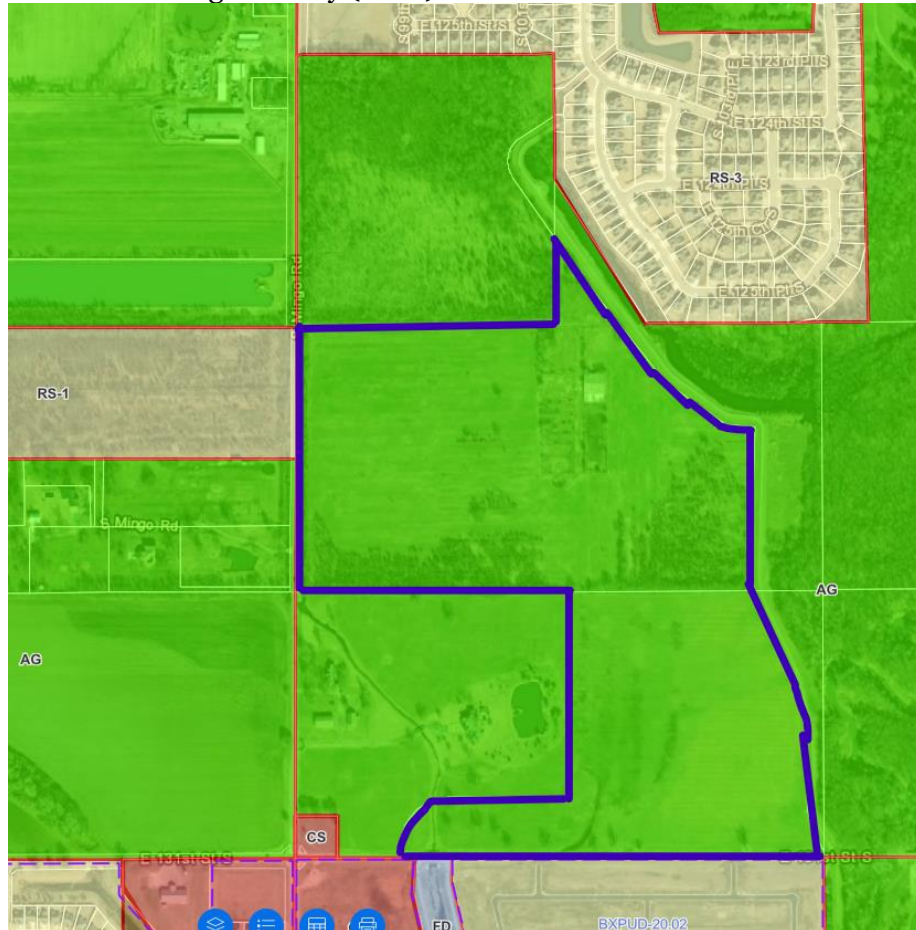
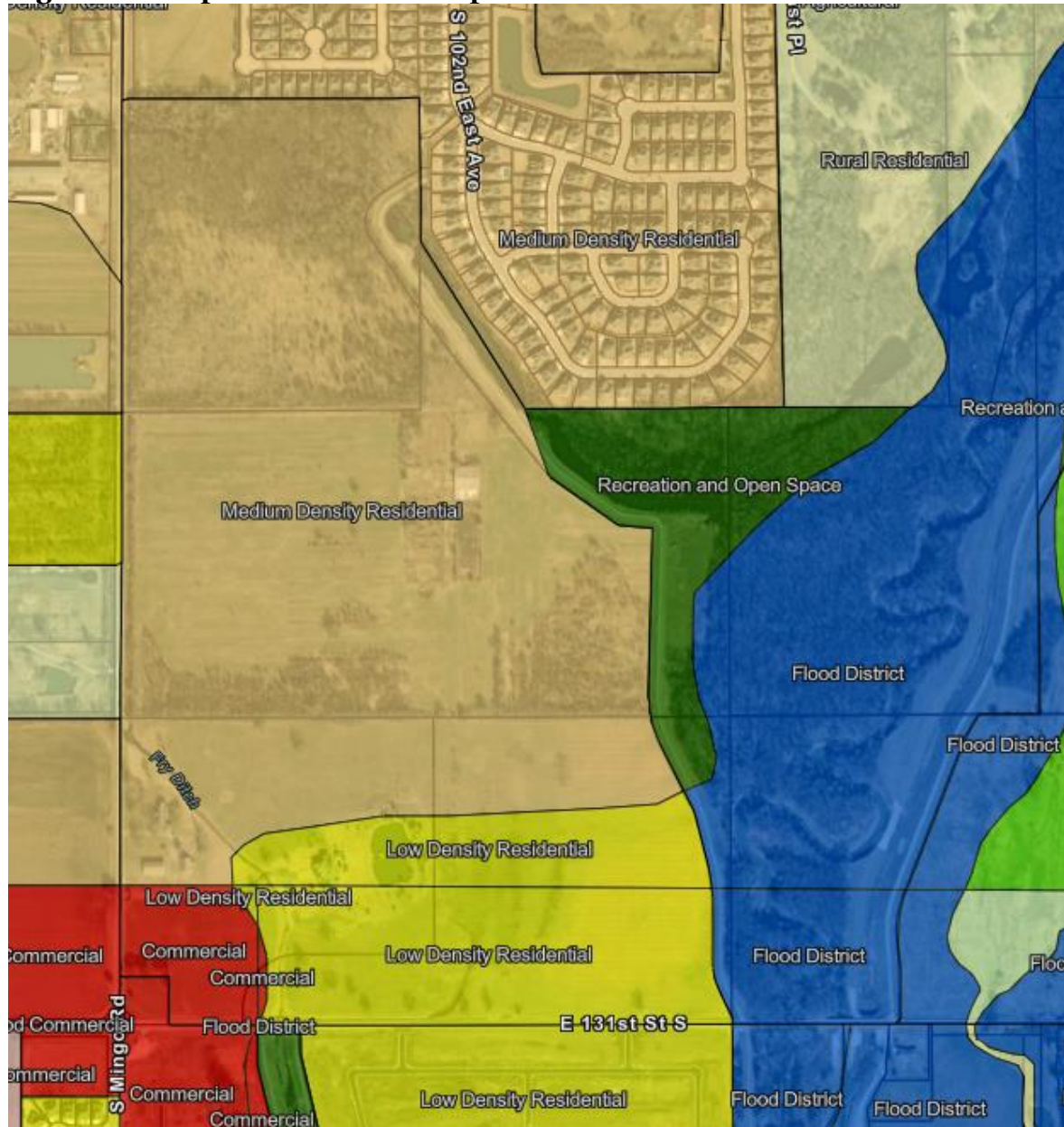


Figure 1: City of Bixby Zoning Map

Figure 2: Comprehensive Plan Map



Staff Review

The applicant is requesting a rezone (BXZO 24.01 from Agriculture (AG) to Residential Single-Family (RS-2), Planned Unit Development (BXPUD 24.01) and Preliminary Plat (BXPT 24.01).

Building Materials: For all development areas, the exterior walls of the first floor (up to the top of the first-floor plate line) of a dwelling shall be 100% masonry or stone;

Minimum Off-Street Parking:

- Development Area A: Three (3) enclosed off-street parking spaces per dwelling.
- Development Area B: Two (2) enclosed off-street parking spaces per dwelling.
- Development Area C: Two (2) enclosed off-street parking spaces per dwelling.

Project Overview:

Development Area A:

Development Standards	Zoning Code RS-2	Proposed
Acres		41.78 +/-
Min. Lot Width	75 Ft.	70 Ft.
Min. Lot Area	9,000 Sq. Ft	9,800 Sq Ft.
Min. Land Area per Dwelling Unit	10,875 Sq Ft.	10,875 Sq Ft.
Number of Dwellings	167	125
Max. Bldg. Height	48 Ft. / 3 Stories	48 Ft. / 2 Stories
Min. Yard Setbacks:		
Front Yard	30 Ft.	25 Ft.
Rear Yard	25 Ft.	20 Ft.
Side Yard (Interior)	5 Ft.	5 Ft.
Rear Yard Abutting a Street (Arterial)	20 Ft.	85 Ft.
Minimum Dwelling Size		Single Story: 2,700 Sq Ft Two Story: 3,100 Sq Ft

Development Area B:

Development Standards	Zoning Code RS-2	Proposed
Acres		44.40 +/-
Min. Lot Width	75 Ft.	65 Ft.
Min. Lot Area	9,000 Sq. Ft	8,125 Sq. Ft.
Min. Land Area per Dwelling Unit	10,875 Sq Ft.	10,875 Sq Ft.
Number of Dwellings	170	150
Max. Bldg. Height	48 Ft. / 3 Stories	48 Ft. / 2 Stories
Min. Yard Setbacks:		
Front Yard	30 Ft.	25 Ft.
Rear Yard	25 Ft.	20 Ft.
Side Yard (Interior)	5 Ft.	5 Ft.
Rear Yard Abutting a Street (Aterial)	20 Ft.	85 Ft.
Minimum Dwelling Size		Single Story: 2,200 Sq Ft Two Story: 2,600 Sq Ft

Development Area C:

Development Standards	Zoning Code RS-2	Proposed
Acres		19.23 +/-
Min. Lot Width	75 Ft.	55 Ft.
Min. Lot Area	9,000 Sq. Ft	6,050 Sq Ft.
Min. Land Area per Dwelling Unit	10,875 Sq Ft.	10,875 Sq Ft.
Number of Dwellings	77	50
Max. Bldg. Height	48 Ft. / 3 Stories	36 Ft. / 1 Story
Min. Yard Setbacks:		
Front Yard	30 Ft.	20 Ft.
Rear Yard	25 Ft.	20 Ft.

Side Yard (Interior)	5 Ft.	5 Ft.
Rear Yard Abutting a Street (Aterial)	20 Ft.	85 Ft.
Minimum Dwelling Size		Single Story: 1,800 Sq Ft

Preliminary Plat: The proposed PUD allows for 325 lots. The proposed preliminary plat contains 262 Lots in 14 Blocks and 12 Reserve Areas.

Lot Comparison: Proposed PUD vs. Preliminary Plat		
	Allowed Per PUD	Preliminary Plat
Development Area A	125	109
Development Area B	150	108
Development Area C	50	45

Utilities/Site Area:

- 12” Water line located on the West side of Mingo Road. 12” Water line located on the South side of East 131st Street South.
- A Sewer interceptor will service this project.

Public Comments: No comments have been received by staff, for or against, regarding the application to Rezone, PUD, and Preliminary Plat.

Staff Comments:

1. Staff supports approval of the requested Rezone from Agriculture (AG) to Residential Single-family (RS-2) with a Planned Unit Development (PUD) and Preliminary Plat. The project aligns with the Comprehensive Plan.

Staff Recommendation:

Staff believes the proposed zoning changes and PUD will align well with the surrounding land use, and future land use of the Comprehensive Plan. The Preliminary Plat meets the requirements outlined in the proposed PUD (BXPUD 24.01).

Figures: Figure 1: City of Bixby Zoning Map
Figure 2: 2018 Comprehensive Plan Map

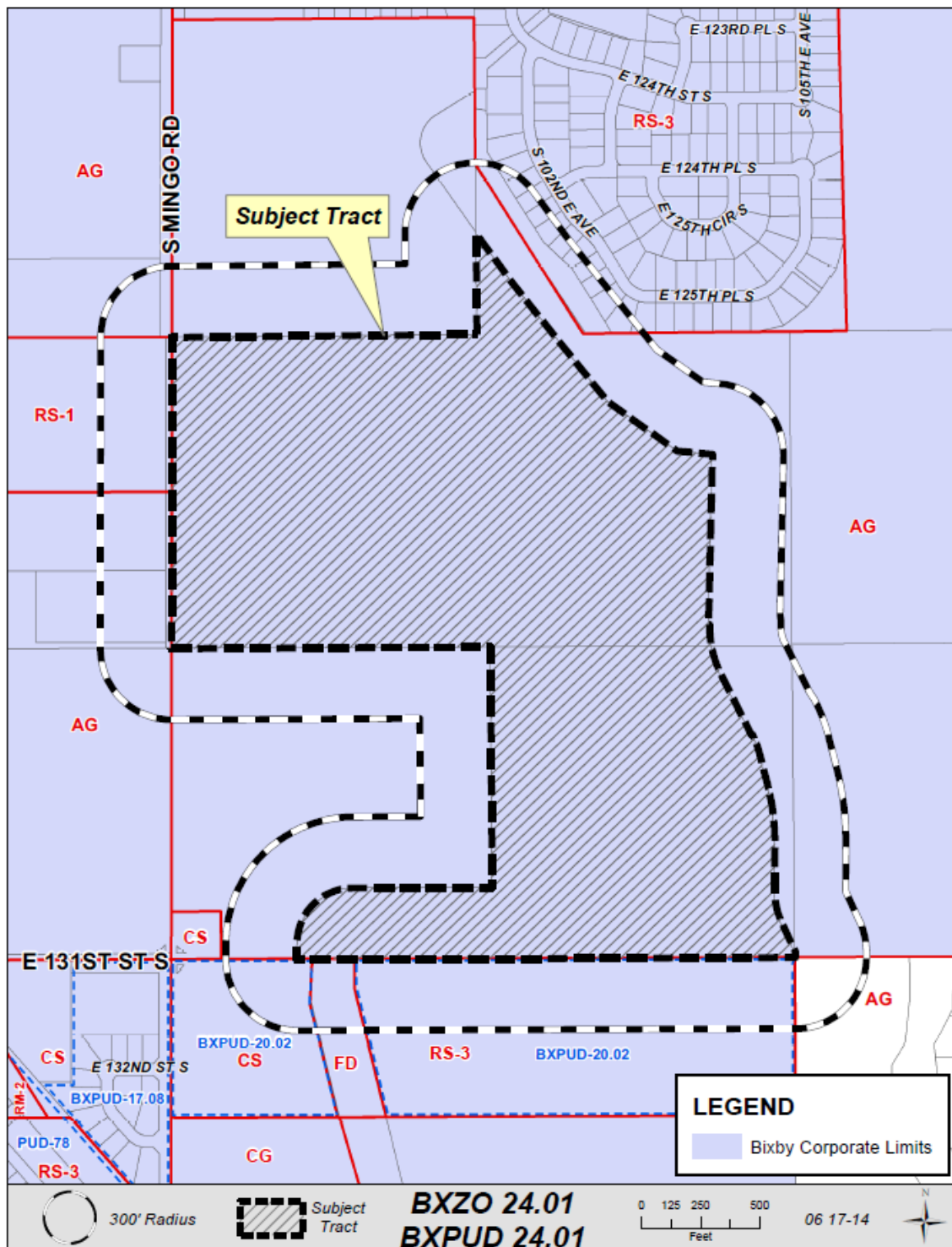
Exhibit “A” Legal Description & Map of Project

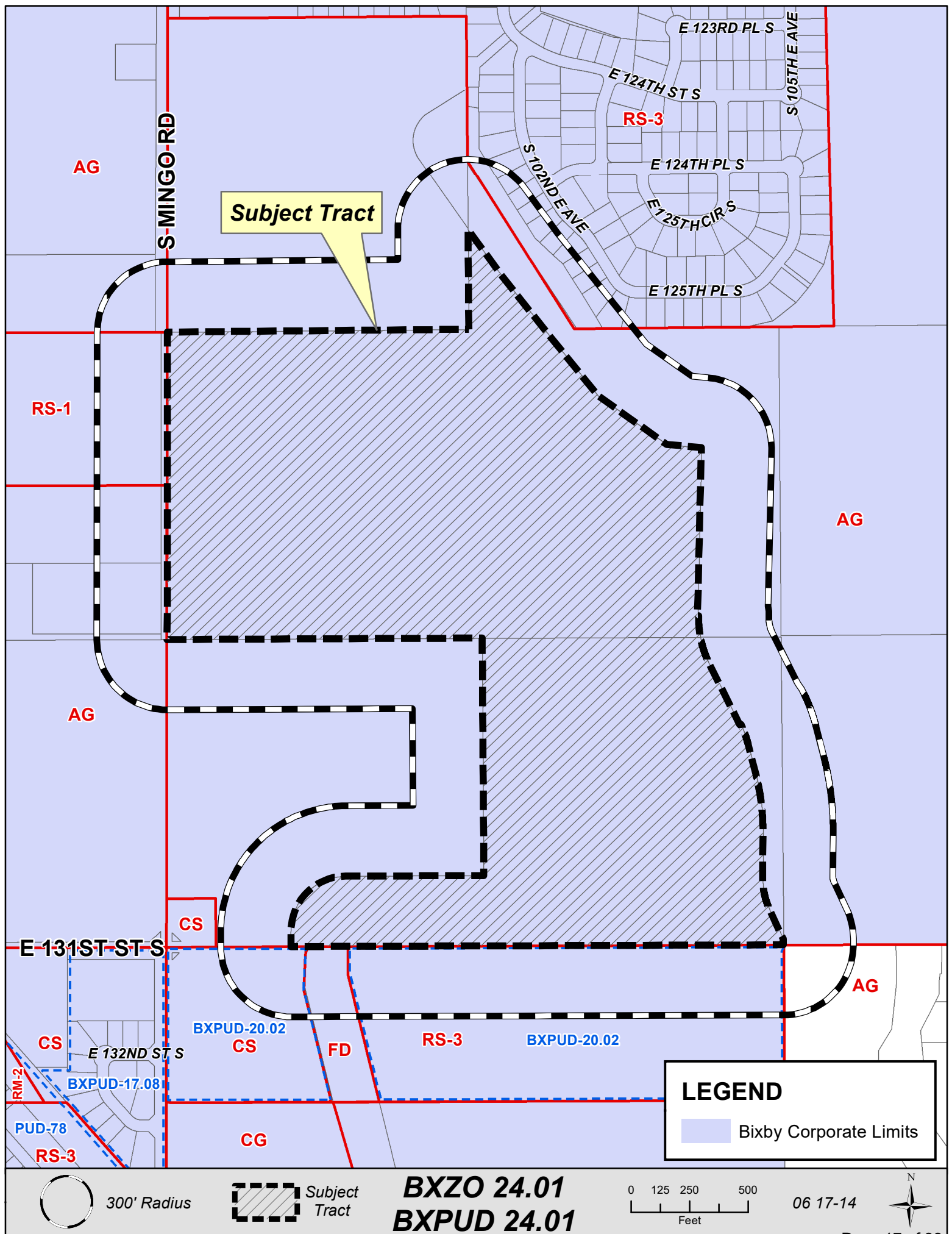
Exhibit “A”

LEGAL DESCRIPTION

A TRACT OF LAND SITUATED IN THE COUNTY OF TULSA, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

BEGINNING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER (SW/4); THENCE SOUTH 88°36'37" WEST 2101.12 FEET; THENCE NORTH 01°23'23" WEST 65.00' FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 235.00 FEET, AN ARC LENGTH OF 369.14 FEET, A CHORD BEARING OF NORTH 43°36'42" EAST AND A CHORD DISTANCE OF 332.34 FEET TO A POINT OF TANGENCY; THENCE NORTH 88°36'37" EAST 589.97 FEET; THENCE NORTH 01°32'45" WEST 1023.88 FEET; THENCE SOUTH 88°32'56" WEST 1345.84 FEET; THENCE NORTH 01°04'34" WEST 1322.45 FEET; THENCE NORTH 88°29'13" EAST 1303.86 FEET; THENCE NORTH 01°20'25" WEST 429.57 FEET; THENCE SOUTH 36°11'52" EAST 233.14 FEET; THENCE SOUTH 38°26'24" EAST 297.53 FEET; THENCE SOUTH 38°26'22" EAST 364.67 FEET; THENCE SOUTH 55°46'24" EAST 359.17 FEET; THENCE SOUTH 85°50'09" EAST 149.11 FEET; THENCE SOUTH 00°09'05" WEST 718.38 FEET; THENCE SOUTH 89°50'55" EAST 5.00 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 440.18 FEET, AN ARC LENGTH OF 91.01 FEET, A CHORD BEARING OF SOUTH 05°48'03" EAST AND A CHORD DISTANCE OF 90.85 FEET; THENCE ALONG A CURVE CONTINUING TO THE LEFT HAVING A RADIUS OF 116.80 FEET, AN ARC LENGTH OF 116.80 FEET, A CHORD BEARING OF SOUTH 19°18'32" EAST AND A CHORD DISTANCE OF 116.46 FEET; THENCE SOUTH 26°54'38" EAST 303.16 FEET; THENCE NORTH 63°05'22" EAST 5.00 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 465.00 FEET, AN ARC LENGTH OF 92.53 FEET, A CHORD BEARING OF SOUTH 21°12'37" EAST AND A CHORD DISTANCE OF 92.38 FEET; THENCE SOUTH 15°30'35" EAST 131.67 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 965.00 FEET, AN ARC LENGTH OF 248.29 FEET, A CHORD BEARING OF SOUTH 08°08'20" EAST AND A CHORD DISTANCE OF 247.61 FEET; THENCE SOUTH 00°46'05" EAST 191.34 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 335.00 FEET, AN ARC LENGTH OF 147.39 FEET, A CHORD BEARING OF SOUTH 13°22'20" EAST AND A CHORD DISTANCE OF 146.20 FEET; THENCE SOUTH 25°58'35" EAST 135.32 FEET; THENCE SOUTH 01°36'09" EAST 24.75 FEET TO THE POINT OF BEGINNING





Planned Unit Development

BXPUD-24.01

GREYHAWK

Single-Family Residential

105 ACRES

NORTHEAST CORNER OF E 131ST ST S AND S MINGO ROAD

BIXBY, OKLAHOMA

February 14, 2024

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I. Development Concept

Greyhawk is a 105-acre single family residential neighborhood in the City of Bixby, Tulsa County, Oklahoma. The project is located on the east side of South Mingo Road and the north side of East 131st Street South. This Planned Unit Development is an overlay covering the RS-2 zoning district and will follow RS-2 dimensional and density standards except as amended by this Planned Unit Development.

Adjacent to the property are multiple land uses and zoning classifications, as follows:

EAST:	City of Bixby/Haikey Creek – AG
NORTH:	Chisholm Ranch – RS-3
WEST:	Unplatted/Residential – RS-1/AG
SOUTH:	Rowan Grove – RS-3

A master property owners association will be formed for the neighborhood and dues established for the maintenance of common areas and amenities. Covenants for the neighborhood have been prepared to set forth minimum dwelling sizes, percent of masonry and other criteria which establish and maintain a quality development. Greyhawk is a professionally planned neighborhood with a community pool and clubhouse, pavilion areas and passive neighborhood amenities associated with the detention facilities and drainage features including fountains/aerators, new tree plantings, jogging trails, and substantial green space for the enjoyment of the residents in Greyhawk.

Legal Description

A TRACT OF LAND SITUATED IN THE WEST HALF (W/2) OF SECTION SIX (6), TOWNSHIP SEVENTEEN (17), RANGE FOURTEEN (14) EAST, COUNTY OF TULSA, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

BEGINNING AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER (SE/4); THENCE SOUTH 88°36'37" WEST 2101.12 FEET; THENCE NORTH 01°23'23" WEST 65.00 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 235.00 FEET, AN ARC LENGTH OF 369.14 FEET, A CHORD BEARING OF NORTH 43°36'42" EAST AND A CHORD DISTANCE OF 332.34 FEET TO A POINT OF TANGENCY; THENCE NORTH 88°36'37" EAST 589.97 FEET; THENCE NORTH 01°32'45" WEST 1023.88 FEET; THENCE SOUTH 88°32'56" WEST 1345.84 FEET; THENCE NORTH 01°04'34" WEST 1322.45 FEET; THENCE NORTH 88°29'13" EAST 1303.86 FEET; THENCE NORTH 01°20'25" WEST 429.57 FEET; THENCE SOUTH 36°11'52" EAST 233.14 FEET; THENCE SOUTH 38°26'24" EAST 297.53 FEET; THENCE SOUTH 38°26'22" EAST 364.67 FEET; THENCE SOUTH 55°46'24" EAST 359.17 FEET; THENCE SOUTH 85°50'09" EAST 149.11 FEET; THENCE SOUTH 00°09'05" WEST 718.38 FEET; THENCE SOUTH 89°50'55" EAST 5.00 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 440.18 FEET, AN ARC LENGTH OF 91.01 FEET, A CHORD BEARING OF SOUTH 05°48'03" EAST AND A CHORD DISTANCE OF 90.85 FEET; THENCE ALONG A CURVE CONTINUING TO THE LEFT HAVING A RADIUS OF 116.80 FEET, AN ARC LENGTH OF 116.80 FEET, A CHORD BEARING OF SOUTH 19°18'32" EAST AND A CHORD DISTANCE OF 116.46 FEET; THENCE SOUTH 26°54'38" EAST 303.16 FEET; THENCE NORTH 63°05'22" EAST 5.00 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 465.00 FEET, AN ARC LENGTH OF 92.53 FEET, A CHORD BEARING OF SOUTH 21°12'37" EAST AND A CHORD DISTANCE OF 92.38 FEET; THENCE SOUTH 15°30'35" EAST 131.67 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 965.00 FEET, AN ARC LENGTH OF 248.29 FEET, A CHORD BEARING OF SOUTH 08°08'20" EAST AND A CHORD DISTANCE OF 247.61 FEET; THENCE SOUTH 00°46'05" EAST 191.34 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 335.00 FEET, AN ARC LENGTH OF 147.39 FEET, A CHORD BEARING OF SOUTH 13°22'20" EAST AND A CHORD DISTANCE OF 146.20 FEET; THENCE SOUTH 25°58'35" EAST 135.32 FEET; THENCE SOUTH 01°36'09" EAST 24.75 FEET TO THE POINT OF BEGINNING.

EXHIBIT A
VICINITY MAP



EXHIBIT B
AERIAL PHOTO



DEVELOPMENT AREA 'A'
COMMUNITY PARK
DETENTION FACILITY
PAVILION W/ PARKING AREA
PICNIC TABLES / BBQ GRILLS
STOCKED FISHING POND

GATED ENTRY
W/ KEYPAD

Tree Preservation Area
20' WIDE ALONG SOUTH LINE OF DEVELOPMENT AREA 'A'

Landscape & Screening Buffer
8' TALL EARTHEN BERM (VIEWING FROM THE WEST)
6' TALL SCREENING FENCE W/ MASONRY COLUMNS
200 TREES TO BE PLANTED AS SHOWN

ASPHALT JOGGING TRAIL
ALONG DRAINAGE CHANNEL

DEVELOPMENT AREA 'B'
COMMUNITY PARK
CLUBHOUSE & FITNESS GYM
SWIMMING POOL
PARKING AREA W/ ADA ACCESS

ASPHALT JOGGING TRAIL
ALONG DRAINAGE CHANNEL

PEDESTRIAN CIRCULATION
VIA STREET SIDEWALK SYSTEM

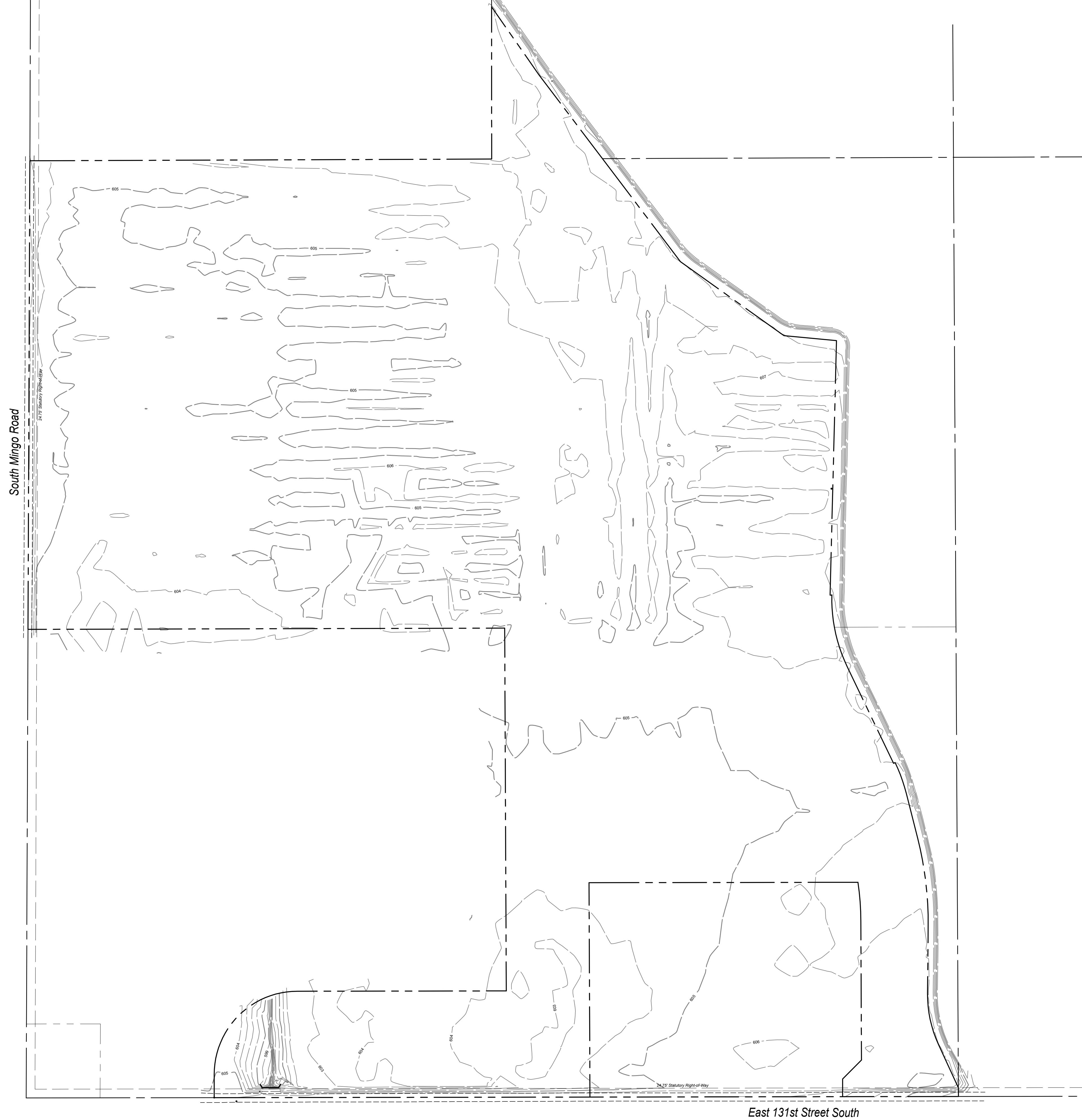
GATED ENTRY
W/ KEYPAD

DEVELOPMENT AREA 'C'
COMMUNITY PARK
CLUBHOUSE

EXHIBIT C

CONCEPTUAL SITE PLAN

NOTE: SITE GEOMETRY, STREET PATTERNS, LOT CONFIGURATIONS, ETC. SHOWN HEREON ARE SUBJECT TO CHANGE AND ARE SHOWN FOR REFERENCE ONLY IN ORDER TO CONVEY THE INTENT OF THE PROPOSED DEVELOPMENT. THE PUD TEXT CONTAINING DEVELOPMENT STANDARDS SHALL GOVERN FINAL SITE DESIGN. FOR THE PURPOSES OF SITE PLAN REVIEW REQUIREMENTS, THE APPROVED FINAL PLAT SHALL CONSTITUTE THE REQUIRED DETAILED SITE PLAN.



South Mingo Road

East 131st Street South

EXHIBIT D

SITE TOPOGRAPHY

EXHIBIT E
CURRENT ZONING MAP

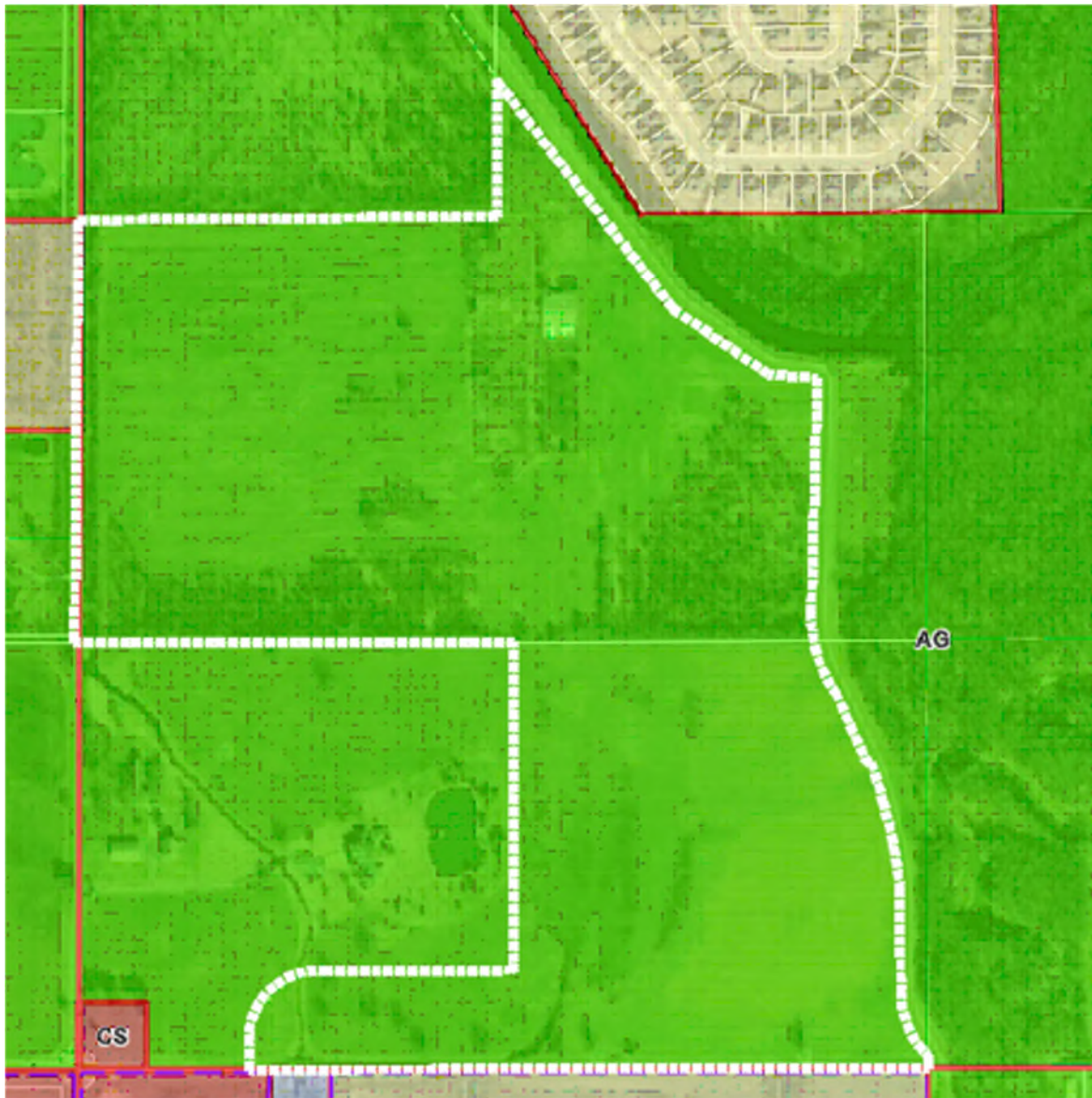


EXHIBIT F

BIXBY COMPREHENSIVE PLAN

MEDIUM DENSITY RESIDENTIAL

Density: 4 to 6 du/ac

Zoning: RS-2, RS-2.5, RS-3

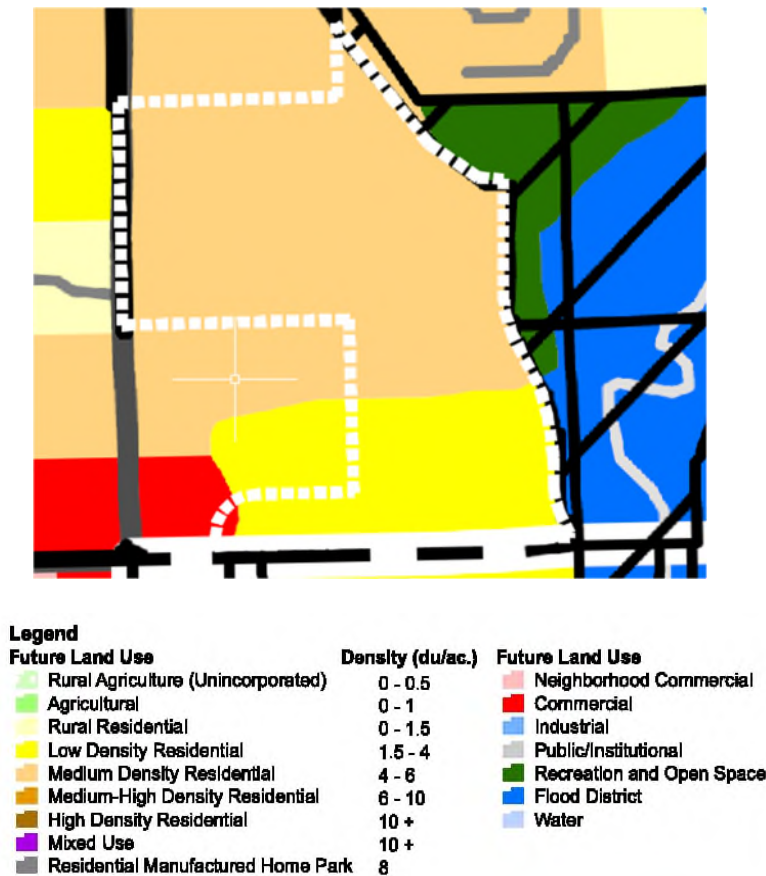
The Medium Density Residential designation denotes areas within Bixby where there is a sense of neighborhood cohesion. Medium Density Residential mostly consists of attached and detached single-family homes, but may also include other integrated land uses that support the neighborhood, such as shops, religious institutions, small offices, and educational institutions that reflect the neighborhood's character.

LOW DENSITY RESIDENTIAL

Density: 1.5 to 4 du/ac

Zoning: RE, RS-1, RS-2

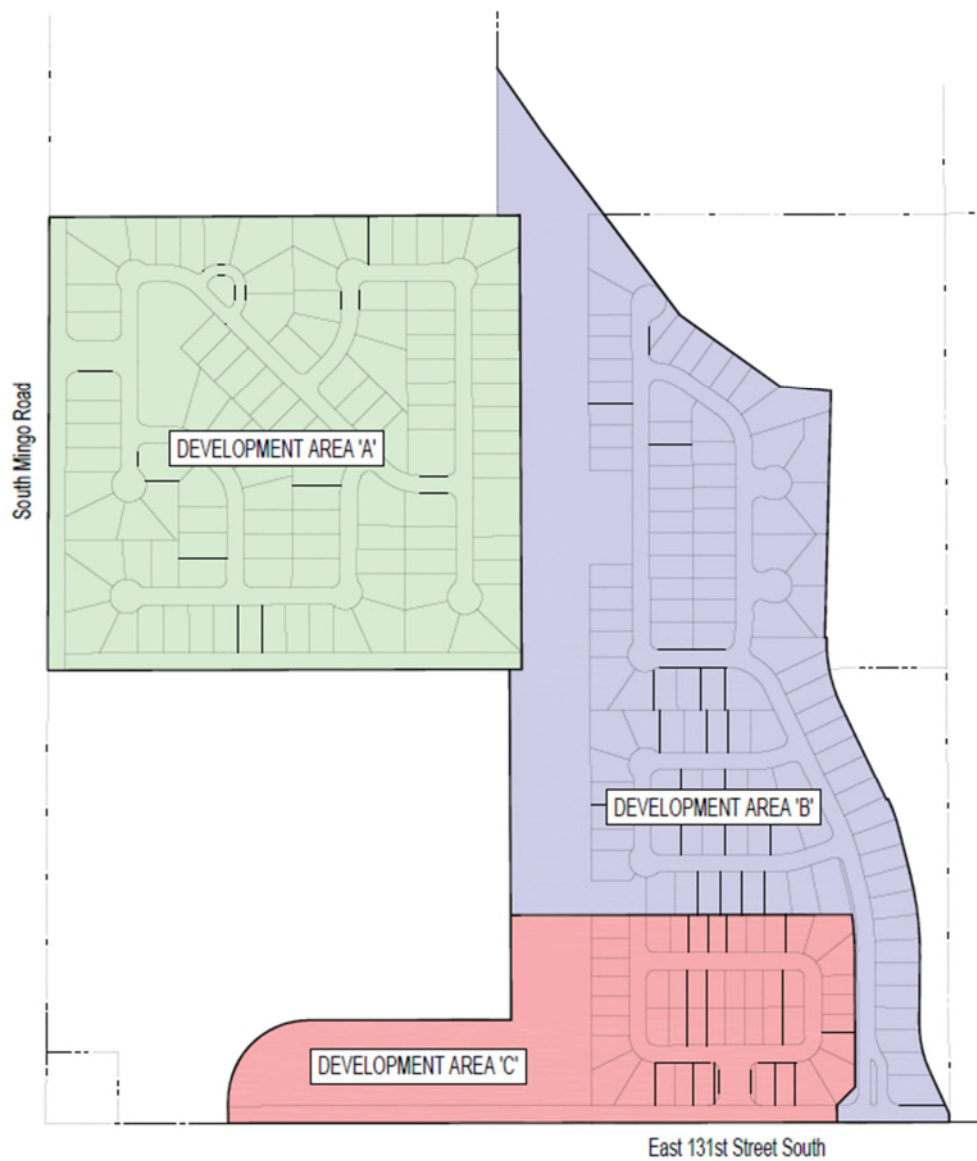
The Low Density Residential designation denotes areas on the fringe of the urbanized area of the City. Development in this designation should remain low in density and mostly consist of detached single-family units. Although, this designation may allow land uses that support neighborhood functions, such as parks and neighborhood scaled shops that are cohesive with the residential character.



II. Development Standards

DEVELOPMENT AREAS SUMMARY

AREA	USE	SF	ACRES	% OF TOTAL	ZONING
A	Single-Family Residential	1,819,895.88	41.78	40	RS-2
B	Single-Family Residential	1,929,888.30	44.30	42	RS-2
C	Single-Family Residential	841,804.71	19.32	18	RS-2
TOTAL		4,591,588.89	105.41	100	



DEVELOPMENT AREA - A

Land Area: 41.78 Acres

Permitted Uses: All uses allowed by right in the RS-2 zoning district, specifically including Use Unit 6 – Single Family Dwelling, and customary accessory uses, facilities and amenities to the permitted principal uses.

Residential lot density calculation:

Maximum dwelling units allowed in RS-2 zoning district (1,819,896 / 10,875 square feet): 167

Maximum dwelling units (residential lots) allowed in Development Area A: 125

Minimum lot width (at building setback line): 70 feet *

* Lots with cul-de-sac or radial “knuckle” frontage may have a minimum width of 40 feet at the right-of-way line but shall meet the minimum requirements for lot area as specified in this PUD.

Minimum lot area: 9,800 square feet

Minimum land area per dwelling unit: 10,875 square feet

Minimum size of dwelling unit:.....Single Story: 2,700 square feet
.....Two Story: 3,100 square feet

Maximum structure height: 48 feet

Maximum number of stories: 2

Minimum Off-Street Parking: Three (3) enclosed off-street parking spaces per dwelling unit

Front yard building setback: 25 feet

Rear yard building setback: 20 feet

Side yard (corner lot) building setback: 15 feet

Rear yards abutting an arterial street : 85 feet from centerline

All other side yards: 5 feet

No residence shall be built nearer than five (5) feet to any side lot on one side, and five (5) feet on the other side, thus requiring a combined total of at least ten (10) feet between the residences.

DEVELOPMENT AREA - B

Land Area: 44.30 Acres

Permitted Uses: All uses allowed by right in the RS-2 zoning district, specifically including Use Unit 6 – Single Family Dwelling and customary accessory uses, facilities and amenities to the permitted principal uses.

Residential lot density calculation:

Maximum dwelling units allowed in RS-2 zoning district (1,929,888 / 10,875 square feet): 177

Maximum dwelling units (residential lots) allowed in Development Area B: 150

Minimum lot width (at building setback line): 65 feet *

* Lots with cul-de-sac or radial “knuckle” frontage may have a minimum width of 40 feet at the right-of-way line but shall meet the minimum requirements for lot area as specified in this PUD.

Minimum lot area: 8,125 square feet

Minimum land area per dwelling unit: 10,875 square feet

Minimum size of dwelling unit:.....Single Story: 2,200 square feet
.....Two Story: 2,600 square feet

Maximum structure height: 48 feet

Maximum number of stories: 2

Minimum Off-Street Parking: Two (2) enclosed off-street parking spaces per dwelling unit

Front yard building setback: 25 feet

Rear yard building setback: 20 feet

Side yard (corner lot) building setback: 15 feet

Rear yards abutting an arterial street : 85 feet from centerline

All other side yards: 5 feet

No residence shall be built nearer than five (5) feet to any side lot on one side, and five (5) feet on the other side, thus requiring a combined total of at least ten (10) feet between the residences.

DEVELOPMENT AREA - C

Land Area: 19.32 Acres

Permitted Uses: All uses allowed by right in the RS-2 zoning district, specifically including Use Unit 6 – Single Family Dwelling and customary accessory uses, facilities and amenities to the permitted principal uses.

Residential lot density calculation:

Maximum dwelling units allowed in RS-2 zoning district (841,805 / 10,875 square feet): 77

Maximum dwelling units (residential lots) allowed in Development Area C: 50

Minimum lot width (at building setback line): 55 feet

Minimum lot area: 6,050 square feet

Minimum land area per dwelling unit: 10,875 square feet

Minimum size of dwelling unit:.....Single Story: 1,800 square feet

Maximum structure height: 36 feet

Maximum number of stories: 1

Minimum Off-Street Parking: Two (2) enclosed off-street parking spaces per dwelling unit

Front yard building setback: 20 feet

Rear yard building setback: 20 feet

Side yard (corner lot) building setback: 10 feet

Rear yards abutting an arterial street : 85 feet from centerline

All other side yards: 5 feet

No residence shall be built nearer than five (5) feet to any side lot on one side, and five (5) feet on the other side, thus requiring a combined total of at least ten (10) feet between the residences.

III. General Provisions

Building Materials

The exterior walls of the first floor (up to the top of the first floor plate line) of a dwelling shall be 100% masonry or stone; provided that the area of all windows, doors, other openings, and covered porches located on said exterior walls shall be excluded in the determination of the area of the exterior walls.

Landscaping and Screening

Along the south boundary of Development Area A, a minimum twenty-foot (20') wide landscape buffer shall be preserved or planted.

Along the western side of the southerly half of the drainage channel, a screening and landscape buffer shall be installed. The buffer shall include, at a minimum, an eight foot (8') tall earthen berm, a six foot (6') tall wooden screening fence with masonry columns, and a minimum of two hundred (200) trees.

Prior to the sale of any lots, Developer shall install a uniform fence along the shared eastern boundary of Development Area "B" and existing levee owned by the City of Bixby. No vehicular access shall be permitted from the residential lots to the levee.

The details and location of the screening and landscaping buffers are shown on the Conceptual Site Plan.

Signage

An entry identification sign shall be permitted at each primary street entrance of the project (for a total of three (3) entry identification signs) with a maximum of 64 square feet of display signage surface per sign. Additional signage for amenities within the project will be allowed with a maximum of 16 square feet per sign.

Access and Circulation

Development Area – A: There shall be one (1) gated entrance for Development Area A from the west (South Mingo Road) and a secondary emergency vehicle access located at the easterly boundary of Development Area A. Interior vehicular access shall be derived from the primary entrance location with private streets (26 feet in width) throughout.

Development Area – B: The primary entrance for Development Area B shall be from the south (East 131st Street South) and a secondary emergency vehicle access located in the northwesterly portion of Development Area B. Interior vehicular access shall be derived from the primary entrance location with public streets (26 feet in width) throughout.

Development Area – C: The primary gated entrance for Development Area C shall be from the south (East 131st Street South) and a secondary emergency vehicle access located in the northwest corner of Development Area C. Interior vehicular access shall be derived from the primary entrance location with private streets (26 feet in width) throughout.

Topography and Existing Soils

The property consists of pastureland with elevations ranging from 608 to 594 feet. The Soil Survey of Tulsa County, Oklahoma was used to help identify soil types present on the site. Existing soils consist of the following:

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
45	Osage silty clay, 0 to 1 percent slopes, occasionally flooded	90.0	87.0%
48	Radley silt loam, 0 to 1 percent slopes, frequently flooded	3.1	3.0%
53	Wynona silty clay loam, 0 to 1 percent slopes, occasionally flooded	10.3	9.9%
Totals for Area of Interest		103.4	100.0%

Utilities and Drainage

Most utilities are available around the project boundary. An offsite sanitary sewer main extension will be required to serve the project. Storm water drainage will be collected by an underground storm sewer system, and detention / drainage channels will be addressed within designated reserve areas in accordance with the City of Bixby development regulations. Domestic and irrigation water service will be provided by the City of Bixby.

Amenities

- Community pool with clubhouse
- Pavilion area with BBQ grills
- Neighborhood pond with fountains / aerators
- New tree planting and professional landscaping
- Substantial green space / reserve areas
- Stocked fishing pond
- Jogging trails
- Parks and open space
- Gated Private Streets (Development Areas A and C only)

Site Plan Review

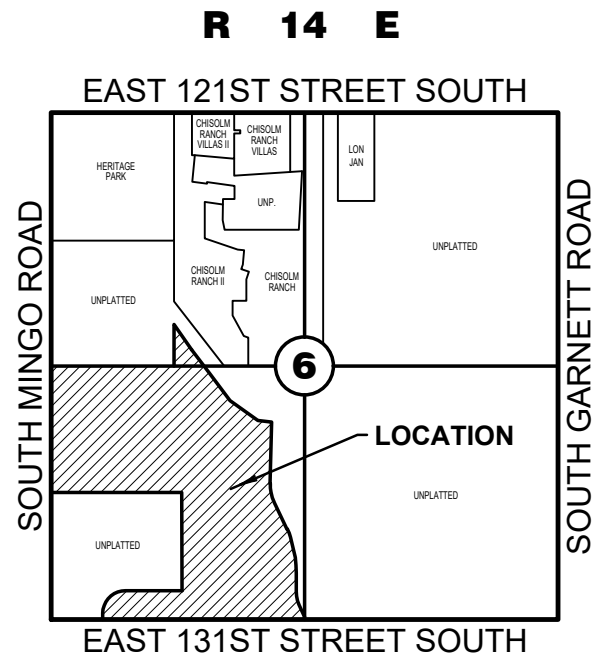
For the purposes of site plan review requirements, the approved final plat shall constitute the required detailed site plan.

Platting Requirement

No building permit shall be issued until the area comprising the Planned Unit Development has been included within a subdivision plat submitted to and approved by the Bixby Planning Commission and the Bixby City Council and duly filed of record. The required subdivision plat shall include covenants of record implementing the development standards of the approved Planned Unit Development and the City of Bixby shall be a beneficiary thereof.

IV. Anticipated Construction Schedule

The anticipated construction schedule for Greyhawk is scheduled to begin in the summer of 2024 and is expected to be complete and ready for lot sales in the fall of 2025.



Location Map
SCALE: 1"=2000'

BXPUD-24.01

Greyhawk

A SUBDIVISION IN THE WEST HALF (W/2) OF SECTION SIX (6),
TOWNSHIP SEVENTEEN (17), RANGE FOURTEEN (14), CITY OF
BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE
U.S. GOVERNMENT SURVEY THEREOF.

Owner / Developer

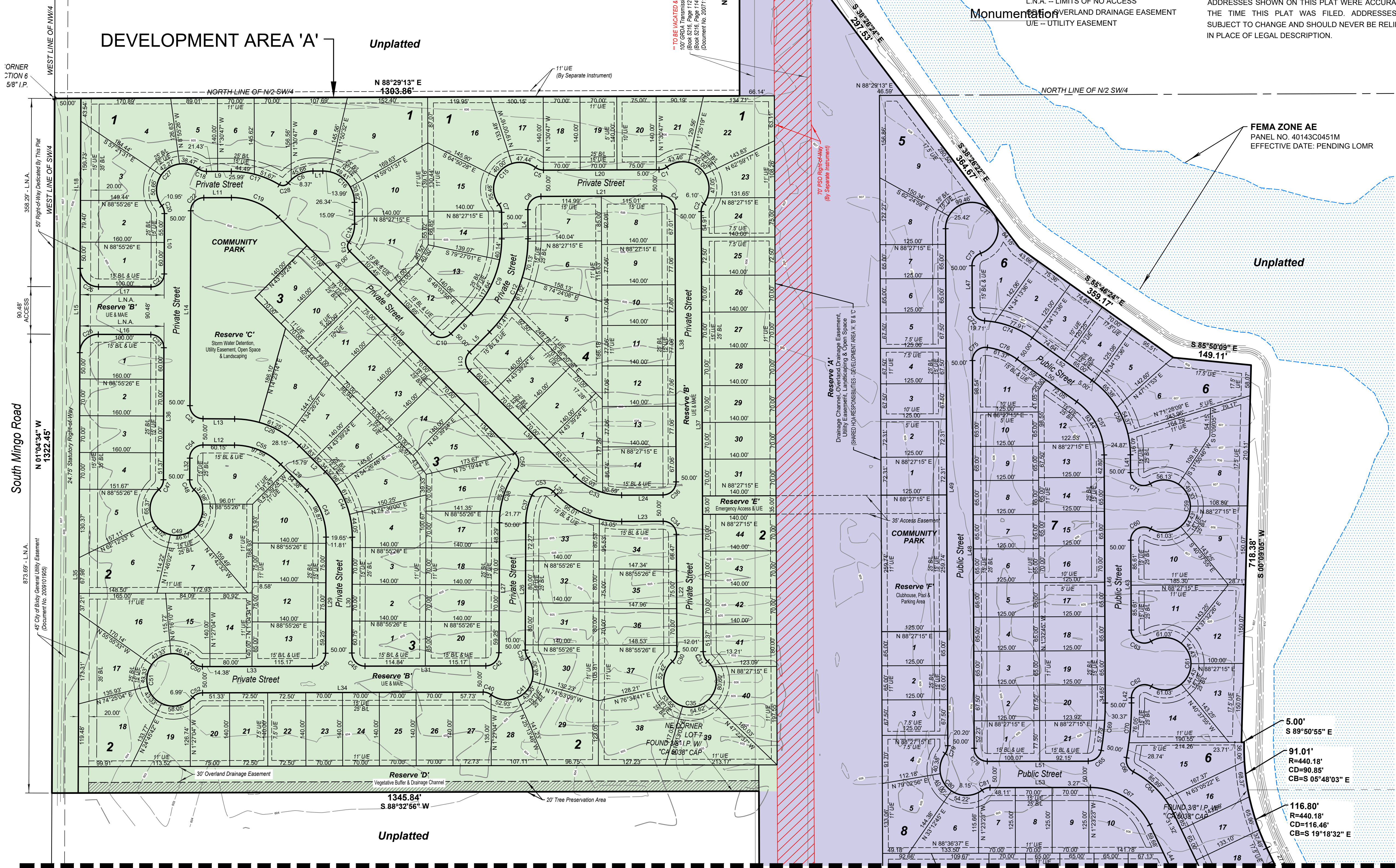
GREYHAWK DEVELOPMENT, LLC
5014 E 101ST STREET, SUITE 102
TULSA, OK 74137
PHONE: (918) 409-8723
MR. CLINT BRUMBLE

Surveyor

FRITZ LAND SURVEYING, LLC
524 EAST MAIN STREET
JENKS, OKLAHOMA 74037
PHONE: (918) 528-5121
EMAIL: fritzlandsurveying@gmail.com
C.A. # 5848 EXPIRES: 6-30-2024

Engineer

ENGINEERED BY DESIGN, PLLC
P.O. BOX 15567
DEL CITY, OKLAHOMA 73155
PHONE: (405) 234-0980
EMAIL: ahale@engineeredbydesign.pro
C.A. # 7655 EXPIRES 6-30-2024



Subdivision Statistics

SUBDIVISION CONTAINS TWO HUNDRED AND SIXTY-TWO
(262) LOTS IN FOURTEEN (14) BLOCKS AND TWELVE (12)
RESERVE AREAS
GROSS SUBDIVISION AREA: 4,591,588.89 SF OR 105.41 AC

Basis of Bearings

BEARINGS ARE BASED UPON THE OKLAHOMA STATE
PLANE COORDINATE SYSTEM, (3501 OK N), NORTH
AMERICAN DATUM 1983 (NAD83) USING THE SOUTH LINE
OF THE SW/4 OF SECTION 6, T-17-N, R-14-E AS SOUTH
88°36'37" WEST.

Legend

B/L -- BUILDING SETBACK LINE
L.N.A. -- LIMITS OF NO ACCESS
VERLAND DRAINAGE EASEMENT
U/E -- UTILITY EASEMENT

ALL LOT CORNERS SHOWN HEREON WERE SET USING A
3/8" x 18" STEEL PIN WITH A GREEN PLASTIC CAP
STAMPED "FRITZ CA5848".

Floodplain Data

WE HAVE EXAMINED A MAP BY THE FEDERAL
EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE
RATE MAP, CITY OF BIXBY, OKLAHOMA, COMMUNITY
PANEL NO. 40143C0451L - NOVEMBER 16, 2012, WHICH
INDICATES THE SUBJECT PROPERTY TO BE WITHIN ZONE
AE AND THE FLOODWAY (AREAS DETERMINED TO BE
WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN WITH A
BASE FLOOD ELEVATION VARYING FROM 608' TO 607'+/-
AS SHOWN HEREON).

*** PENDING FINAL LETTER OF MAP REVISION (LOMR) ***

Notes

ADDRESSES SHOWN ON THIS PLAT WERE ACCURATE AT
THE TIME THIS PLAT WAS FILED. ADDRESSES ARE
SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON
IN PLACE OF LEGAL DESCRIPTION.

Lot Area & Width at B/L Summary

BLOCK	LOT	WIDTH AT B/L	LOT AREA (SF)	BLOCK	LOT	WIDTH AT B/L	LOT AREA (SF)
1	1		13,202.99	3	1		11,827.95
	2		12,605.43		2		9,800.00
	3	SEE NOTE	14,968.39		3		9,800.00
	4	SEE NOTE	18,153.75		4		11,656.68
	5	SEE NOTE	10,732.71		5		13,659.05
	6	SEE NOTE	9,881.96		6		11,098.45
	7	SEE NOTE	11,038.50		7		10,882.87
	8	SEE NOTE	12,972.05		8		14,397.44
	9	SEE NOTE	22,464.68		9		9,800.00
	10	SEE NOTE	14,015.60		10		9,800.00
	11	SEE NOTE	15,291.19		11		10,500.00
	12		10,660.49		12		9,800.00
	13		11,174.06		13		9,800.00
	14		10,969.10		14		9,800.00
	15	SEE NOTE	12,679.06		15		12,537.28
	16	SEE NOTE	17,114.05		16		14,179.92
	17	SEE NOTE	10,365.61		17		9,809.77
	18		9,800.00		18		9,800.00
	19		9,800.00		19		9,800.00
	20		10,500.00		20		11,703.78
	21	SEE NOTE	9,856.38		1		11,882.70
	22	SEE NOTE	17,892.25		2		9,800.00
	23	SEE NOTE	9,910.50		3		9,800.00
	24	SEE NOTE	10,382.85		4		11,917.00
	25		10,150.00		5		21,085.66
	26		9,800.00		6		13,454.62
	27		9,800.00		7		11,771.36
	28		9,800.00		8		12,751.42
	29		9,800.00		9		10,788.09
	30		9,800.00		10		10,788.09
	31		9,800.00		11		10,788.09
2	1		13,202.99		12		10,788.09
	2		11,200.00		13		10,788.09
	3		11,200.00		14		12,690.61
	4		8,125.00		1		8,125.00
	5	SEE NOTE	13,251.52		2		8,125.00
	6	SEE NOTE	17,057.81		3		8,125.00
	7	SEE NOTE	12,656.21		4		8,125.00
	8	SEE NOTE	12,084.68		5		8,125.00
	9	SEE NOTE	16,469.91		6		8,125.00
	10		14,176.12		7		8,125.00
	11		10,500.00		8		11,615.78
	12		10,500.00		9	SEE NOTE	24,174.49
	13		11,703.78		1		13,222.94
	14		12,264.13		2		9,839.71
	15	SEE NOTE	10,084.99		3		9,330.05
	16	SEE NOTE	15,889.50		4		8,750.12
	17	SEE NOTE	14,514.91		5		10,475.13
	18	SEE NOTE	17,906.01		6		21,622.13
	19	SEE NOTE	9,956.15		7	SEE NOTE	15,389.62
	20		10,397.28		8	SEE NOTE	19,224.01
	21		10,150.00		9	SEE NOTE	13,251.13
	22		10,150.00		10	SEE NOTE	14,942.16
	23		9,800.00		11	SEE NOTE	14,942.16
	24		9,800.00		12	SEE NOTE	12,584.43
	25		9,800.00		13	SEE NOTE	11,917.74
	26		9,800.00		14	SEE NOTE	15,074.57
	27		10,158.89		15		16,112.24
	28	SEE NOTE	10,073.56		16		9,983.75
	29	SEE NOTE	18,149.31		17		8,938.02
	30	SEE NOTE	11,414.41		18		8,567.39
	31		11,200.00		19		8,547.50
	32		11,200.00		20		8,547.50
	33		15,608.07		21		9,205.00
	34		13,294.91		22		8,579.67
	35		11,073.82		23		9,247.32
	36		10,377.16		24		9,078.49
	37	SEE NOTE	12,341.99		25		8,559.89
	38	SEE NOTE	19,550.83		26		8,859.89
	39	SEE NOTE	15,689.18		27		8,888.05
	40	SEE NOTE	15,466.36		28		8,889.78
	41		11,022.22		29		8,845.98
	42		9,800.00		30		8,502.33
	43		9,800.00		31		8,444.98
	44		9,800.00		32		8,393.22

NOTE: LOTS WITH CUL-DE-SAC OR RADIAL "KNUCKLE"
FRONTAGE MAY HAVE A MINIMUM WIDTH OF 40.00 FEET AT
THE RIGHT-OF-WAY LINE BUT SHALL MEET THE MINIMUM
REQUIREMENTS FOR LOT AREA AS SPECIFIED IN THIS PUD.

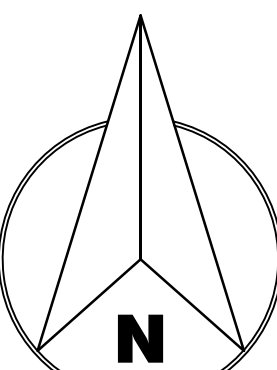
STATE OF OKLAHOMA }
COUNTY OF TULSA } SS

I, MICHAEL WILLIS, TULSA COUNTY CLERK, IN AND FOR
THE COUNTY AND STATE ABOVE, DO HEREBY CERTIFY
THAT THE FORGOING IS A TRUE AND CORRECT COPY
OF A LIKE INSTRUMENT NOW ON FILE IN MY OFFICE.

DATED THE _____ DAY OF _____, 2024.

MICHAEL WILLIS, TULSA COUNTY CLERK

DEPUTY



Scale: 1" = 100'



PRELIMINARY PLAT

MATCH LINE - SEE SHEET 2

DEVELOPMENT AREA 'B'

BXPUD-24.01
Greyhawk
Sheet 1 of 4

DATE PREPARED: February 14, 2024

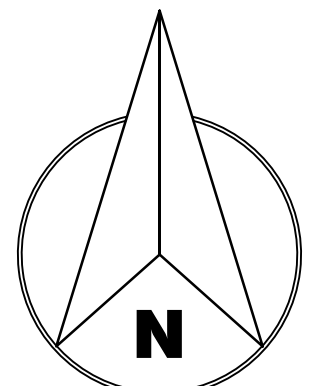
MATCH LINE - SEE SHEET 1

PRELIMINARY PLAT

BXPUD-24.01

Greyhawk

A SUBDIVISION IN THE WEST HALF (W/2) OF SECTION SIX (6), TOWNSHIP SEVENTEEN (17), RANGE FOURTEEN (14), CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.



Scale: 1" = 100'

FEMA ZONE AE
PANEL NO. 40143C0451M
EFFECTIVE DATE: PENDING LOMR

369.14'
R=235.00'
CD=332.34'
CB=N 43°36'42" E

65.00'
N 01°23'23" W

DEVELOPMENT AREA 'C'

Unplatted

DEVELOPMENT AREA 'B'

** TO BE VACATED & REPLACED W/ 70' WIDE EASEMENT **
100' GSD, Transparencies Line Element
(Book 5216, Page 1121)
(Book 5216, Page 1149)
(Document No. 200718658)

Reserve 'A':
Drainage Channel, Overland Drainage Easement,
Utility Easement, Landscaping & Open Space
SHARED HOA RESPONSIBILITIES- DEVELOPMENT AREA 'A', 'B' & 'C'

Reserve 'G':
Open Space & U/E

Reserve 'K':
U/E & M/E

Reserve 'L':
Clubhouse

Reserve 'I':
Landscaping & U/E

Reserve 'J':
Landscaping & U/E

Reserve 'H':
Landscaping & U/E

Reserve 'F':
Clubhouse

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GREYHAWK

DEED OF DEDICATION & RESTRICTIVE COVENANTS

KNOW ALL MEN BY THESE PRESENTS:

GREYHAWK DEVELOPMENT, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, HEREINAFTER REFERRED TO AS THE "OWNER/DEVELOPER" IS THE OWNER OF THE FOLLOWING DESCRIBED LAND IN THE CITY OF BIXBY, CITY OF BIXBY, STATE OF OKLAHOMA:

A TRACT OF LAND SITUATED IN THE WEST HALF (W/2) OF SECTION SIX (6), TOWNSHIP SEVENTEEN (17), RANGE FOURTEEN (14), COUNTY OF TULSA, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

BEGINNING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER (SW/4), THENCE SOUTH 88°36'37" WEST 2101.12 FEET; THENCE NORTH 01°23'23" WEST 65.00 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 235.00 FEET, AN ARC LENGTH OF 369.14 FEET, A CHORD BEARING OF NORTH 43°36'42" EAST AND A CHORD DISTANCE OF 332.34 FEET TO A POINT OF TANGENCY; THENCE NORTH 88°36'37" EAST 589.97 FEET; THENCE NORTH 01°32'45" WEST 1023.88 FEET; THENCE SOUTH 88°32'56" WEST 1345.84 FEET; THENCE NORTH 01°04'34" WEST 1322.45 FEET; THENCE NORTH 88°29'13" EAST 1303.86 FEET; THENCE NORTH 01°20'25" WEST 429.57 FEET; THENCE SOUTH 36°11'52" EAST 233.14 FEET; THENCE SOUTH 38°26'24" EAST 297.53 FEET; THENCE SOUTH 38°26'22" EAST 364.67 FEET; THENCE SOUTH 55°46'24" EAST 359.17 FEET; THENCE SOUTH 85°50'09" EAST 149.11 FEET; THENCE SOUTH 00°09'05" WEST 718.38 FEET; THENCE SOUTH 89°50'55" EAST 5.00 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 440.18 FEET, AN ARC LENGTH OF 91.01 FEET, A CHORD BEARING OF SOUTH 05°48'03" EAST AND A CHORD DISTANCE OF 90.85 FEET; THENCE ALONG A CURVE CONTINUING TO THE LEFT HAVING A RADIUS OF 116.80 FEET, AN ARC LENGTH OF 116.80 FEET, A CHORD BEARING OF SOUTH 19°18'32" EAST AND A CHORD DISTANCE OF 116.46 FEET; THENCE SOUTH 26°54'38 EAST 303.16 FEET; THENCE NORTH 63°05'22" EAST 5.00 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 465.00 FEET, AN ARC LENGTH OF 92.53 FEET, A CHORD BEARING OF SOUTH 21°12'37" EAST AND A CHORD DISTANCE OF 92.38 FEET; THENCE SOUTH 15°30'35" EAST 131.67 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 965.00 FEET, AN ARC LENGTH OF 248.29 FEET, A CHORD BEARING OF SOUTH 08°08'20" EAST AND A CHORD DISTANCE OF 247.61 FEET; THENCE SOUTH 00°46'05" EAST 191.34 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 335.00 FEET, AN ARC LENGTH OF 147.39 FEET, A CHORD BEARING OF SOUTH 13°22'20" EAST AND A CHORD DISTANCE OF 146.20 FEET; THENCE SOUTH 25°58'35" EAST 135.32 FEET; THENCE SOUTH 01°36'09" EAST 24.75 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 4,591,588.89 SQ. FEET OR 105.41 ACRES.

BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83) USING THE SOUTH LINE OF THE SW/4 OF SECTION 6, T-17-N, R-14-E AS SOUTH 88°36'37" WEST.

THE OWNER/DEVELOPER HAS CAUSED THE SUBDIVISION PARCEL TO BE SURVEYED, STAKED, PLATTED AND SUBDIVIDED INTO LOTS, BLOCKS, RESERVE AREAS, PRIVATE AND PUBLIC STREETS, IN CONFORMITY WITH THE ACCOMPANYING PLAT, AND HAS DESIGNATED THE SUBDIVISION AS 'GREYHAWK', A SUBDIVISION IN THE CITY OF BIXBY, CITY OF BIXBY, STATE OF OKLAHOMA.

SECTION I. STREETS, EASEMENTS AND UTILITIES

A. STREETS AND UTILITY EASEMENTS

THE OWNER/DEVELOPER DOES HEREBY DEDICATE FOR PUBLIC USE THE STREETS DEPICTED ON THE ACCOMPANYING PLAT AND DOES FURTHER DEDICATE FOR PUBLIC USE THE UTILITY EASEMENTS AS DEPICTED ON THE ACCOMPANYING PLAT AS "UIE" OR "UTILITY EASEMENT", FOR OWNER/DEVELOPER AND ALL UTILITY SERVICES WITH FRANCHISE RIGHTS WITHIN CITY OF BIXBY FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING AND/OR REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, TELEPHONE AND COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATER LINES AND CABLE TELEVISION LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO, WITH RIGHTS OF INGRESS AND EGRESS TO AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES AFORESAID; PROVIDED HOWEVER, THE OWNER/DEVELOPER HEREBY RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND RE-LAY ALL UTILITY LINES, INCLUDING WATER LINES, EXCLUDING GAS LINES AND GAS SERVICE LINES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING AND RE-LAYING OVER, ACROSS AND ALONG ALL OF THE UTILITY EASEMENTS DEPICTED ON THE PLAT, FOR THE PURPOSE OF FURNISHING WATER SERVICE AND ALL UTILITY SERVICES, EXCLUDING NATURAL GAS, TO THE AREA INCLUDED IN THE PLAT AND ELSEWHERE, AS MAY BE REQUIRED. THE OWNER/DEVELOPER HEREIN IMPOSES A RESTRICTIVE COVENANT, WHICH SHALL BE BINDING ON EACH LOT OWNER AND SHALL BE ENFORCEABLE BY CITY OF BIXBY, OKLAHOMA AND BY THE SUPPLIER OF ANY AFFECTED UTILITY SERVICE, THAT WITHIN THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, NO BUILDING, STRUCTURE OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION SHALL BE PLACED, ERECTED, INSTALLED OR MAINTAINED, PROVIDED HOWEVER, NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING, LANDSCAPING, CUSTOMARY SCREENING FENCES AND WALLS THAT DO NOT CONSTITUTE AN OBSTRUCTION.

B. UNDERGROUND SERVICE

1. OVERHEAD LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICES MAY BE LOCATED ALONG THE PERIMETER EASEMENTS OF THE SUBDIVISION. STREET LIGHT POLES OR STANDARDS MAY BE SERVED BY UNDERGROUND CABLE. ALL SUPPLY LINES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS LINES SHALL BE LOCATED UNDERGROUND IN THE EASEMENT WAYS DEDICATED FOR GENERAL UTILITY SERVICES AS DEPICTED ON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN THE EASEMENT WAYS.

2. UNDERGROUND SERVICE CABLES AND GAS SERVICE LINES TO ALL STRUCTURES WHICH ARE LOCATED WITHIN THE SUBDIVISION MAY BE RUN FROM THE NEAREST GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURE AS MAY BE LOCATED UPON THE LOT, PROVIDED THAT UPON THE INSTALLATION OF A SERVICE CABLE OR GAS SERVICE LINE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, EFFECTIVE AND NON-EXCLUSIVE RIGHT-OF-WAY EASEMENT ON THE LOT, COVERING A 5-FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE OR LINE EXTENDING FROM THE GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE SERVICE ENTRANCE ON THE STRUCTURE.

3. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS SERVICES, THROUGH ITS AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL EASEMENT WAYS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES INSTALLED BY THE SUPPLIER OF THE UTILITY SERVICE.

4. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND SERVICE FACILITIES LOCATED ON HIS LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES. EACH SUPPLIER OF SERVICE SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF UNDERGROUND FACILITIES, BUT THE OWNER OF THE LOT SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OR HIS AGENTS OR CONTRACTORS.

5. THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY EACH SUPPLIER OF THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE AND THE OWNER OF THE LOT AGREES TO BE BOUND HEREBY.

C. WATER, SANITARY SEWER AND STORM SEWER

1. THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS, SANITARY SEWER MAINS, AND STORM SEWERS LOCATED ON THE OWNER'S LOT.

2. WITHIN UTILITY EASEMENTS, RESTRICTED WATERLINE, SANITARY SEWER, STORM SEWER AND DRAINAGE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF GRADE FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER MAIN, SANITARY SEWER MAIN, OR STORM SEWER OR ANY CONSTRUCTION ACTIVITY WHICH, IN THE JUDGMENT OF THE CITY OF BIXBY, WOULD INTERFERE WITH PUBLIC WATER MAINS, SANITARY SEWER MAINS, AND STORM SEWERS SHALL BE PROHIBITED.

3. THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER SYSTEMS, PUBLIC SANITARY SEWER MAINS, AND PUBLIC STORM SEWERS, BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER, OR THE OWNER'S AGENTS AND/OR CONTRACTORS.

4. THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS, RESTRICTED WATERLINE, SANITARY SEWER, STORM SEWER AND DRAINAGE EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION, FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF UNDERGROUND WATER, SANITARY SEWER, OR STORM SEWER FACILITIES.

5. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, AND THE OWNER OF EACH LOT AGREES TO BE BOUND BY THESE COVENANTS.

D. GAS SERVICE

1. THE SUPPLIER OF GAS SERVICE SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL UTILITY EASEMENTS DEPICTED ON THE ATTACHED PLAT, OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF GAS FACILITIES INSTALLED BY THE SUPPLIER OF GAS SERVICE.

2. THE OWNER OF EACH LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND GAS FACILITIES LOCATED ON HIS LOT, THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH THE UNDERGROUND GAS FACILITIES SHALL BE PROHIBITED. THE SUPPLIER OF SERVICE SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF THE UNDERGROUND FACILITIES, BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OF THE LOT OR HIS AGENT OR CONTRACTORS.

3. THE FOREGOING COVENANTS CONCERNING UNDERGROUND GAS FACILITIES SHALL BE ENFORCEABLE BY THE SUPPLIER OF GAS SERVICE, AND THE OWNER OF THE LOT AGREES TO BE BOUND HEREBY.

E. OVERLAND DRAINAGE EASEMENT

1. THE OWNER/DEVELOPER DOES HEREBY GRANT AND ESTABLISH A PERPETUAL EASEMENT ON, OVER AND ACROSS RESERVE AREA 'A' AND 'D' (HEREINAFTER REFERRED TO AS THE "OVERLAND DRAINAGE EASEMENT AREAS") FOR THE PURPOSES OF PERMITTING THE FLOW, CONVEYANCE, DETENTION AND DISCHARGE OF STORM WATER RUNOFF FROM THE VARIOUS LOTS WITHIN THE SUBDIVISION.

2. DETENTION AND OTHER DRAINAGE FACILITIES CONSTRUCTED WITHIN THE OVERLAND DRAINAGE EASEMENT AREAS SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS APPROVED BY THE CITY OF BIXBY, OKLAHOMA.

3. DRAINAGE FACILITIES (INCLUDING BUT NOT LIMITED TO DRAINAGE CHANNELS, CONCRETE FLUMES, CULVERTS, HEADWALLS, SOD, ETC.) SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION (TO BE FORMED PURSUANT TO SECTION IV) TO THE EXTENT NECESSARY TO ACHIEVE THE INTENDED OVERLAND DRAINAGE FUNCTIONS, INCLUDING REPAIR OF APPURTENANCES, REMOVAL OF OBSTRUCTIONS AND SILTATION. THE HOMEOWNERS' ASSOCIATION SHALL PROVIDE ROUTINE AND CUSTOMARY GROUNDS MAINTENANCE WITHIN THE OVERLAND DRAINAGE EASEMENT AREAS WHICH SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS:

- a. THE OVERLAND DRAINAGE EASEMENT AREAS SHALL BE KEPT FREE OF LITTER.
- b. THE OVERLAND DRAINAGE EASEMENT AREAS SHALL BE MOWED DURING THE GROWING SEASON AT INTERVALS NOT EXCEEDING 4 WEEKS.

4. IN THE EVENT THE ASSOCIATION SHOULD FAIL TO PROPERLY MAINTAIN THE OVERLAND DRAINAGE EASEMENT AREAS AS ABOVE PROVIDED, THE CITY OF BIXBY, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR MAY ENTER THE OVERLAND DRAINAGE EASEMENT AREAS AND PERFORM SUCH MAINTENANCE, AND THE COST THEREOF SHALL BE PAID BY THE ASSOCIATION.

5. IN THE EVENT THE ASSOCIATION, AFTER COMPLETION OF THE MAINTENANCE AND RECEIPT OF A STATEMENT OF COSTS, FAILS TO PAY THE COST OF MAINTENANCE AS ABOVE SET FORTH, THE CITY OF BIXBY, OKLAHOMA MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS AND THEREAFTER THE COSTS SHALL BE A LIEN AGAINST EACH RESIDENTIAL LOT WITHIN THE SUBDIVISION, PROVIDED HOWEVER, THE LIEN AGAINST EACH RESIDENTIAL LOT SHALL BE LIMITED TO ITS PRO RATA SHARE OF THE COSTS.

6. A LIEN ESTABLISHED AS ABOVE PROVIDED MAY BE FORECLOSED BY THE CITY OF BIXBY, OKLAHOMA.

F. STORM WATER DETENTION

1. THE OWNER/DEVELOPER DOES HEREBY GRANT TO THE CITY OF BIXBY, OKLAHOMA OR ITS SUCCESSORS, A PERPETUAL STORM WATER DETENTION EASEMENT ON, OVER AND ACROSS RESERVE AREA 'C' FOR THE PURPOSES OF PERMITTING THE FLOW, CONVEYANCE, DETENTION AND DISCHARGE OF STORM WATER RUNOFF FROM THE VARIOUS LOTS, RESERVE AREAS AND STREETS WITHIN THE SUBDIVISION, AND FROM AREAS OF HIGHER ELEVATION OUTSIDE THE SUBDIVISION.

2. STORM WATER DETENTION AND OTHER DRAINAGE FACILITIES CONSTRUCTED WITHIN THE STORM WATER DETENTION EASEMENT AREA SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS APPROVED BY THE CITY OF BIXBY, OKLAHOMA.

3. STORM WATER DETENTION AND OTHER DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE ASSOCIATION (TO BE FORMED PURSUANT TO SECTION IV) TO THE EXTENT NECESSARY TO ACHIEVE THE INTENDED DRAINAGE AND STORM WATER DETENTION FUNCTIONS INCLUDING REPAIR OF APPURTENANCES, REMOVAL OF OBSTRUCTIONS AND SILTATION. THE ASSOCIATION SHALL PROVIDE ROUTINE AND CUSTOMARY GROUNDS MAINTENANCE WITHIN THE STORM WATER DETENTION EASEMENT AREA WHICH SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS:

- a. THE STORM WATER DETENTION EASEMENT AREAS SHALL BE KEPT FREE OF LITTER.
- b. THE STORM WATER DETENTION EASEMENT AREAS SHALL BE MOWED DURING THE GROWING SEASON AT INTERVALS NOT EXCEEDING 4 WEEKS.

4. IN THE EVENT THE ASSOCIATION SHOULD FAIL TO PROPERLY MAINTAIN THE STORM WATER DETENTION EASEMENT AREA AS ABOVE PROVIDED, THE CITY OF BIXBY, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR MAY ENTER THE STORM WATER DETENTION EASEMENT AREAS AND PERFORM SUCH MAINTENANCE, AND THE COST THEREOF SHALL BE PAID BY THE ASSOCIATION.

5. IN THE EVENT THE ASSOCIATION, AFTER COMPLETION OF THE MAINTENANCE AND RECEIPT OF A STATEMENT OF COSTS, FAILS TO PAY THE COST OF MAINTENANCE AS ABOVE SET FORTH, THE CITY OF BIXBY, OKLAHOMA MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS AND THEREAFTER THE COSTS SHALL BE A LIEN AGAINST EACH RESIDENTIAL LOT WITHIN THE SUBDIVISION, PROVIDED HOWEVER, THE LIEN AGAINST EACH RESIDENTIAL LOT SHALL BE LIMITED TO ITS PRO RATA SHARE OF THE COSTS.

6. A LIEN ESTABLISHED AS ABOVE PROVIDED MAY BE FORECLOSED BY THE CITY OF BIXBY, OKLAHOMA.

G. PAVING AND LANDSCAPING WITHIN EASEMENTS

THE OWNER OF ANY LOT DEPICTED ON THE ACCOMPANYING PLAT SHALL BE RESPONSIBLE FOR THE REPAIR OF DAMAGE TO LANDSCAPING AND PAVING OCCASIONED BY INSTALLATION OR NECESSARY MAINTENANCE OF UNDERGROUND WATER, SANITARY SEWER, STORM SEWER, NATURAL GAS, COMMUNICATION, CABLE TELEVISION OR ELECTRIC FACILITIES WITHIN THE EASEMENT AREAS DEPICTED UPON THE ACCOMPANYING PLAT, PROVIDED THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, OR THE SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

H. FENCE AND LANDSCAPE EASEMENTS

THE OWNER/DEVELOPER DOES HEREBY DEDICATE A PERPETUAL EASEMENTS ON, OVER, AND ACROSS THOSE AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "FUE" FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, REPAIRING, REMOVING AND REPLACING ALL FENCES AND ANY OTHER APPURTENANCES THERETO WITH THE RIGHT OF INGRESS AND EGRESS TO SAID EASEMENTS AND RIGHTS-OF-WAY FOR THE USES AND PURPOSES AFORESAID.

FENCING ALONG ARTERIAL STREETS NOT DESIGNED AT THIS TIME - TO BE UPDATED BEFORE FINAL PLAT

I. LIMITS OF NO ACCESS

THE UNDERSIGNED OWNER/DEVELOPER HEREBY RELINQUISHES RIGHTS OF VEHICULAR INGRESS OR EGRESS WITHIN THE BOUNDS DESIGNATED AS "LIMITS OF NO ACCESS" (L.N.A.) ON THE ACCOMPANYING PLAT, WHICH "LIMITS OF NO ACCESS" MAY BE AMENDED OR RELEASED BY THE CITY OF BIXBY, STATE OF OKLAHOMA AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, STATE OF OKLAHOMA.

J. ACCESS EASEMENT

THE OWNER/DEVELOPER DOES HEREBY DEDICATE A PERPETUAL EASEMENTS ON, OVER, AND ACROSS THOSE AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "ACCESS EASEMENT" FOR THE PURPOSES OF EMERGENCY VEHICULAR INGRESS OR EGRESS AND PEDESTRIAN ACCESS ACROSS THE PRIMARY DRAINAGE CHANNEL LOCATED IN RESERVE 'A'.

K. RESERVE 'A'

RESERVE 'A' IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING AN OVERLAND DRAINAGE EASEMENT, UTILITY EASEMENT, DRAINAGE CHANNEL (INCLUDING APPURTENANCES), SHARED NEIGHBORHOOD JOGGING TRAIL, LANDSCAPING, PERIMETER SCREENING FENCE, OPEN SPACE AND RECREATION, AND IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE GREYHAWK (MASTER) PROPERTY OWNERS' ASSOCIATION, FOR THEIR USE AND MAINTENANCE, AS SET FORTH WITHIN SECTION IV HEREOF.

L. RESERVE 'B'

RESERVE 'B' IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A MUTUAL ACCESS EASEMENT, UTILITY EASEMENT, OPEN SPACE, RECREATION, LANDSCAPING, SCREENING FENCES AND WALLS, ENTRY FEATURES INCLUDING GATES AND KEYPAD ENTRY, AND SUBDIVISION IDENTIFICATION SIGNS FOR THE USE, BENEFIT AND ENJOYMENT OF THE LOT OWNERS WITHIN GREYHAWK DEVELOPMENT AREA 'A'.

THE MUTUAL ACCESS EASEMENT, DEPICTED ON THE ACCOMPANYING PLAT, IS HEREBY ESTABLISHED FOR THE PURPOSES OF PERMITTING VEHICULAR AND PEDESTRIAN ACCESS TO AND FROM ALL STREETS AND AREAS ADJACENT TO AND CONTAINED WITHIN THE SUBDIVISION, SUCH EASEMENTS SHALL BE FOR THE MUTUAL USE AND BENEFIT OF EACH AFFECTED LOT OWNER, THEIR GUESTS, AND INVITEES, AND SHALL BE APPURTENANT TO EACH AFFECTED LOT OWNER, PROVIDED GOVERNMENTAL AGENCIES AND THE SUPPLIERS OF UTILITY SERVICES SHALL HAVE THE REASONABLE USE OF SUCH EASEMENTS INCIDENTAL TO THE PROVISION OF SERVICES TO THE LOTS WITHIN THE SUBDIVISION.

THESE AREAS ARE ALSO RESERVED FOR CONVEYANCE TO THE GREYHAWK (DEVELOPMENT AREA 'A') PROPERTY OWNERS' ASSOCIATION FOR THE PURPOSE OF THE ADMINISTRATION AND MAINTENANCE THEREOF.

THE HEREIN DESCRIBED STREETS SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER/DEVELOPER UNTIL SUCH TIME AS THE RESERVES THEREIN LAY THE STREET AND OTHER IMPROVEMENTS ARE CONVEYED TO THE DULY ESTABLISHED GREYHAWK (DEVELOPMENT AREA 'A') PROPERTY OWNERS' ASSOCIATION. THEREAFTER, THE STREETS SHALL BE MAINTAINED BY THE GREYHAWK (DEVELOPMENT AREA 'A') PROPERTY OWNERS' ASSOCIATION.

M. RESERVE 'C'

RESERVE 'C' IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A STORM WATER DETENTION EASEMENT, UTILITY EASEMENT, PAVILION WITH ASSOCIATED PARKING AREA, SIDEWALKS, FOUNTAINS, LANDSCAPING, OPEN SPACE AND RECREATION, AND IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE GREYHAWK (DEVELOPMENT AREA 'A') PROPERTY OWNERS' ASSOCIATION, FOR THEIR USE AND MAINTENANCE, AS SET FORTH WITHIN SECTION IV HEREOF.

N. RESERVE 'D'

RESERVE 'D' IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A DRAINAGE CHANNEL, VEGETATIVE BUFFER, OPEN SPACE AND RECREATION, AND IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE GREYHAWK (DEVELOPMENT AREA 'A') PROPERTY OWNERS' ASSOCIATION, FOR THEIR USE AND MAINTENANCE, AS SET FORTH WITHIN SECTION IV HEREOF.

O. RESERVE 'E'

RESERVE 'E' IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A UTILITY EASEMENT, EMERGENCY ACCESS ROAD, LANDSCAPING AND OPEN SPACE, AND IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE GREYHAWK (MASTER) PROPERTY OWNERS' ASSOCIATION, FOR THEIR USE AND MAINTENANCE, AS SET FORTH WITHIN SECTION IV HEREOF.

P. RESERVE 'F'

RESERVE 'F' IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A CLUBHOUSE AND ASSOCIATED PARKING AREA, SWIMMING POOL, LANDSCAPING, OPEN SPACE AND RECREATION, AND IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE GREYHAWK (DEVELOPMENT AREA 'B') PROPERTY OWNERS' ASSOCIATION, FOR THEIR USE AND MAINTENANCE, AS SET FORTH WITHIN SECTION IV HEREOF.

Q. RESERVE 'G'

RESERVE 'G' IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A UTILITY EASEMENT, SIDEWALKS, LANDSCAPING AND OPEN SPACE, AND IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE GREYHAWK (DEVELOPMENT AREA 'B') PROPERTY OWNERS' ASSOCIATION, FOR THEIR USE AND MAINTENANCE, AS SET FORTH WITHIN SECTION IV HEREOF.

R. RESERVE 'H' & 'I' & 'J'

RESERVE 'H' AND 'I' AND 'J' ARE HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A UTILITY EASEMENT, ENTRY FEATURES, SUBDIVISION IDENTIFICATION SIGNS, LANDSCAPING AND OPEN SPACE, AND ARE RESERVED FOR SUBSEQUENT CONVEYANCE TO THE GREYHAWK (DEVELOPMENT AREA 'B') PROPERTY OWNERS' ASSOCIATION, FOR THEIR USE AND MAINTENANCE, AS SET FORTH WITHIN SECTION IV HEREOF.

S. RESERVE 'K'

RESERVE 'K' IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A MUTUAL ACCESS EASEMENT, UTILITY EASEMENT, OPEN SPACE, RECREATION, LANDSCAPING, SCREENING FENCES AND WALLS, ENTRY FEATURES INCLUDING GATES AND KEYPAD ENTRY, AND SUBDIVISION IDENTIFICATION SIGNS FOR THE USE, BENEFIT AND ENJOYMENT OF THE LOT OWNERS WITHIN GREYHAWK DEVELOPMENT AREA 'C'.

THE MUTUAL ACCESS EASEMENT, DEPICTED ON THE ACCOMPANYING PLAT, IS HEREBY ESTABLISHED FOR THE PURPOSES OF PERMITTING VEHICULAR AND PEDESTRIAN ACCESS TO AND FROM ALL STREETS AND AREAS ADJACENT TO AND CONTAINED WITHIN THE SUBDIVISION, SUCH EASEMENTS SHALL BE FOR THE MUTUAL USE AND BENEFIT OF EACH AFFECTED LOT OWNER, THEIR GUESTS, AND INVITEES, AND SHALL BE APPURTENANT TO EACH AFFECTED LOT OWNER, PROVIDED GOVERNMENTAL AGENCIES AND THE SUPPLIERS OF UTILITY SERVICES SHALL HAVE THE REASONABLE USE OF SUCH EASEMENTS INCIDENTAL TO THE PROVISION OF SERVICES TO THE LOTS WITHIN THE SUBDIVISION.

THESE AREAS ARE ALSO RESERVED FOR CONVEYANCE TO THE GREYHAWK (DEVELOPMENT AREA 'C') PROPERTY OWNERS' ASSOCIATION FOR THE PURPOSE OF THE ADMINISTRATION AND MAINTENANCE THEREOF.

THE HEREIN DESCRIBED STREETS SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER/DEVELOPER UNTIL SUCH TIME AS THE RESERVES THEREIN LAY THE STREET AND OTHER IMPROVEMENTS ARE CONVEYED TO THE DULY ESTABLISHED GREYHAWK (DEVELOPMENT AREA 'C') PROPERTY OWNERS' ASSOCIATION. THEREAFTER, THE STREETS SHALL BE MAINTAINED BY THE GREYHAWK (DEVELOPMENT AREA 'C') PROPERTY OWNERS' ASSOCIATION.

T. RESERVE 'L'

RESERVE 'L' IS HEREBY DEDICATED FOR THE PURPOSE OF ESTABLISHING AND MAINTAINING A CLUBHOUSE, LANDSCAPING, OPEN SPACE AND RECREATION, AND IS RESERVED FOR SUBSEQUENT CONVEYANCE TO THE GREYHAWK (DEVELOPMENT AREA 'C') PROPERTY OWNERS' ASSOCIATION, FOR THEIR USE AND MAINTENANCE, AS SET FORTH WITHIN SECTION IV HEREOF.

SECTION II. PLANNED UNIT DEVELOPMENT RESTRICTIONS

WHEREAS, "GREYHAWK" WAS SUBMITTED AS PART OF A PLANNED UNIT DEVELOPMENT (BXPUD-24.01), AS PROVIDED WITHIN THE PROVISIONS OF THE CITY OF BIXBY ZONING CODE PERTAINING TO PLANNED UNIT DEVELOPMENTS, AND

WHEREAS BXPUD-24.01 WAS AFFIRMATIVELY RECOMMENDED BY THE BIXBY PLANNING COMMISSION ON _____, 2024 AND APPROVED BY BIXBY CITY COUNCIL ON _____, 2024, AND

WHEREAS, THE PLANNED UNIT DEVELOPMENT PROVISIONS OF THE BIXBY ZONING CODE REQUIRE THE ESTABLISHMENT OF COVENANTS OF RECORD, INURING TO AND ENFORCEABLE BY THE CITY OF BIXBY, STATE OF OKLAHOMA, SUFFICIENT TO ASSURE THE IMPLEMENTATION AND CONTINUED COMPLIANCE WITH THE APPROVED PLANNED UNIT DEVELOPMENT AND AMENDMENTS THERETO, AND

WHEREAS, THE OWNER/DEVELOPER ESTABLISHED RESTRICTIONS FOR THE PURPOSE OF PROVIDING FOR AN ORDERLY DEVELOPMENT AND TO INSURE ADEQUATE RESTRICTIONS FOR THE MUTUAL BENEFIT OF THE OWNER, ITS SUCCESSORS AND ASSIGNS, AND CITY OF BIXBY, STATE OF OKLAHOMA, AND

THEREFORE, THE OWNER/DEVELOPER DOES HEREBY IMPOSE RESTRICTIONS AND COVENANTS TO ALL LOTS CONTAINED WITHIN THIS SUBDIVISION PLAT (GREYHAWK), AND WHICH COVENANTS SHALL BE COVENANTS RUNNING WITH THE LAND AND SHALL BE BINDING UPON THE OWNER/DEVELOPER, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE ENFORCEABLE AS HEREINAFTER SET FORTH.

GROSS LAND AREA: 104.54 ACRES

PERMITTED USES: ALL USES ALLOWED BY RIGHT IN THE RS-2 ZONING DISTRICT SPECIFICALLY USE UNIT 6 - SINGLE FAMILY DWELLINGS AND CUSTOMARY FACILITIES AND AMENITIES.

SECTION III. ARCHITECTURAL COMMITTEE - PLAN REVIEW

A. NO BUILDING, FENCE, WALL OR LANDSCAPING SHALL BE ERECTED, PLACED OR ALTERED ON ANY RESIDENTIAL LOT IN THIS SUBDIVISION UNTIL THE BUILDING PLANS, LANDSCAPING PLANS, AND SPECIFICATIONS FOR ALL HOUSES TO BE BUILT, AND LANDSCAPING TO BE INSTALLED, ARE ON FILE WITH GREYHAWK ARCHITECTURAL COMMITTEE, INITIALLY TO BE GREYHAWK DEVELOPMENT, LLC MEMBERS OR THEIR DULY AUTHORIZED REPRESENTATIVE, REPRESENTATIVES OR SUCCESSORS. IN THE EVENT OF THE DEATH OR RESIGNATION OF ANY MEMBER OF GREYHAWK ARCHITECTURAL COMMITTEE, THE REMAINING MEMBER OR MEMBERS SHALL HAVE FULL AUTHORITY TO APPROVE OR DISAPPROVE SUCH PLANS, SPECIFICATIONS, COLOR SCHEME, MATERIALS AND PLOT PLAN, OR TO DESIGNATE A REPRESENTATIVE OR REPRESENTATIVES WITH THE LIKE AUTHORITY, AND SAID REMAINING MEMBER OR MEMBERS SHALL HAVE AUTHORITY TO FILL ANY VACANCY OR VACANCIES CREATED BY THE DEATH OR RESIGNATION OF ANY OF THE AFORESAID MEMBERS, AND SAID NEWLY APPOINTED MEMBER SHALL HAVE THE SAME AUTHORITY HEREUNDER AS THEIR PREDECESSORS, AS ABOVE SET FORTH. ANY CHANGES TO PLANS ON FILE WITH THE ARCHITECTURAL COMMITTEE OR ANY ADDITIONAL NEW PLANS WILL NEED WRITTEN APPROVAL BEFORE CONSTRUCTION MAY BEGIN.

B. THE ARCHITECTURAL COMMITTEE'S PURPOSE IS TO PROMOTE GOOD DESIGN AND COMPATIBILITY WITHIN THE SUBDIVISION AND IN ITS REVIEW OF BUILDING OR LANDSCAPING PLANS FOR DETERMINATION OF ANY WAIVER AS HEREINAFTER AUTHORIZED MAY TAKE INTO CONSIDERATION THE NATURE AND CHARACTER OF THE PROPOSED BUILDING OR STRUCTURE, THE MATERIALS OF WHICH IT IS TO BE BUILT, THE AVAILABILITY OF ALTERNATIVE MATERIALS, THE SITE UPON WHICH IT IS PROPOSED TO BE ERECTED AND THE HARMONY THEREOF WITH THE SURROUNDING AREA. THE ARCHITECTURAL COMMITTEE SHALL NOT BE LIABLE FOR ANY APPROVAL, DISAPPROVAL OR FAILURE TO APPROVE HEREUNDER, AND ITS APPROVAL OF BUILDING PLANS SHALL NOT CONSTITUTE A WARRANTY OR RESPONSIBILITY FOR BUILDING METHODS, MATERIALS, PROCEDURES, STRUCTURAL DESIGN, GRADING OR DRAINAGE, OR CODE VIOLATIONS. THE APPROVAL, DISAPPROVAL OR FAILURE TO APPROVE OF ANY BUILDING PLANS SHALL NOT BE DEEMED A WAIVER OF ANY RESTRICTION, UNLESS THE ARCHITECTURAL COMMITTEE IS HEREINAFTER AUTHORIZED TO GRANT THE PARTICULAR WAIVER.

C. THE POWERS AND DUTIES OF THE ARCHITECTURAL COMMITTEE OR ITS DESIGNATED REPRESENTATIVE SHALL CEASE WHEN ONE HUNDRED PERCENT (100%) OF THE HOUSES ON THE RESIDENTIAL LOTS HAVE BEEN BUILT. THEREAFTER, THE POWERS AND DUTIES OF THE ARCHITECTURAL COMMITTEE SHALL BE EXERCISED BY THE PROPERTY OWNERS' ASSOCIATION HEREAFTER PROVIDED FOR.

SECTION IV. PROPERTY OWNERS' ASSOCIATION

A. FORMATION OF PROPERTY OWNERS' ASSOCIATION: A PROPERTY OWNERS' ASSOCIATION, KNOWN AS 'GREYHAWK ASSOCIATION', AN OKLAHOMA NOT-FOR-PROFIT CORPORATION, HAS BEEN OR SHALL BE ESTABLISHED PURSUANT TO 60 O.S. 1991, § 851, ET SEQ., TO MAINTAIN THE RESERVE AREAS IN THE SUBDIVISION AND FOR SUCH OTHER PURPOSES AS SHALL BE DEEMED ADVISABLE. ALL LAWFUL ACTS, IF ANY, OF GREYHAWK ASSOCIATION (THE 'ASSOCIATION'), MADE UNDER AND PURSUANT TO ITS CERTIFICATE OF INCORPORATION AND BY-LAWS SHALL BE BINDING UPON THE LOTS CONTAINED IN THE ADDITION AND THE OWNERS THEREOF. MEMBERSHIP IN THE ASSOCIATION SHALL CONSIST OF ALL OWNERS OF LOTS IN THE ADDITION AND ALL OWNERS OF SUCH ADDITIONAL PROPERTY DESIGNATED BY THE DEVELOPER.

B. MEMBERSHIP

EVERY PERSON OR ENTITY WHO IS A RECORD OWNER OF THE FEE INTEREST OF A LOT SHALL BE A MEMBER OF THE PROPERTY OWNERS' ASSOCIATION. MEMBERSHIP SHALL BE APPURTENANT TO AND MAY NOT BE SEPARATED FROM THE OWNERSHIP OF A LOT.

C. ASSESSMENT

EACH RECORD OWNER OF A LOT SHALL BE SUBJECT TO ASSESSMENT BY THE PROPERTY OWNERS' ASSOCIATION FOR THE PURPOSES OF IMPROVEMENT AND MAINTENANCE OF THE STORM WATER DETENTION FACILITIES, RESERVE AREAS AND OTHER COMMON AREAS, ALL AS MORE PARTICULARLY PROVIDED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF GREYHAWK AND THE BYLAWS OF THE ASSOCIATION.

SECTION V. ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

A. ENFORCEMENT

THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE BINDING UPON THE OWNERS, THEIR SUCCESSORS AND ASSIGNS. WITHIN THE PROVISIONS OF SECTION I. STREETS, EASEMENTS AND UTILITIES, AND SECTION II. PLANNED UNIT DEVELOPMENT RESTRICTIONS, ARE SET FORTH CERTAIN COVENANTS AND THE ENFORCEMENT RIGHTS PERTAINING THERETO, AND ADDITIONALLY THE COVENANTS WITHIN SECTIONS I AND II, WHETHER OR NOT SPECIFICALLY THEREIN SO STATED, SHALL INURE TO THE BENEFIT OF THE OWNERS OF THE LOTS WITHIN GREYHAWK AND THE CITY OF BIXBY, STATE OF OKLAHOMA AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, STATE OF OKLAHOMA. IF THE UNDERSIGNED OWNER/DEVELOPER, OR ITS SUCCESSORS OR ASSIGNS OR OWNERS OF ANY LOTS WITHIN GREYHAWK SHALL VIOLATE ANY OF THE COVENANTS HEREIN, IT SHALL BE LAWFUL FOR THE CITY OF BIXBY, STATE OF OKLAHOMA, ANY OWNER OF A LOT OR A PROPERTY OWNERS' ASSOCIATION FORMED FOR THIS SUBDIVISION TO MAINTAIN ANY ACTION AT LAW OR IN EQUITY AGAINST THE PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY SUCH COVENANT, TO PREVENT HIM OR THEM FROM SO DOING OR TO COMPEL COMPLIANCE WITH THE COVENANT IN ANY JUDICIAL ACTION BROUGHT BY A PROPERTY OWNERS' ASSOCIATION OR AN OWNER OF A LOT WHICH ACTION SEEKS TO ENFORCE THE COVENANTS OR RESTRICTIONS SET FORTH HEREIN OR TO RECOVER DAMAGES FOR THE BREACH THEREOF, THE PREVAILING PARTY SHALL BE ENTITLED TO RECOVER REASONABLE ATTORNEYS FEES AND COSTS AND EXPENSES INCURRED IN SUCH ACTION.

B. DURATION

THESE RESTRICTIONS, TO THE EXTENT PERMITTED BY APPLICABLE LAW, SHALL BE PERPETUAL AND SHALL BE IN FORCE AND EFFECT FOR A TERM OF NOT LESS THAN THIRTY (30) YEARS FROM THE DATE OF THE RECORDING OF THIS DEED OF DEDICATION UNLESS TERMINATED OR AMENDED HEREINAFTER PROVIDED.

C. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I. STREETS, EASEMENTS AND UTILITIES MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND

APPROVED BY THE CITY OF BIXBY, STATE OF OKLAHOMA, OR ITS SUCCESSORS. THE COVENANTS WITHIN SECTION II. PLANNED UNIT DEVELOPMENT RESTRICTIONS, MAY BE AMENDED AT ANY TIME WITH 75 PERCENT AGREEMENT OF ALL LOT OWNERS AND APPROVAL BY THE CITY OF BIXBY, STATE OF OKLAHOMA. THE COVENANTS WITHIN SECTION IV. PROPERTY OWNERS' ASSOCIATION, MAY BE AMENDED OR TERMINATED AT ANY TIME WITH 75 PERCENT AGREEMENT OF ALL LOT OWNERS. THE PROVISIONS OF ANY INSTRUMENT AMENDING OR TERMINATING COVENANTS SHALL BE EFFECTIVE FROM AND AFTER THE DATE IT IS PROPERLY RECORDED.

D. SEVERABILITY

INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OR ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

IN WITNESS WHEREOF, GREYHAWK, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, HAS EXECUTED THIS INSTRUMENT THIS ____ DAY OF _____, 2024.

GREYHAWK, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY

BY _____
CLINT BRUMBLE, MANAGAING MEMBER

STATE OF OKLAHOMA)
) SS.
COUNTY OF TULSA)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR THE SAID COUNTY AND STATE, ON THIS ____ DAY OF _____, 2024, PERSONALLY APPEARED TO ME CLINT BRUMBLE, MANAGING MEMBER OF GREYHAWK DEVELOPMENT, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS NAME TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED ON BEHALF OF GREYHAWK DEVELOPMENT, LLC FOR THE USES AND PURPOSES THEREIN SET FORTH.

S. ASHLEY MCCARTY
MY COMMISSION EXPIRES: 8/13/2026
MY COMMISSION NUMBER: 18008059



CERTIFICATE OF SURVEY

I, ANDY FRITZ, OF FRITZ LAND SURVEYING, LLC, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA UNDER CERTIFICATE OF AUTHORIZATION #5848, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT DESIGNATED HEREIN AS "GREYHAWK", A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, IS A TRUE REPRESENTATION OF THE SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES, AND MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

ANDY FRITZ
LICENSED PROFESSIONAL LAND SURVEYOR
OKLAHOMA NO. 1694



STATE OF OKLAHOMA)
) SS.
COUNTY OF TULSA)

BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS ____ DAY OF _____, 2024, PERSONALLY APPEARED ANDY FRITZ, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS NAME AS A LICENSED LAND SURVEYOR TO THE FOREGOING CERTIFICATE OF SURVEY AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.

JENNIFER FRITZ
MY COMMISSION EXPIRES: 6/23/2026
MY COMMISSION NUMBER: 14005589



BXPUD-24.01

Greyhawk

A SUBDIVISION IN THE WEST HALF (W/2) OF SECTION SIX (6),
TOWNSHIP SEVENTEEN (17), RANGE FOURTEEN (14), CITY OF
BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE
U.S. GOVERNMENT SURVEY THEREOF.

Owner / Developer

GREYHAWK DEVELOPMENT, LLC
5014 E 101ST STREET, SUITE 102
TULSA, OK 74137
PHONE: (918) 409-8723
MR. CLINT BRUMBLE

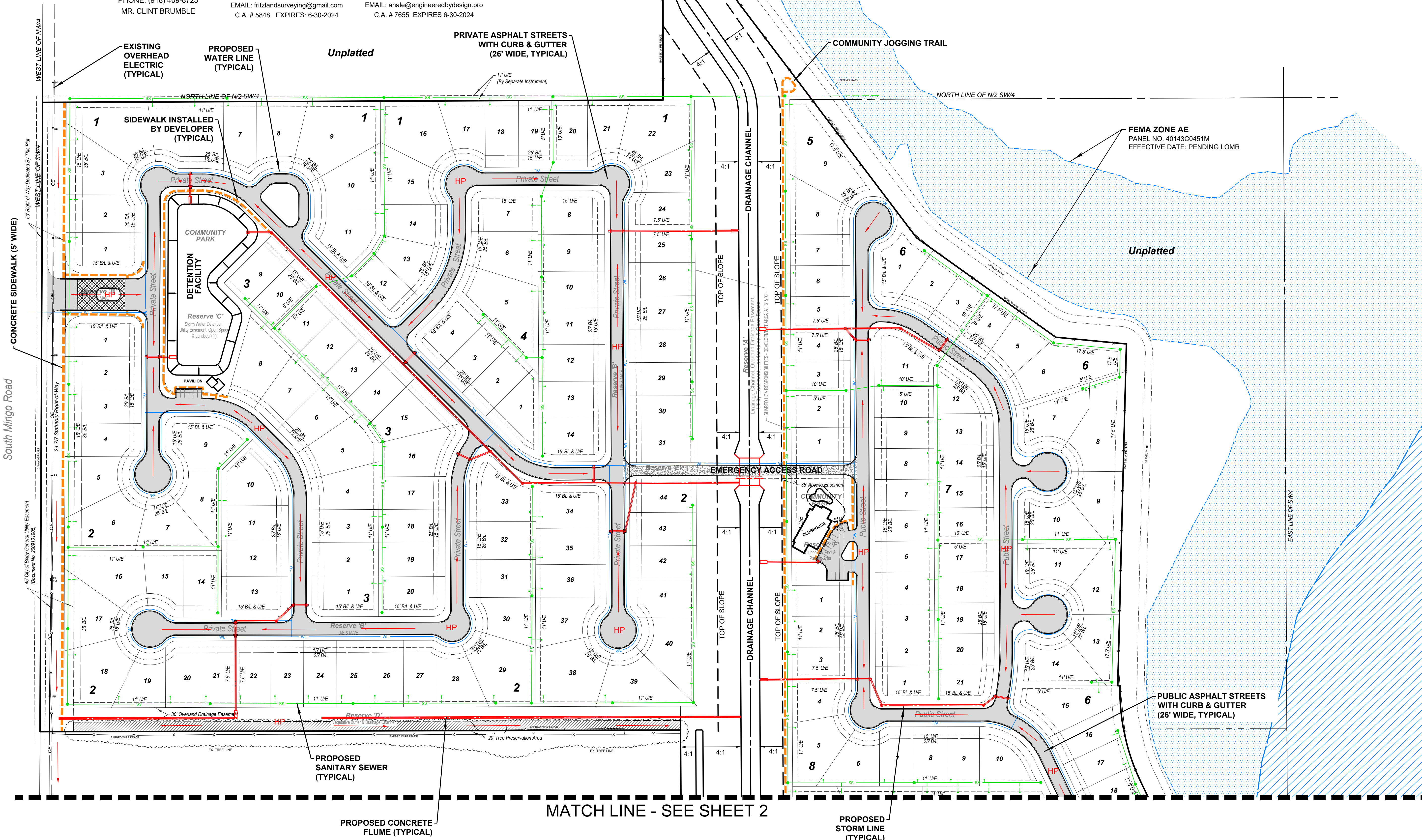
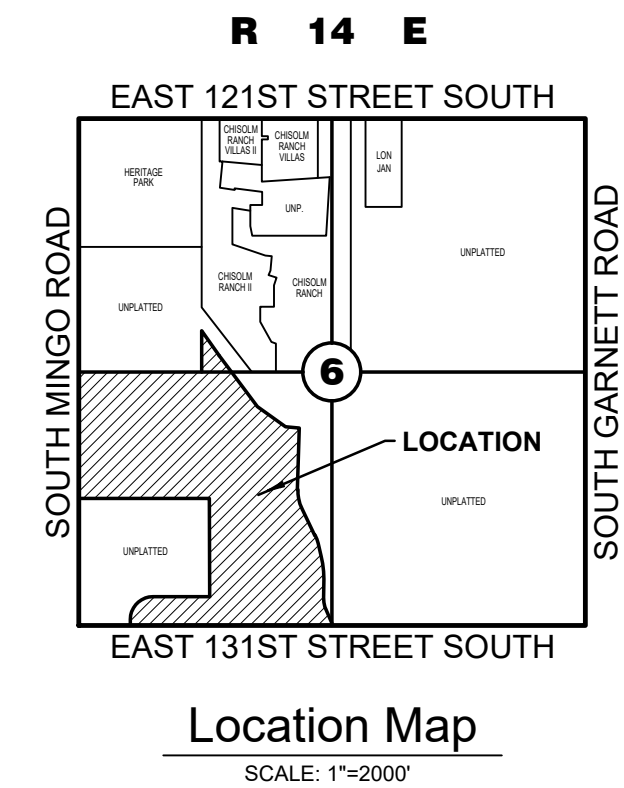
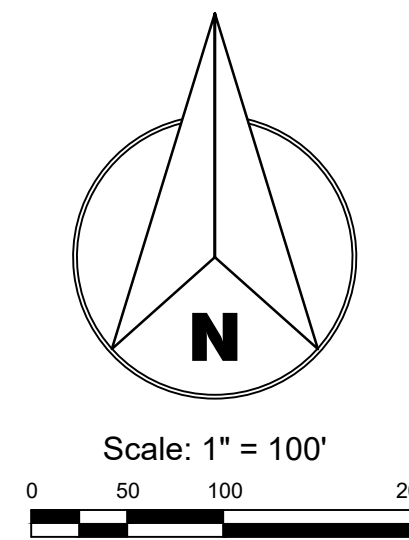
Surveyor

FRITZ LAND SURVEYING, LLC
524 EAST MAIN STREET
JENKS, OKLAHOMA 74037
PHONE: (918) 528-5121
EMAIL: fritzlandsurveying@gmail.com
C.A. # 5848 EXPIRES: 6-30-2024

Engineer

ENGINEERED BY DESIGN, PLLC
P.O. BOX 15567
DEL CITY, OKLAHOMA 73155
PHONE: (405) 234-0980
EMAIL: ahsale@engineeredbydesign.pro
C.A. # 7655 EXPIRES 6-30-2024

CONCEPTUAL IMPROVEMENTS PLAN



Greyhawk

GREYHAWK DEVELOPMENT, LLC
5014 E 101ST STREET, SUITE 102
TULSA, OK 74137
PHONE: (918) 409-8723
MR. CLINT BRUMBLE

FRITZ LAND SURVEYING, LLC
524 EAST MAIN STREET
JENKS, OKLAHOMA 74037
PHONE: (918) 528-5121
EMAIL: fritzlandsurveying@gmail.com
C.A. # 5848 EXPIRES: 6-30-2024

ENGINEERED BY DESIGN, PLLC
P.O. BOX 15567
DEL CITY, OKLAHOMA 73155
PHONE: (405) 234-0980
EMAIL: ahale@engineeredbydesign.pro
C.A. # 7655 EXPIRES 6-30-2024

