

Bixby Technical Advisory Committee Meeting Agenda - Amended

**Location Changed To:
Zoom- Online Meeting**

<https://us06web.zoom.us/j/86483314112?pwd=NitUSjVPOVh6aTlhZHFXdDRLRjVSUT09>

Meeting ID: 864 8331 4112

Passcode: 511840

One tap mobile

+17193594580, 86483314112# US

Wednesday, October 4, 2023 | 10:00 A.M.

Technical Advisory Committee Members

David Segala - A.E.P.-P.S.O.
Steve Williams - A.E.P.-P.S.O.
Aaron Smith - A.E.P.-P.S.O.
Brett Ashlock - A.T.&T.
Kevin Bender - A.T.&T.
Kevin Wingard - SDT
Richard Gann - B.T.C. Broadband
Tony Gonzalez - B.T.C. Broadband
Susan Bevard - B.T.C. Broadband
Chad Jones - B.T.C. Broadband
Rob Miller - Bixby Public Schools
Lydia Wilson - Bixby Public Schools
Bea Aamodt - Bixby Public Works Director
Jon Brown - Bixby Assistant Public Works Director
Justin Dowd - Bixby City Engineer
Joey Wiedel - Bixby Development Services Director
Gwen Plante - Bixby Assistant City Planner
Heath Wright - Bixby Utilities & Water
Mike Butler - Bixby Fire Chief

Nicholas Flanary - Bixby Fire Marshal
Richard Hakel - Cox
Loyda Mercado - Cox
Jeannette Davis - Cox
Kristin Short - Cox
Christopher Long - Cox R.O.W. Agent
Marty Lademan - Creek County R.W.D. #2
Cynthia Hubbell - Creek County R.W.D. #2
Katherine Russell - East Central Electric
Ron Wolfe - East Central Electric
Steve Whitehouse - O.G. & E.
Dwayne Perry - O.G. & E.
Keith Melson - O.G. & E.
Brandon Rainbolt - O.N.G.
Donald Kafer - O.N.G.
Chris Stobaugh - U.S.P.S. Bixby
Aaron Grodi - Windstream
Joel Ostrenga - Windstream

1. B.X.P.T. – 23.14 The Fountains Preliminary Plat

Applicant, Tanner Consulting

Discussion and review of Preliminary Plat, The Fountains, 14.031 Acres, Forty-eight (48) Lots, Seven (7) Blocks, with Two (2) Reserve Areas for the purpose of residential and commercial development, in Section 36, Township 18 North, and Range 13 East

General Location: West of South Mingo Road and North of East 121st Street South

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Persons who require a special accommodation to participate in this meeting should contact Justin Dowd, City Engineer, 116 West Needles Avenue, Bixby, Oklahoma, 918-366-4430, or email [Justin Dowd](mailto:JDowd@BixbyOK.gov) (JDowd@BixbyOK.gov) as far in advance as possible and preferably at least 48-hours before the date of the meeting. Persons using a Telecommunications Device for the Deaf (T.D.D.) may contact **Oklahoma Relay** at 1-800-722-0353 and voice calls should be made to 1-800-522-8506 to communicate via telephone with hearing telephone users and vice versa.

2. B.X.S.P. - 23.10 Marlee Office Building #4 Site Plan

Applicant, W Design

Discussion and review of site plan for Marlee Office Building #4.

General Location: West of South Memorial Drive and North of East 126th Street South

3. B.X.S.P. - 23.11 Courts and Commons Site Plan

Applicant, Raj and Josh Ventures

Discussion and review of site plan for Courts and Commons.

General Location: West of South Memorial Drive and North of East 121st Street South

4. B.X.S.P. - 23.12 Arby's Site Plan

Applicant, Civil and Environmental Consultants

Discussion and review of site plan for Arby's.

General Location: East of South Memorial Drive and North of East 151st Street South

This Notice and Agenda was posted on the bulletin board on or before 10:00 a.m., October 2nd, 2023, at City Hall, 116 West Needles, Bixby, Oklahoma.

Respectfully submitted,
Justin Dowd, City Engineer

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Preliminary Plat

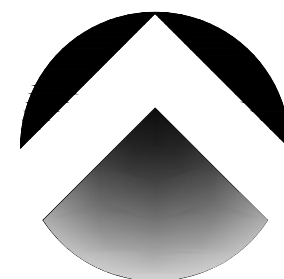
OWNER:
Sooner Development, LLC
6122 S. Memorial Dr.
Tulsa, Oklahoma 74133
Phone: (918) 845-1682

PUD-XXX

The Fountains

PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE/4 SE/4) OF
SECTION THIRTY-SIX (36), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN MERIDIAN
A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

SURVEYOR/ENGINEER:
Tanner Consulting, L.L.C.
DAN E. TANNER, P.L.S. NO. 1435
OK CA NO. 2661, EXPIRES 6/30/2023
EMAIL: DAN@TANNERBAITSHOP.COM
5323 South Lewis Avenue
Tulsa, Oklahoma 74105
Phone: (918) 745-9929

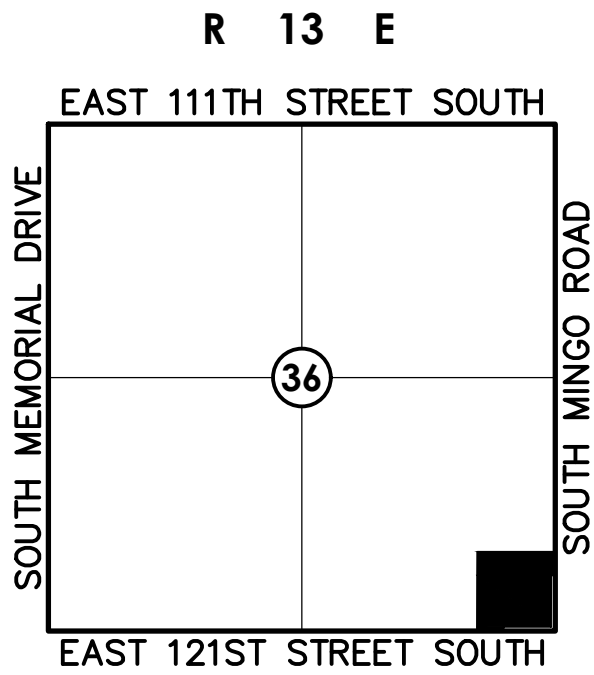


NORTH

0 25 50 75
Scale: 1"= 50'
Tanner Consulting

LEGEND

- B/L BUILDING LINE
B/U BUILDING LINE & UTILITY
EASEMENT
BK PG BOOK & PAGE
CB CHORD BEARING
CD CHORD DISTANCE
CL CENTERLINE
Δ DELTA ANGLE
DOC DOCUMENT
ESMT EASEMENT
GOV'T GOVERNMENT
LNA LIMITS OF NO ACCESS
ODE OVERLAND DRAINAGE EASEMENT
RES. RESERVE
R/W RIGHT-OF-WAY
U/E UTILITY EASEMENT
1234 ADDRESS ASSIGNED
○ FOUND MONUMENT
● SET MONUMENT (SEE NOTE 2)



Location Map
Scale: 1"= 2000'

SUBDIVISION CONTAINS:
FORTY-EIGHT (48) LOTS
IN SEVEN (7) BLOCKS
WITH TWO (2) RESERVES

GROSS SUBDIVISION AREA: 14.031 ACRES

Curve Table

CURVE	LENGTH(L)	RADIUS(R)	DELTA(Δ)	CHORDBRG(CB)	CHORDDIS(CD)
1	39.17'	25.00'	89°46'09"	N43°46'41"E	35.28'
2	39.37'	25.00'	90°13'51"	N46°13'19"W	35.43'
3	39.27'	25.00'	90°00'00"	N43°53'37"E	35.36'
4	39.27'	25.00'	90°00'00"	N46°06'23"W	35.36'

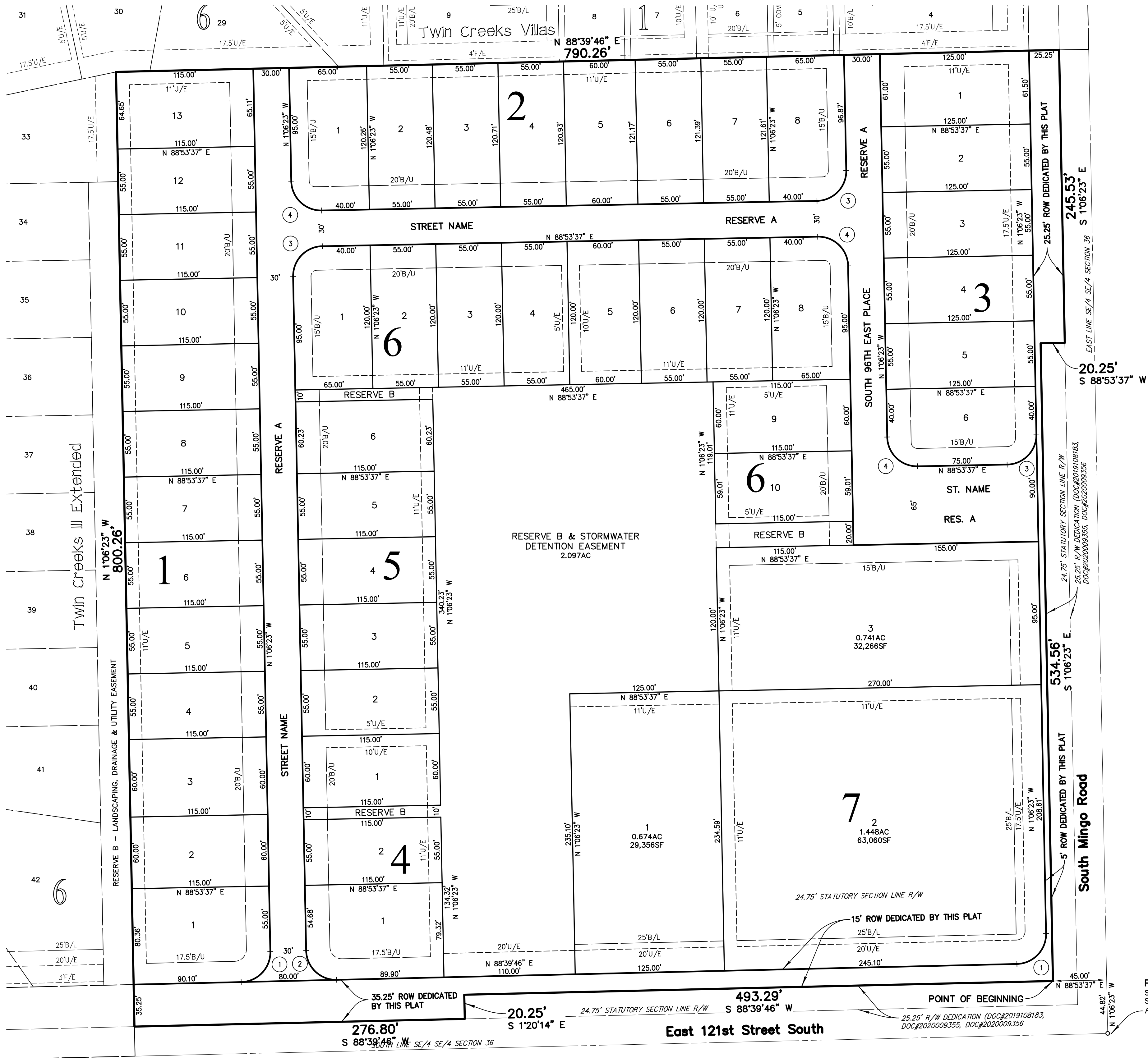
Notes:

- THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- ALL PROPERTY CORNERS ARE SET 3/8" IRON REBAR WITH YELLOW CAP STAMPED "TANNER 1435" UNLESS OTHERWISE NOTED.
- THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83); SAID BEARINGS ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING MONUMENTS:

(a) FOUND IRON PIN WITH ALUMINUM CAP AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER (SE/4) OF SECTION 36;

(b) FOUND 5/8" IRON PIN WITH YELLOW PLASTIC CAP AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER (SE/4) OF SECTION 36;

THE BEARING BETWEEN SAID MONUMENTS BEING NORTH 88°39'46" EAST.
- ADDRESSES SHOWN ON THIS PLAT WERE PROVIDED BY THE CITY OF BIXBY AND WERE ACCURATE AT THE TIME THE PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION.
- ACCESS AT THE TIME OF PLAT WAS PROVIDED BY EAST 121ST STREET SOUTH AND SOUTH MINGO ROAD BY VIRTUE OF RIGHT-OF-WAY DEDICATED BY THIS PLAT.



DATE OF PREPARATION: August 23, 2023

Preliminary Plat

PUD-XXX

The Fountains

PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE/4 SE/4) OF SECTION THIRTY-SIX (36), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN MERIDIAN A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

DEED OF DEDICATION & RESTRICTIVE COVENANTS

SECTION III. - PLANNED UNIT DEVELOPMENT RESTRICTIONS

WHEREAS, THE SUBDIVISION WAS SUBMITTED AS A PART OF A PLANNED UNIT DEVELOPMENT (PUD) NO. BXPUD-XX.XX ("THE FOUNTAINS") AS PROVIDED WITHIN TITLE 11 OF THE BIXBY, OKLAHOMA CITY CODE (BIXBY ZONING CODE), AND

WHEREAS, PUD NO. BXPUD-XX.XX WAS AFFIRMATIVELY RECOMMENDED BY THE CITY OF BIXBY PLANNING COMMISSION ON _____, 2023, AND APPROVED BY THE BIXBY CITY COUNCIL ON _____, 2023, WITH IMPLEMENTING ORDINANCE (ORDINANCE NO. XXXX) APPROVED _____, 2023, AND

WHEREAS, THE PLANNED UNIT DEVELOPMENT (PUD) PROVISIONS OF THE BIXBY ZONING CODE REQUIRE THE ESTABLISHMENT OF COVENANTS OF RECORD INURING TO AND ENFORCEABLE BY THE CITY OF BIXBY, SUFFICIENT TO INSURE THE IMPLEMENTATION AND CONTINUED COMPLIANCE WITH THE APPROVED PUD AND ANY AMENDMENTS THERETO, AND

WHEREAS, THE OWNER/DEVELOPER DESIRES TO ESTABLISH THE FOLLOWING RESTRICTIONS FOR THE PURPOSE OF PROVIDING FOR THE ORDERLY DEVELOPMENT OF THE SUBDIVISION AND TO INSURE ADEQUATE RESTRICTIONS FOR THE MUTUAL BENEFIT OF THE OWNER/DEVELOPER, ITS SUCCESSORS AND ASSIGNS, AND THE CITY OF BIXBY, OKLAHOMA.

NOW, THEREFORE, THE OWNER/DEVELOPER DOES HEREBY IMPOSE THE FOLLOWING RESTRICTIONS AND COVENANTS WHICH SHALL BE COVENANTS RUNNING WITH THE LAND AND SHALL BE BINDING UPON THE OWNER/DEVELOPER, ITS SUCCESSORS AND ASSIGNS, AND SHALL BE ENFORCEABLE AS HEREINAFTER SET FORTH.

A. GENERAL

1. DEVELOPMENT IN ACCORDANCE WITH PUD

THE SUBDIVISION SHALL BE DEVELOPED AND USED IN SUBSTANTIAL ACCORDANCE WITH THE RESTRICTIONS AND DEVELOPMENT STANDARDS OF PUD NO. BXPUD-XX.XX, AS APPROVED BY THE CITY OF BIXBY, OR IN SUBSTANTIAL ACCORDANCE WITH SUCH MODIFICATIONS OR AMENDMENTS OF THE RESTRICTIONS AND DEVELOPMENT STANDARDS OF BXPUD-XX.XX AS MAY BE SUBSEQUENTLY APPROVED.

2. APPLICABLE ORDINANCE

THE SUBDIVISION SHALL BE SUBJECT TO THE PLANNED UNIT DEVELOPMENT PROVISIONS OF THE CITY OF BIXBY ZONING CODE AS SUCH PROVISIONS EXISTED ON _____, 2023.

DEVELOPMENT STANDARDS FOR DEVELOPMENT AREA A

GROSS LAND AREA: 201,806 SF 4.633 AC
NET LAND AREA: 160,606 SF 3.687 AC
PERMITTED USES: USES PERMITTED AS A MATTER OF RIGHT AND IN THE CS COMMERCIAL SHOPPING CENTER DISTRICT (EXCEPT AS EXCLUDED BELOW); DRY CLEANING/LAUNDRY WITHIN USE UNIT 15; GOLF, FRISBEE GOLF, TENNIS, AND WATER SLIDE USES AND OUTDOOR RECREATION AND AMUSEMENT ACTIVITIES, NEC WITHIN USE UNIT 20; AND USES CUSTOMARILY ACCESSORY TO PERMITTED USES.
EXCLUDED USES: ALL USES CLASSIFIED AS "SEXUALLY ORIENTED" WITHIN THE CITY OF BIXBY ZONING CODE (SECTION 11-7D-6), MEGA EVENTS, RESIDENTIAL TREATMENT CENTERS, AND TRANSITIONAL LIVING CENTERS WITHIN USE UNIT 5, AND MEDICAL MARIJUANA DISPENSARIES WITHIN USE UNIT 13.
MAXIMUM FLOOR AREA RATIO: 0.75
MAXIMUM BUILDING FLOOR AREA: 151,355 SF
MAXIMUM BUILDING HEIGHT: 2 STORIES OR 40 FT
MINIMUM ARTERIAL STREET FRONTAGE: 100 FT *
MINIMUM NON-ARTERIAL STREET FRONTAGE: 50 FT *
MINIMUM BUILDING SETBACKS:
FROM ARTERIAL STREET RIGHT-OF-WAY: 25 FT
FROM NON-ARTERIAL STREET RIGHT-OF-WAY: 10 FT
FROM DEVELOPMENT AREA B AND C BOUNDARIES: 10 FT **
FROM ALL OTHER BOUNDARIES: 0 FT
MINIMUM AND MAXIMUM PARKING RATIOS: PER ZONING CODE ***
OTHER BULK AND AREA REQUIREMENTS: AS REQUIRED
WITHIN CS DISTRICT
* ANY INTERIOR LOT HAVING NO STREET FRONTAGE SHALL BE PROVIDED ACCESS TO A PUBLIC STREET BY ACCESS EASEMENT(S) APPROVED BY THE CITY OF BIXBY DURING PLATTING REVIEW.
** PLUS 2 FEET SETBACK FOR EACH 1 FOOT OF BUILDING HEIGHT EXCEEDING 15 FEET.
*** MINIMUM AND MAXIMUM PARKING MAY BE MODIFIED IF A SITE PLAN IS SUBMITTED TO AND APPROVED BY THE BIXBY PLANNING COMMISSION.

B. DEVELOPMENT STANDARDS FOR DEVELOPMENT AREA B

GROSS LAND AREA: 470,580 SF 10.803 AC
NET LAND AREA: 450,585 SF 10.344 AC
PERMITTED USES: USE UNIT 1 AREA WIDE USES BY RIGHT, USE UNIT 6 SINGLE-FAMILY DWELLINGS ON INDIVIDUAL LOTS AND CUSTOMARY ACCESSORY USES; USE UNIT 5 COMMON AREA FACILITIES SUCH AS NEIGHBORHOOD PARK, PLAYGROUND, AND RECREATIONAL OPEN SPACE.
MAXIMUM NUMBER OF DWELLING UNITS: 50
MINIMUM LOT WIDTH †: 55 FT
MINIMUM LOT SIZE: 6,100 SF
MINIMUM LAND AREA PER DWELLING UNIT: 8,400 SF *
MAXIMUM BUILDING HEIGHT: 2 STORIES AND 35 FT **
OFF-STREET PARKING AND YARD COVERAGE: MINIMUM TWO (2) ENCLOSED OFF-STREET PARKING SPACES REQUIRED PER DWELLING UNIT. OFF-STREET PARKING SHALL NOT EXCEED 75% OF THE REQUIRED FRONT YARD WIDTH OR AREA.
MINIMUM LIVABILITY SPACE: 3,000 SF ***
MINIMUM YARD SETBACKS:
FRONT YARD: 20 FT
REAR YARD: 15 FT
SIDE YARD (INTERIOR): 5 FT
SIDE YARD ABUTTING A STREET: 15 FT
GARAGE FACING SIDE YARD STREET: 20 FT
OTHER BULK AND AREA REQUIREMENTS: AS REQUIRED WITHIN THE R5-3 DISTRICT
MINIMUM DWELLING SIZE: 1,700 SF
FIRST FLOOR EXTERIOR MATERIALS: 100% MASONRY ****
* MINIMUM LAND AREA PER DWELLING UNIT IS SATISFIED BY THE PROPORTION OF MAXIMUM NUMBER OF LOTS TO GROSS LAND AREA AS PROVIDED IN ZONING CODE SECTION 11-7I-5.A.1. LOTS ARE THEREFORE NOT SUBJECT TO THIS REQUIREMENT ON AN INDIVIDUAL BASIS.
** ARCHITECTURAL FEATURES MAY EXTEND A MAX. OF FIVE FEET ABOVE MAXIMUM PERMITTED BUILDING HEIGHT.
*** LIVABILITY SPACE MAY BE LOCATED ON A LOT OR CONTAINED WITHIN COMMON OPEN SPACE OF THE DEVELOPMENT, AS PER SECTION 11-7I-5.C OF THE BIXBY ZONING CODE.
**** MASONRY SHALL INCLUDE BRICK, NATURAL OR MANUFACTURED STONE, AND STUCCO. CEMENTITIOUS FIBER IS AN APPROVED ALTERNATIVE. MINIMUM MASONRY PERCENTAGES SHALL EXCLUDE WINDOWS, DOORS, DECORATIVE ACCENTS, AND BENEATH COVERED PATIOS AND PORCHES.
† DEFINED AS THE AVERAGE HORIZONTAL DISTANCE BETWEEN THE SIDE LOT LINES, WHICH IS AS IT IS PRESENTLY DEFINED IN THE BIXBY ZONING CODE.

C. DEVELOPMENT STANDARDS FOR ALL PUD DEVELOPMENT AREAS

1. ACCESS AND CIRCULATION

STREETS SERVING DEVELOPMENT AREA B WILL BE PRIVATE, GATED STREETS WITHIN A MINIMUM 30' WIDE RESERVE AREA. DUE TO THE PRIVATE ROADS WITHIN DEVELOPMENT AREA B, A PRIVATE WALKING TRAIL IN THE COMMON AREA WILL BE PROVIDED IN-LIEU OF INTERNAL SIDEWALKS. PEDESTRIAN ACCESS WILL BE PROVIDED FROM COMMON AREAS TO THE PUBLIC RIGHT-OF-WAY ON EAST 121ST STREET SOUTH AND SOUTH MINGO ROAD. SIDEWALKS WHICH ARE PROPOSED OUTSIDE OF RESERVES OR RIGHT-OF-WAY SHALL BE PLACED IN A SIDEWALK EASEMENT. SIDEWALKS FOR DEVELOPMENT AREA A WILL BE CONSTRUCTED BY INDIVIDUAL LOT OWNERS AS A PART OF THE BUILDING PERMIT PROCESS.

STREETS SHALL BE CONSTRUCTED TO MEET ALL OTHER MINIMUM STANDARDS OF THE CITY OF BIXBY FOR MINOR PUBLIC STREETS; PROVIDED, HOWEVER, THE CITY OF BIXBY MAY APPROVE ALTERNATIVE STREET DESIGN STANDARDS THROUGH PLATTING. ANY DIVIDED, BOULEVARD STREETS SEPARATED BY PRIVATE LANDSCAPED ISLANDS MAY HAVE ONE-WAY LANES MEETING RIGHT-OF-WAY WIDTH REQUIREMENTS IN AGGREGATE AND SHALL OTHERWISE BE CONSTRUCTED TO MEET THE MINIMUM STANDARDS DETERMINED BY THE CITY OF BIXBY DURING THE PLATTING STAGE. ANY GATES SERVING PRIVATE STREETS OR DRIVES SHALL BE DESIGNED ACCORDING TO THE FIRE CODE ADOPTED BY THE CITY OF BIXBY AND BE APPROVED BY THE BIXBY FIRE MARSHAL.

2. SIGNS

WITHIN DEVELOPMENT AREA B, LANDSCAPING SHALL CONSIST OF MASONRY MONUMENT SIGNS WITH FOLIAGE AT THE ENTRANCES AND PERIMETER FENCING. ENTRANCE SIGNAGE SHALL BE PERMITTED ALONG THE ARTERIAL STREET FRONTAGE, SHALL COMPLY WITH THE STANDARDS PROVIDED IN THE BIXBY ZONING CODE, AND SHALL BE CONTAINED WITHIN RESERVE AREAS OR EASEMENTS TO BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION. SIGNAGE SERVING RESIDENTIAL NEIGHBORHOOD AMENITIES, APPROPRIATE FOR PURPOSE AND NEIGHBORHOOD SCALE, SHALL BE PERMITTED WITHIN RESERVE AREAS CONTAINING NEIGHBORHOOD AMENITIES.

IN DEVELOPMENT AREA A, SCREENING REQUIREMENTS BETWEEN RESIDENTIAL AND COMMERCIAL USES SHALL BE SATISFIED BY THE PERIMETER FENCE ESTABLISHED IN DEVELOPMENT AREA B. SIGNAGE AND LANDSCAPING IN DEVELOPMENT AREA A SHALL OTHERWISE COMPLY WITH THE BIXBY ZONING CODE.

3. PLATTING AND SITE PLAN REQUIREMENTS

NO BUILDING PERMIT SHALL BE ISSUED UNTIL A SUBDIVISION PLAT HAS BEEN SUBMITTED TO AND RECOMMENDED UPON BY THE BIXBY PLANNING COMMISSION AND APPROVED BY THE COUNCIL OF THE CITY OF BIXBY, AND DULY FILED OF RECORD. THE REQUIRED SUBDIVISION PLAT SHALL INCLUDE COVENANTS OF RECORD IMPLEMENTING THE DEVELOPMENT STANDARDS OF THE APPROVED PUD AND THE CITY OF BIXBY SHALL BE A BENEFICIARY THEREOF. WITHIN DEVELOPMENT AREA B, THE PLAT WILL ALSO SERVE AS THE SITE PLAN FOR ALL RESIDENTIAL LOTS AND DWELLING UNITS CONTAINED WITHIN THE PLAT.

4. CITY DEPARTMENT REQUIREMENTS

STANDARD REQUIREMENTS OF THE CITY OF BIXBY FIRE MARSHAL, CITY ENGINEER, AND CITY ATTORNEY SHALL BE MET.

SECTION IV. - HOMEOWNERS' ASSOCIATION

A. FORMATION OF HOMEOWNERS' ASSOCIATION

THE OWNER/DEVELOPER HAS FORMED OR SHALL CAUSE TO BE FORMED, IN ACCORDANCE WITH THE STATUTES OF THE STATE OF OKLAHOMA, A NOT-FOR-PROFIT CORPORATE ENTITY, AN ASSOCIATION (THE "HOMEOWNERS' ASSOCIATION" OR "ASSOCIATION") COMPRISED OF ALL OWNERS OF LOTS WITHIN "THE FOUNTAINS", AND ANY OTHER RESIDENTIAL SUBDIVISION WHICH MAY BE SUBSEQUENTLY MERGED WITH OR ANNEXED TO THE GEOGRAPHIC JURISDICTION OF THE ASSOCIATION, WHICH ASSOCIATION IS ESTABLISHED AND FORMED (OR TO BE ESTABLISHED AND FORMED) FOR THE GENERAL PURPOSES OF MAINTAINING THE COMMON AREAS, RESERVE AREAS, AND OTHER PROPERTY AND FACILITIES THAT ARE OR FROM TIME TO TIME MAY BE FOR THE COMMON USE AND BENEFIT OF THE LOTS AS THE SAME MAY BE AGREED TO BY THE MEMBERS OF THE ASSOCIATION, AND FOR THE PURPOSE OF ENHANCING THE VALUE, DESIRABILITY, AND ATTRACTIVENESS OF THIS SUBDIVISION, AND ANY OTHER RESIDENTIAL SUBDIVISION WHICH MAY SUBSEQUENTLY BE MERGED WITH OR ANNEXED TO THE GEOGRAPHIC JURISDICTION OF THE HOMEOWNERS' ASSOCIATION.

B. MEMBERSHIP

EVERY PERSON OR ENTITY WHO IS A RECORD OWNER OF THE FEE INTEREST IN A LOT IN THE SUBDIVISION SHALL BE A MEMBER OF THE ASSOCIATION AND MEMBERSHIP SHALL BE APPURTENANT TO AND SHALL NOT BE SEPARATED FROM THE OWNERSHIP OF A LOT. THE ACCEPTANCE OF A DEED TO A LOT SHALL CONSTITUTE ACCEPTANCE OF MEMBERSHIP TO THE ASSOCIATION AS OF THE DATE OF INCORPORATION, OR AS OF THE DATE OF RECORDING OF THE DEED, WHICHEVER OCCURS LAST.

C. COVENANT FOR ASSESSMENTS

THE OWNER/DEVELOPER AND EACH SUBSEQUENT OWNER OF A LOT, BY ACCEPTANCE OF A DEED THEREFOR, COVENANTS AND AGREES TO PAY TO THE ASSOCIATION ASSESSMENTS TO BE ESTABLISHED BY THE ASSOCIATION IN ACCORDANCE WITH A DECLARATION TO BE EXECUTED AND FILED OF RECORD BY THE OWNER/DEVELOPER. AN UNPAID ASSESSMENT, PROPERLY FILED, SHALL BECOME A LIEN UPON THE LOT(S) AGAINST WHICH IT IS MADE. THE LIEN, HOWEVER, SHALL BE SUBORDINATE TO THE LIEN OF ANY FIRST MORTGAGE.

D. ENFORCEMENT RIGHTS OF THE ASSOCIATION

WITHOUT LIMITATION OF SUCH OTHER POWERS AND RIGHTS AS THE ASSOCIATION MAY HAVE, THE ASSOCIATION SHALL BE A BENEFICIARY, TO THE SAME EXTENT AS A LOT OWNER, OF THE VARIOUS COVENANTS SET FORTH WITHIN THIS DEED OF DEDICATION AND RESTRICTIVE COVENANTS AND SHALL HAVE THE RIGHT TO ENFORCE THE COVENANTS TO THE SAME EXTENT AS A LOT OWNER.

SECTION V. - ENFORCEMENT, DURATION, AMENDMENT, & SEVERABILITY

A. ENFORCEMENT AND DURATION

THE RESTRICTIONS HEREIN SET FORTH SHALL BE COVENANTS RUNNING WITH THE LAND AND SHALL BE BINDING UPON THE OWNER/DEVELOPER, ITS GRANTEES, TRANSFEREES, SUCCESSORS, AND ASSIGNS AND ALL PARTIES CLAIMING UNDER IT FOR A PERIOD OF TWENTY-FIVE (25) YEARS FROM THE DATE OF RECORDING OF THIS DEED OF DEDICATION AND RESTRICTIVE COVENANTS, AFTER WHICH TIME SAID COVENANTS SHALL BE AUTOMATICALLY EXTENDED FOR SUCCESSIVE PERIODS OF TEN (10) YEARS UNLESS AMENDED OR TERMINATED AS HEREINAFTER PROVIDED. IF ANY LOT OWNER SHALL VIOLATE ANY OF THE COVENANTS HEREIN, IT SHALL BE LAWFUL FOR THE CITY OF BIXBY OR ANY PERSONS OWNING A LOT WITHIN THE SUBDIVISION TO MAINTAIN AN ACTION AT LAW OR IN EQUITY AGAINST THE PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY SUCH COVENANT(S) TO PREVENT HIM/HER OR THEM FROM SO DOING OR TO COMPEL COMPLIANCE WITH THE COVENANT(S) OR TO RECOVER DAMAGES FOR SUCH VIOLATION(S).

B. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I. PUBLIC STREETS, EASEMENTS, AND UTILITIES AND SECTION V. ENFORCEMENT, DURATION, AMENDMENT, & SEVERABILITY MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LOT OR LOTS TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND BY THE

BIXBY PLANNING COMMISSION, OR ITS SUCCESSORS, WITH THE APPROVAL OF THE CITY OF BIXBY, OKLAHOMA. THE COVENANTS CONTAINED WITHIN SECTION III. PLANNED UNIT DEVELOPMENT RESTRICTIONS SHALL BE DEEMED AMENDED (WITHOUT NECESSITY OF EXECUTION OF AN AMENDING DOCUMENT) UPON APPROVAL OF A MINOR AMENDMENT TO BXPUD-XX.XX BY THE BIXBY PLANNING COMMISSION AND RECORDING OF A CERTIFIED COPY OF THE MINUTES OF THE BIXBY PLANNING COMMISSION WITH THE TULSA COUNTY CLERK, OR UPON APPROVAL OF A MAJOR AMENDMENT TO BXPUD-XX.XX UPON FILING OF RECORD AN ORDINANCE AND/OR OTHER VALID RECORD OF CITY OF BIXBY APPROVAL. THE COVENANTS WITHIN SECTION II. RESERVE AREAS AND SECTION IV. HOMEOWNERS' ASSOCIATION MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER/DEVELOPER DURING SUCH PERIOD THAT THE OWNER/DEVELOPER IS THE RECORD OWNER OF AT LEAST ONE (1) LOT WITHIN THE SUBDIVISION OR ALTERNATIVELY, THE COVENANTS WITHIN SECTION II. OR IV. MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNERS OF MORE THAN 75% OF THE LOTS WITHIN THE SUBDIVISION, PROVIDED HOWEVER, IN THE EVENT OF A CONFLICT OF AMENDING OR TERMINATING INSTRUMENTS, THE INSTRUMENT EXECUTED BY THE OWNER/DEVELOPER SHALL GOVERN. THE PROVISIONS OF ANY SUCH INSTRUMENT AMENDING OR TERMINATING COVENANTS SHALL BE EFFECTIVE FROM AND AFTER THE DATE THE INSTRUMENT IS PROPERLY RECORDED.

C. SEVERABILITY

THESE RESTRICTIVE COVENANTS, TOGETHER WITH THE OTHER DOCUMENTS INCORPORATED HEREIN BY REFERENCE, SHALL BE CONSTRUED AS AN ENTITY AND THE PERTINENT SECTIONS OF ALL INSTRUMENTS AS A WHOLE. THE INVALIDITY OF ANY PHRASE, CLAUSE, OR PROVISIONS HEREIN CONTAINED SHALL NOT RENDER THE BALANCE OF THIS INSTRUMENT VOID, OR UNENFORCEABLE, AND THE SAME SHALL BE THEREAFTER CONSTRUED AS IF SUCH PHRASE, CLAUSE, OR PROVISION WERE NOT HEREIN CONTAINED, OR TO OTHERWISE GIVE MAXIMUM EFFECT TO THE INTENT OF THE OWNER/DEVELOPER. THE FAILURE OF THE OWNER/DEVELOPER OR ANY SUCCESSOR IN TITLE TO ENFORCE ANY RESTRICTION, COVENANT, OR CONDITION AT ANY TIME, OR FROM TIME TO TIME, SHALL NOT BE DEEMED TO BE A WAIVER OR RELINQUISHMENT OF ANY RIGHT OR REMEDY NOR A MODIFICATION OF THESE RESTRICTIONS, COVENANTS, OR CONDITIONS.

D. DEFINITIONS

IN THE EVENT OF AMBIGUITY OF ANY WORD OR TERM SET FORTH HEREIN, THE MEANING THEREOF SHALL BE DEEMED TO BE DEFINED AS SET FORTH WITHIN THE CITY OF BIXBY ZONING CODE AS THE SAME EXISTED ON _____, 2023, OR AS SUBSEQUENTLY AMENDED.

IN WITNESS WHEREOF, THE OWNER HAS CAUSED THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF _____, 2023.

SOONER DEVELOPMENT, LLC,
AN OKLAHOMA LIMITED LIABILITY COMPANY

BY: _____

[TITLE]

STATE OF OKLAHOMA)

) SS

COUNTY OF TULSA)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS _____ DAY OF _____, 2023, PERSONALLY APPEARED _____, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED THE NAME OF SOONER DEVELOPMENT, LLC TO THE FOREGOING INSTRUMENT, AS ITS _____ AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED AND AS THE FREE AND VOLUNTARY ACT AND DEED OF SOONER DEVELOPMENT, LLC FOR THE USES AND PURPOSES THEREIN SET FORTH. GIVEN UNDER MY HAND AND SEAL OF OFFICE THE DAY AND YEAR LAST ABOVE WRITTEN.



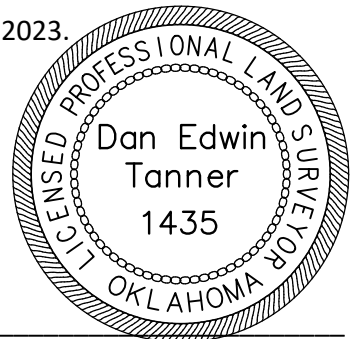
MY COMMISSION EXPIRES

NOTARY PUBLIC

CERTIFICATE OF SURVEY

I, DAN E. TANNER, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND HEREIN DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT DESIGNATED AS "ELLIS RANCH", A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, IS A TRUE REPRESENTATION OF A SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES AND MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING.

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____, 2023.



BY: _____

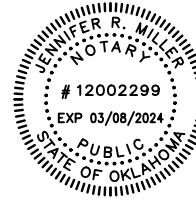
DAN E. TANNER
LICENSED PROFESSIONAL LAND SURVEYOR
OKLAHOMA NO. 1435

STATE OF OKLAHOMA)

) SS

COUNTY OF TULSA)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THE _____ DAY OF _____, 2023, PERSONALLY APPEARED TO ME DAN E. TANNER, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS NAME AS LICENSED PROFESSIONAL LAND SURVEYOR TO THE FOREGOING CERTIFICATE, AS HIS FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSES THEREIN SET FORTH. GIVEN UNDER MY HAND AND SEAL OF OFFICE THE DAY AND YEAR LAST ABOVE WRITTEN.



MY COMMISSION EXPIRES

NOTARY PUBLIC

Conceptual Utility Plan

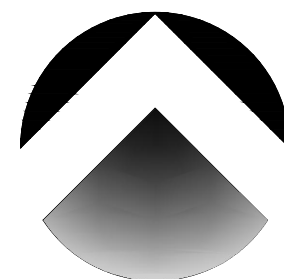
OWNER:
Sooner Development, LLC
6122 S. Memorial Dr.
Tulsa, Oklahoma 74133
Phone: (918) 845-1682

PUD-XXX

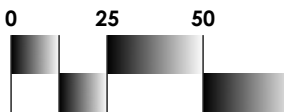
The Fountains

PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE/4 SE/4) OF
SECTION THIRTY-SIX (36), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN MERIDIAN
A SUBDIVISION WITHIN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA

SURVEYOR/ENGINEER:
Tanner Consulting, L.L.C.
DAN E. TANNER, P.L.S. NO. 1435
OK CA NO. 2661, EXPIRES 6/30/2023
EMAIL: DAN@TANNERBAITSHOP.COM
5323 South Lewis Avenue
Tulsa, Oklahoma 74105
Phone: (918) 745-9929



NORTH

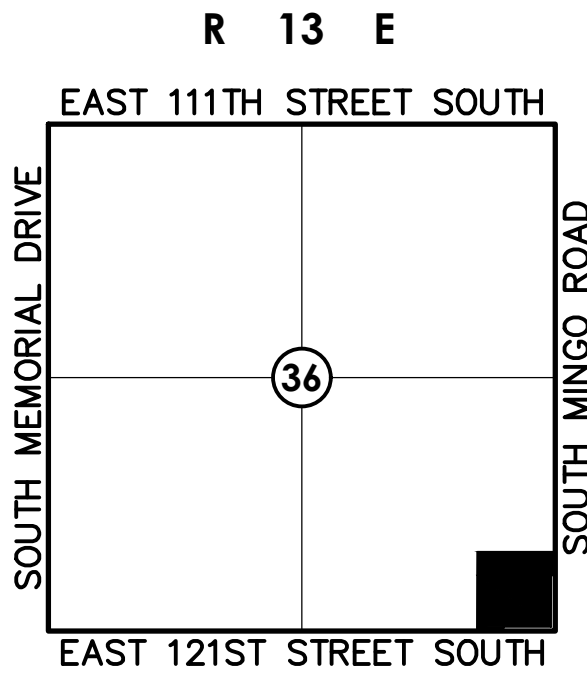


Scale: 1"= 50'
Tanner Consulting

LEGEND

B/L	BUILDING LINE
B/U	BUILDING LINE & UTILITY EASEMENT
BK PG	BOOK & PAGE
CB	CHORD BEARING
CD	CHORD DISTANCE
CL	CENTERLINE
Δ	DELTA ANGLE
DOC	DOCUMENT
ESMT	EASEMENT
GOV'T	GOVERNMENT
LNA	LIMITS OF NO ACCESS
ODE	OVERLAND DRAINAGE EASEMENT
RES.	RESERVE
R/W	RIGHT-OF-WAY
U/E	UTILITY EASEMENT
1234	ADDRESS ASSIGNED
○	FOUND MONUMENT
●	SET MONUMENT (SEE NOTE 2)

- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER INLET



Location Map

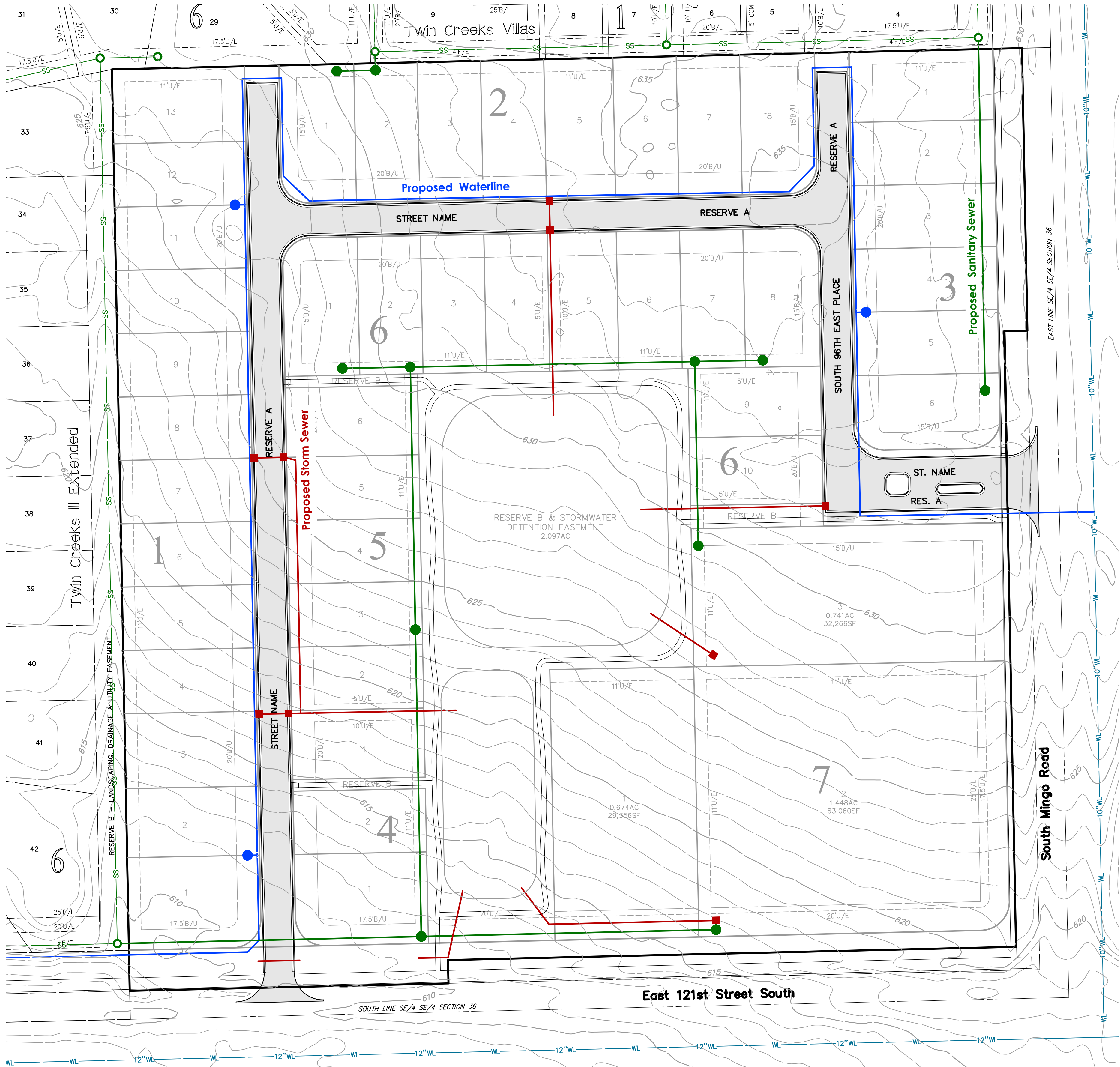
Scale: 1"= 2000'



SUBDIVISION CONTAINS:

FORTY-EIGHT (48) LOTS
IN SEVEN (7) BLOCKS
WITH TWO (2) RESERVES

GROSS SUBDIVISION AREA: 14.031 ACRES



DATE OF PREPARATION: August 21, 2023

GENERAL NOTES

DETAILED SITE PLAN

- A. ALL DIMENSIONS SHOWN ARE MEASURED FROM PROPERTY LINE, FACE OF CURB, OR FACE OF BUILDING, UNLESS NOTED OTHERWISE.
- B. CONTRACTOR SHALL MAINTAIN A TWO (2) FOOT SEPARATION BETWEEN GAS LINE CONDUITS AND ALL OTHER CONDUIT LINES.
- C. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL CONDUITS PRIOR TO THE THE INSTALLATION OF PAVING.
- D. BUILDINGS SHOWN ON THIS PLAN ARE REPRESENTATIVE ONLY AND NOT FOR CONSTRUCTION, REFER TO ARCHITECTURAL DRAWINGS.
- E. CONTRACTOR TO COORDINATE ALL UTILITY SERVICES WITH THEIR RESPECTIVE SUPPLIER.
- F. ALL UTILITY SERVICE CONNECTIONS SHALL BE INSTALLED AS REQUIRED PER RESPECTIVE CITY CODES AND SPECIFICATIONS.
- G. ACCESSIBLE PARKING STALL SIGNS SHALL BE CENTERED ON THEIR RESPECTIVE PARKING STALL. SIGNS SHALL BEAR THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND ONE SIGN SHALL ALSO BE LABELED VAN ACCESSIBLE. BOTTOM OF SIGNS SHALL BE A MINIMUM OF 60" AND A MAXIMUM OF 72" ABOVE THE SIDEWALK.
- H. THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION.
- I. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING.
- J. NO LIGHT POLE SITE LIGHTING. ALL PARKING LIGHTING IS PROVIDED FROM BUILDING MOUNTED SHIELDED LIGHTING FIXTURES.
- K. PATCH AND REPAIR ANY EXISTING SITE ELEMENTS (SOIL, LANDSCAPE, PAVING, ETC.) DISTURBED DURING THE CONSTRUCTION PROCESS.
- L. CONTRACTOR TO ENSURE AREAS OF NEW PAVING ALONG THE EGRESS ROUTE ADJOINING EXISTING HORIZONTAL SURFACES SHALL BE FLUSH IN NATURE WITH LESS THAN 1/4" VERTICAL RISE.
- M. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE PRIOR TO BIDDING TO INSPECT THE SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AFFECTING AREAS OF NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT DISPUTE OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO PERFORM THESE DUTIES
- N. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS AFFECTED BY NEW WORK PRIOR TO COMMENCEMENT OF ANY EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING SURVEY BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL EXISTING UTILITIES
- O. FIELD VERIFY IS DEFINED AS FOLLOWS: THE GENERAL CONTRACTOR IS REQUIRED TO FIELD SURVEY THE NOTED CONDITION AND/OR DIMENSION PRIOR TO CONSTRUCTION OR PREPARATION OF SUBMITTAL SHOP DRAWINGS AND INTEGRATE FIELD SURVEY INFORMATION INTO THE CONSTRUCTION



EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND PLANS HAVE BEEN SENT TO THE AFFECTED UTILITY OWNERS FOR VERIFICATION OF EXISTING LINES. BEFORE YOU DIG, CONTACT OKIE! 1-800-522-6543.

A T & T COMPANY
CDX COMMUNICATIONS
OKLAHOMA NATURAL GAS COMPANY
SOUTHWESTERN BELL TELEPHONE COMPANY
AMERICAN ELECTRIC POWER (PSD)

SITE DATA: PUD 76

SOUTH MEMORIAL BUSINESS PARK: LOT 8 BLK 1
DEVELOPMENT AREA H

LAND AREA SUMMARY

LOT 8 LAND AREA 15,737 SF (.361 ACRES)

LANDSCAPE AREA REQUIRED 1,574 SF (10%)
LANDSCAPE AREA PROVIDED 4,866 SF (30.9%)

SITE DATA:

ZONING PUD 76 & CG
FIRST FLOOR BUILDING AREA: 3,181 SF
SECOND FLOOR BUILDING AREA: 2,958 SF
BUILDING HEIGHT PERMITTED: 40'
TALLEST BUILDING HEIGHT PROPOSED: 20'-9" TO BOTTOM OF EAVE

PROPOSED FLOOR AREA RATIO: .198

PARKING SPACE REQUIREMENT:

OFFICE / RATIO PER USE: 1/350
NUMBER OF SPACES REQUIRED: 17.5
NUMBER OF EXISTING SPACES PROVIDED: 20 (SHARED PARKING DEVELOPMENT)

ACCESSIBLE SPACES REQUIRED: 1 VAN / 1 STANDARD
ACCESSIBLE SPACES PROVIDED: 2 (SHARED PARKING DEVELOPMENT)

IMPERVIOUS AREA:

TOTAL SITE AREA (LOT 3) 15,737 SF (.361 AC)

EXISTING IMPERVIOUS AREA: 6,768 SF
PROPOSED NEW IMPERVIOUS AREA: 4,099 SF
TOTAL IMPERVIOUS AREA: 10,867 SF

SETBACKS:

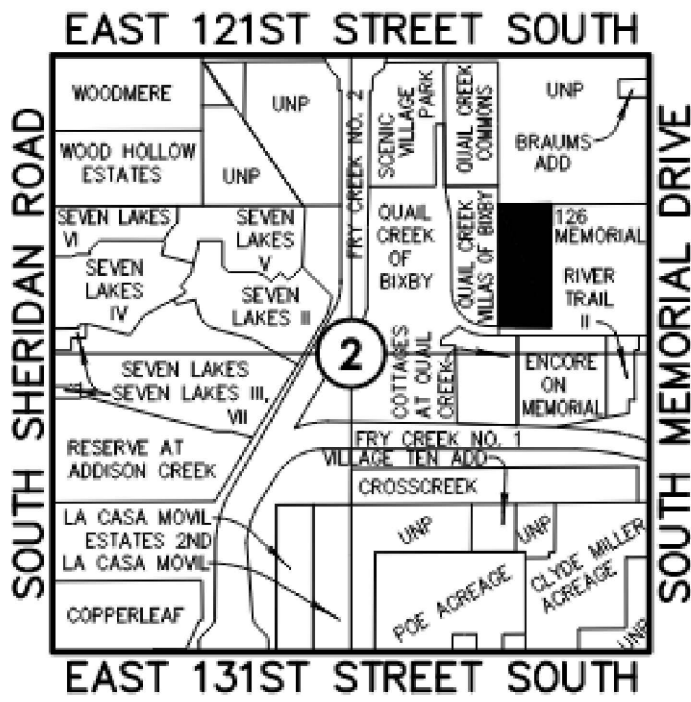
REQUIRED:
FROM NON-ARTERIAL STREET ROW: 25'
FROM RESIDENTIAL DEVELOPMENT AREA: 50'
FROM OTHER BOUNDARY: 20'

LEGAL DESCRIPTION:

LOT 8, BLOCK 1, SOUTH MEMORIAL BUSINESS PARK, CITY OF BIXBY, STATE OF OKLAHOMA

EXTERIOR LIGHTING:

NO POLE LIGHTS PROVIDED.

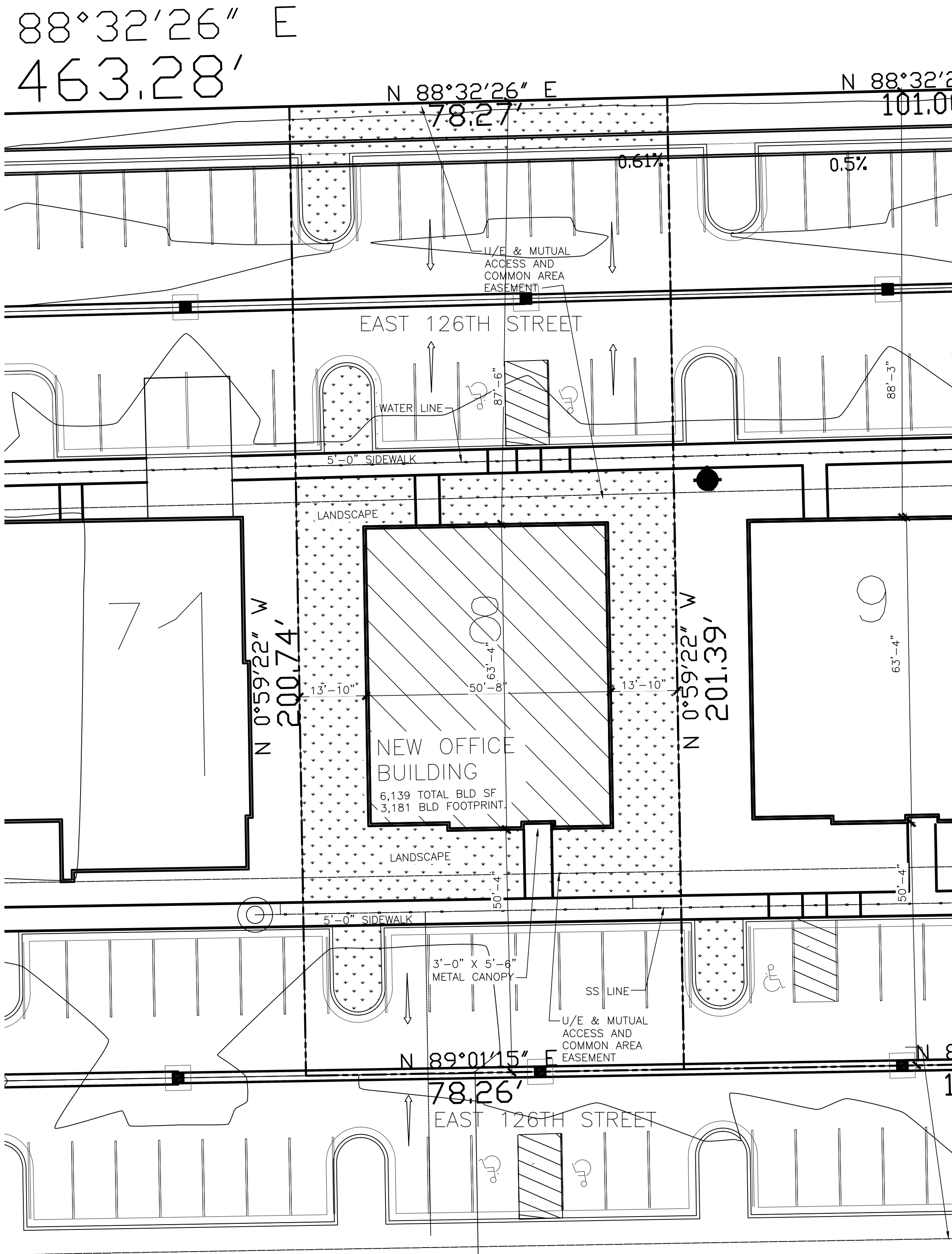


Location Map

Scale: 1"= 2000'



NOTE: ALL WATER TO BE DIRECTED TO STORM SEWER BASIN. NO WATER TO MY FLOW TO ADJACENT PROPERTY TO THE WEST



2 ENLARGED SITE PLAN

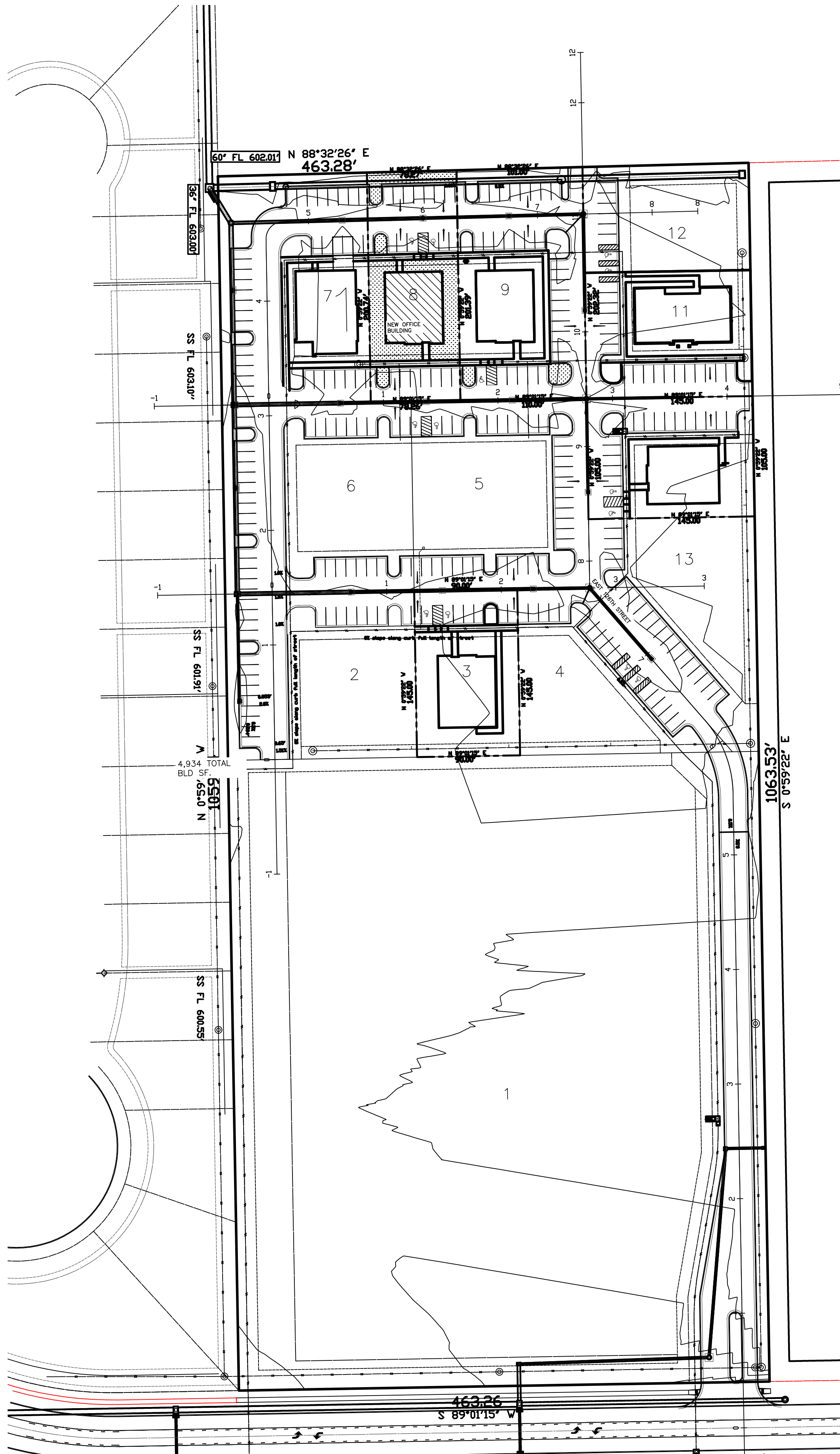
SCALE: 1/16" = 1'-0"

0 16'-0" 32'-0"

SCALE: 1/16"=1'-0"

NOTE: GC TO FIELD VERIFY EXISTING ACCESSIBLE PARKING AND AISLE GRADING SLOPE DOES NOT EXCEED 1:48 SLOPE

FOR CITY OF BIXBY SITE
PLAN APPROVAL ONLY



1 OVERALL SITE PLAN

SCALE: 1/32" = 1'-0"

0 32'-0" 64'-0"

SCALE: 1/32"=1'-0"



ARCHITECTURE & INTERIORS

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Tulsa, OK 74120

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Fax: 918.794.6602

www.wdesignsite.com

SEAL:

PROJECT:

MARLEE
OFFICE #4
(BIXBY)

PROJECT #
23154
7619 EAST 126TH
STREET SOUTH
BIXBY, OK
74008

CONSULTANT:

REVISIONS:

ISSUE DATE:

8.24.2023

SHEET NAME:

ARCHITECTURAL
SITE PLAN

SHEET #:

A101

DRAWN BY: DGP

GENERAL NOTES

LANDSCAPE PLAN

- A. CALL OKIE PRIOR TO DIGGING OR TRENCHING. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING AND NE UTILITY LINE ABOVE OR BELOW GROUND AND SHALL REPAIR ANY DAMAGE CAUSED DURING LANDSCAPE OR HARDSCAPE CONSTRUCTION ACTIVITIES AT NO COST TO THE OWNER.
- B. LOCATIONS OF ALL PLANT MATERIALS SHOWN ON PLANS IS APPROXIMATE AND MAY NEED TO BE FIELD ADJUSTED. OBTAIN LANDSCAPE ARCHITECTS APPROVAL PRIOR TO MAKING ANY MAJOR CHANGES. PLAN COUNTS SHOWN ABOVE ARE FOR CONVENIENCE, VERIFY ALL COUNTS ON PLANS PRIOR TO FINALIZING BID.
- C. ENSURE PROPER DRAINAGE AWAY FROM BUILDING AND OUT OF PLANTING BEDS IN DIRECTION ALREADY ESTABLISHED ON SITE.
- D. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION AND NOT DESIGNATED AS PLANTS SHALL BE FINE GRADED WITH ADDITIONAL TOPSOIL AND SODDED WITH SOLID SLAB BERMUDA SOD.

CITY OF BIXBY ZONING CODE

LANDSCAPE PLAN

1. LANDSCAPE REQUIREMENTS PER CHAPTER 12 OF TITLE 11 ZONING REGULATIONS.
2. PER 11-12-3 B.1 - FOR LOTS TWO AND ONE-HALF ACRES OR LESS IN SIZE, NO PARKING SPACE SHALL BE LOCATED MORE THAN 50' FROM A LANDSCAPED AREA CONTAINING AT LEAST 30 SQ FT, WITH A MINIMUM WIDTH OR DIAMETER OF 5'. A LANDSCAPED AREA BY DEFINITION MUST CONTAIN AT LEAST ONE TREE.
3. PER 11-12-3-C.2 - FOR SUREFACE PARKING AREA, ONE TREE FOR EACH 10 PARKING SPACES, WITH AT LEAST ONE TREE IN EACH REQUIRED LANDSCAPED AREA SHALL BE PRESERVED OR PLANTED. (19 SPACES = 2 TREES REQUIRED)

GENERAL NOTES

- A. PATCH AND REPAIR ANY EXISTING SITE ELEMENTS (SOIL, LANDSCAPE, PAVING, ETC.) DISTURBED DURING THE CONSTRUCTION PROCESS.
- B. CONTRACTOR TO ENSURE AREAS OF NEW PAVING ALONG THE EGRESS ROUTE ADJOINING EXISTING HORIZONTAL SURFACES SHALL BE FLUSH IN NATURE WITH LESS THAN 1/4" VERTICAL RISE.
- C. CONTRACTOR TO FURNISH WARNING BARRELS TO CONTROL ACCESS DURING CONSTRUCTION. ALL CONSTRUCTION ZONES SHOULD BE CLEARLY IDENTIFIED TO MINIMIZE PUBLIC CONFUSION.
- D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE PRIOR TO BIDDING TO INSPECT THE SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AFFECTING AREAS OF NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT DISPUTE OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO PERFORM THESE DUTIES
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- F. FIELD VERIFY IS DEFINED AS FOLLOWS: THE GENERAL CONTRACTOR IS REQUIRED TO FIELD SURVEY THE NOTED CONDITION AND/OR DIMENSION PRIOR TO CONSTRUCTION OR PREPARATION OF SUBMITTAL SHOP DRAWINGS AND INTEGRATE FIELD SURVEY INFORMATION INTO THE CONSTRUCTION

BED PREPARATION AND PLANTING

LANDSCAPE PLAN

- A. ELIMINATE ALL WEEDS AND GRASS IN PLANTING BED AREAS WITH ROUND-UP HERBICIDE PRIOR TO CONSTRUCTION. APPLY ACCORDING TO MANUFACTURER RECOMMENDATIONS. ALLOW 7 DAYS BEFORE DISTURBING THE SOIL. TILL AND RAKE OUT ROOTS OF BERMUDA GRASS IN DESIGNATED BED AREAS. PLANTING AREAS, NOT ADJACENT TO BUILDING, SHALL BE CULTIVATED TO A DEPTH OF 12". REMOVE ALL DEAD GRASS, WEEDS, ROOTS, ROCKS, AND OTHER DEBRIS. WORK INTO EXISTING SOIL; 6" DEPTH OF BACK TO NATURE 'NATURE'S BLEND', TO A DEPTH OF 12".
- B. PLANTING AREAS ADJACENT TO BUILDING AND WALKS TO BE EXCAVATED TO A MINIMUM 1' DEPTH REMOVING AS MUCH LIMESTONE AND OTHER CONSTRUCTION DEBRIS AS POSSIBLE. IF CLAY SUBSOIL IS DISCOVERED AT THE BOTTOM OF THE EXCAVATED AREA, TIL IN PELLETIZED GYPSUM AT A RATE OF 10 LBS. PER 100 SF. AFTER INCORPORATION OF GYPSUM ADD HIGH QUALITY TOPSOIL WIT BACK TO NATURES 'NATURE'S BLEND', AT A 50/50 MIXTURE, TO SUFFICIENT GRADE. REFER TO CIVIL DRAWINGS FOR PROPOSED GRADES NEXT TO BUILDING.
- C. ALL PLANTING AREAS TO BE INSTALLED WITH DEWITT'S WEED BARRIER FABRIC.
- D. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND POSITIVE DRAINAGE OF ALL PLANTING BEDS. CONTRACTOR SHALL PROVIDE HIGH QUALITY TOP SOIL, WHERE NECESSARY, TO PROVIDE PROPER DRAINAGE.
- E. CONTRACTOR TO ADD OSMOCOTE 19-6-12 AT HIGHEST RATE SPECIFIED BY THE MANUFACTURER TO ALL BEDS AREAS PRIOR TO MULCHING.
- F. APPLY SHREDDED CYPRESS MULCH IN PLANTING BEDS TO A DEPTH OF 3" AFTER PLANT INSTALLATION.
- G. ALL SHRUBS TO BE PLANTED IN A PIT THAT IS TWICE AS WIDE AS THE ROOT BALL. PLANT SHRUBS 2" ABOVE FINISH GRADE TO ALLOW FOR PROPER DRAINAGE. REFER TO SHRUB PLANTING DETAIL FOR MORE INFORMATION.

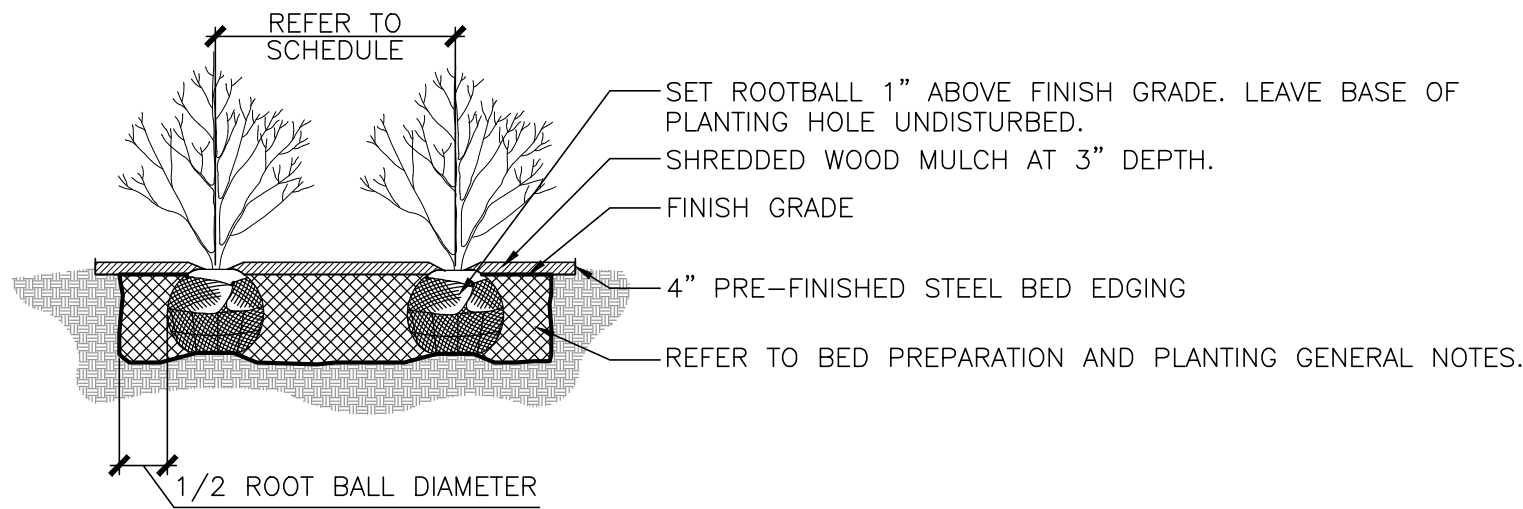
LEGEND

SOD / PLANTING AREA .



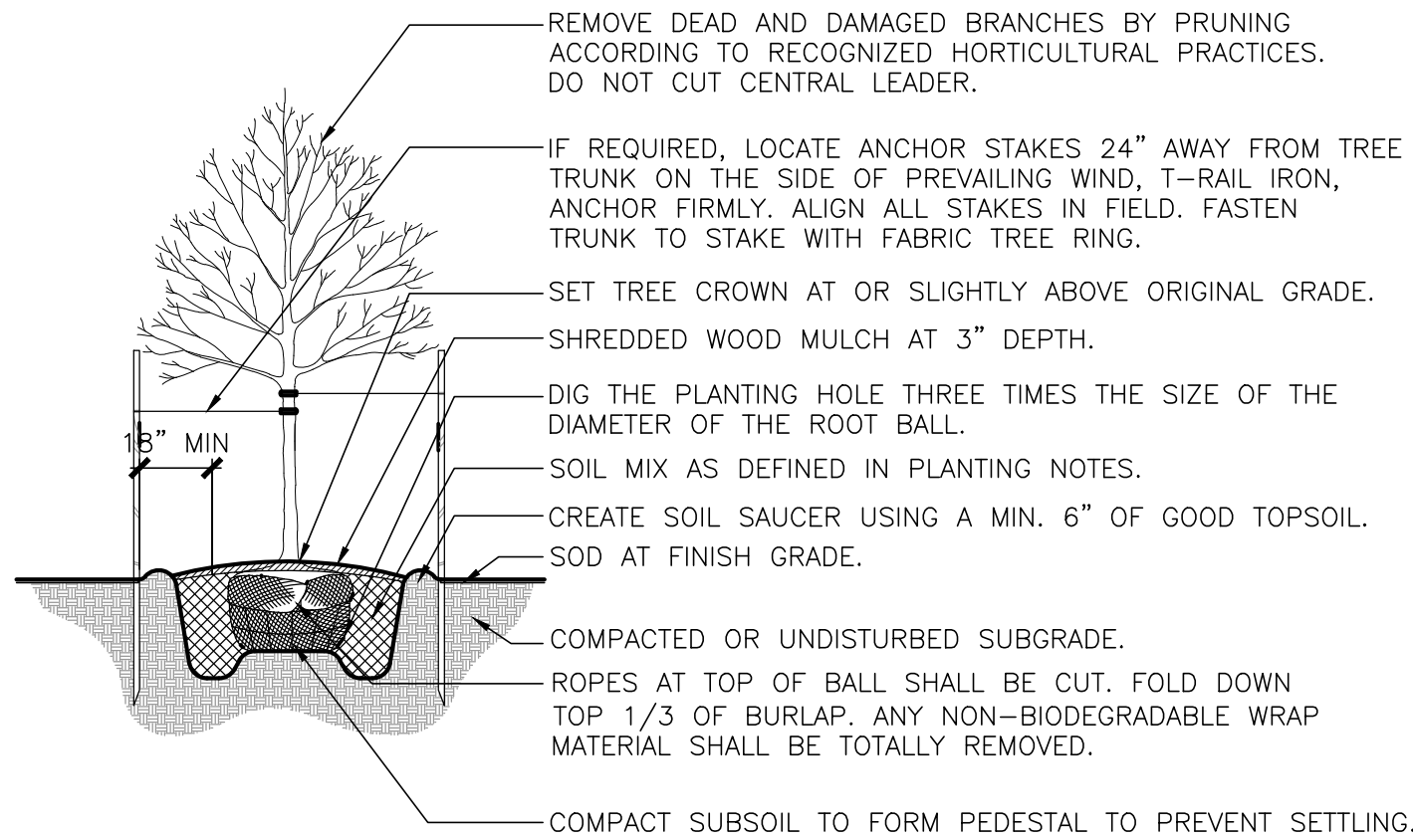
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A T & T COMPANY
CDX COMMUNICATIONS
OKLAHOMA NATURAL GAS COMPANY
SOUTHWESTERN BELL TELEPHONE COMPANY
AMERICAN ELECTRIC POWER (PSD)



3 SHRUB MASS PLANTING DETAIL

SCALE: N.T.S.



2 TREE PLANTING DETAIL

SCALE: N.T.S.

FOR CITY OF BIXBY SITE
PLAN APPROVAL ONLY



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ARCHITECTURE & INTERIORS

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SEAL:

PROJECT:

MARLEE
OFFICE #4
(BIXBY)

PROJECT #
23154
7619 EAST 126TH
STREET SOUTH
BIXBY, OK
74008

CONSULTANT:

REVISIONS:

ISSUE DATE:

8.24.2023

SHEET NAME:

LANDSCAPE
PLAN

SHEET #:

1 ARCHITECTURAL LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

SCALE: 1/16"=1'-0"

0 16'-0" 32'-0"



L101

DRAWN BY: DGP

GENERAL NOTES

- REFER TO SPECIFICATIONS FOR DETAILED PRODUCT INFORMATION SUCH AS SUBMITTAL REQUIREMENTS, SUBSTITUTION PROCEDURES, ACCEPTABLE MANUFACTURERS, SPECIFIC INSTALLATION REQUIREMENTS AND WARRANTY REQUIREMENTS.
- EXTERIOR PAINT COLORS TO BE APPROVED BY OWNER PRIOR TO COMMENCEMENT OF WORK.
- G.C. TO PROVIDE A MOCK-UP AREA ON EXTERIOR OF BUILDING FOR OWNER'S APPROVAL OF FINISHES AT EACH FINISH LOCATION.
- ALL EXTERIOR BUILDING MATERIALS TO MATCH MANUFACTURER, MODEL AND COLOR AS SHOWN ON THE EXTERIOR FINISH SCHEDULE. A SAMPLE OF ALL SUBSTITUTIONS TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCUREMENT.
- ALL EXTERIOR PAINT TO HAVE EGGSHELL SHEEN. G.C. TO VERIFY WITH OWNER PRIOR TO PROCUREMENT.
- OWNER TO APPROVE WINDOW AND DOOR STYLES PRIOR TO PROCUREMENT.
- G.C. TO PROVIDE GUTTER AND DOWNSPOUTS ON A DESIGN/BUILD BASIS. DOWNSPOUTS TO BE CONNECTED TO THE UNDERGROUND STORM SEWER, RE: CIVIL DRAWINGS. GUTTER AND DOWNSPOUT LOCATIONS TO BE APPROVED BY OWNER. FINISH TO BE SELECTED BY OWNER.
- ALL ROOF FLASHING TO MATCH ADJACENT ROOFING FINISH.

KEYNOTES ELEVATIONS

NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET.

- COMPOSITE ROOF SHINGLES OVER 7/16" SOLARBORD.
- STANDING SEAM METAL ROOF. COLOR SELECTED BY OWNER
- HIGH CAPACITY DOME VENT, RE: A600.
- PRE-FINISHED GUTTER, OWNER TO SELECT PROFILE AND COLOR.
- PRE-FINISHED DOWNSPOUT, OWNER TO SELECT PROFILE AND COLOR.
- CEDAR WOOD EAVE BRACKETS
- MINIMUM 7/8" THICK, 3-COAT STUCCO SYSTEM.
- MINIMUM 7/8" THICK, 3-COAT STUCCO SYSTEM WITH COLOR AND V-GROOVES TO SIMULATE CASTSTONE
- PROPOSED LOCATION OF STUCCO CONTROL JOINTS.
- BRASS PLATE WITH BUILDING ADDRESS AS APPROVED BY AUTHORITY HAVING JURISDICTION AND OWNER.
- EMERGENCY LIGHT FIXTURE, WALL MOUNT, TYP.
- MODULAR BRICK, 7-5/8"L X 2-1/4"H X 3-5/8"D; 3/8" GROUT
- HVAC CONDENSER LOCTION, VERIFY WITH MECHANICAL CONTRACTOR AND OWNER
- NOT USED
- ENTRY DOOR SYSTEM WITH TEMPERED GLAZING. SURROUNDING DOORFRAME WITH TEMPERED GLAZING SIDELITES AND TEMPERED TRANSOM.
- MAN DOOR
- PRE-FINISHED ALUMINUM CANOPY SYSTEM, BY OTHERS
- WALL PACK LIGHT FIXTURE W/ EMERGENCY BATTERY BACKUP

EXTERIOR FINISH LEGEND

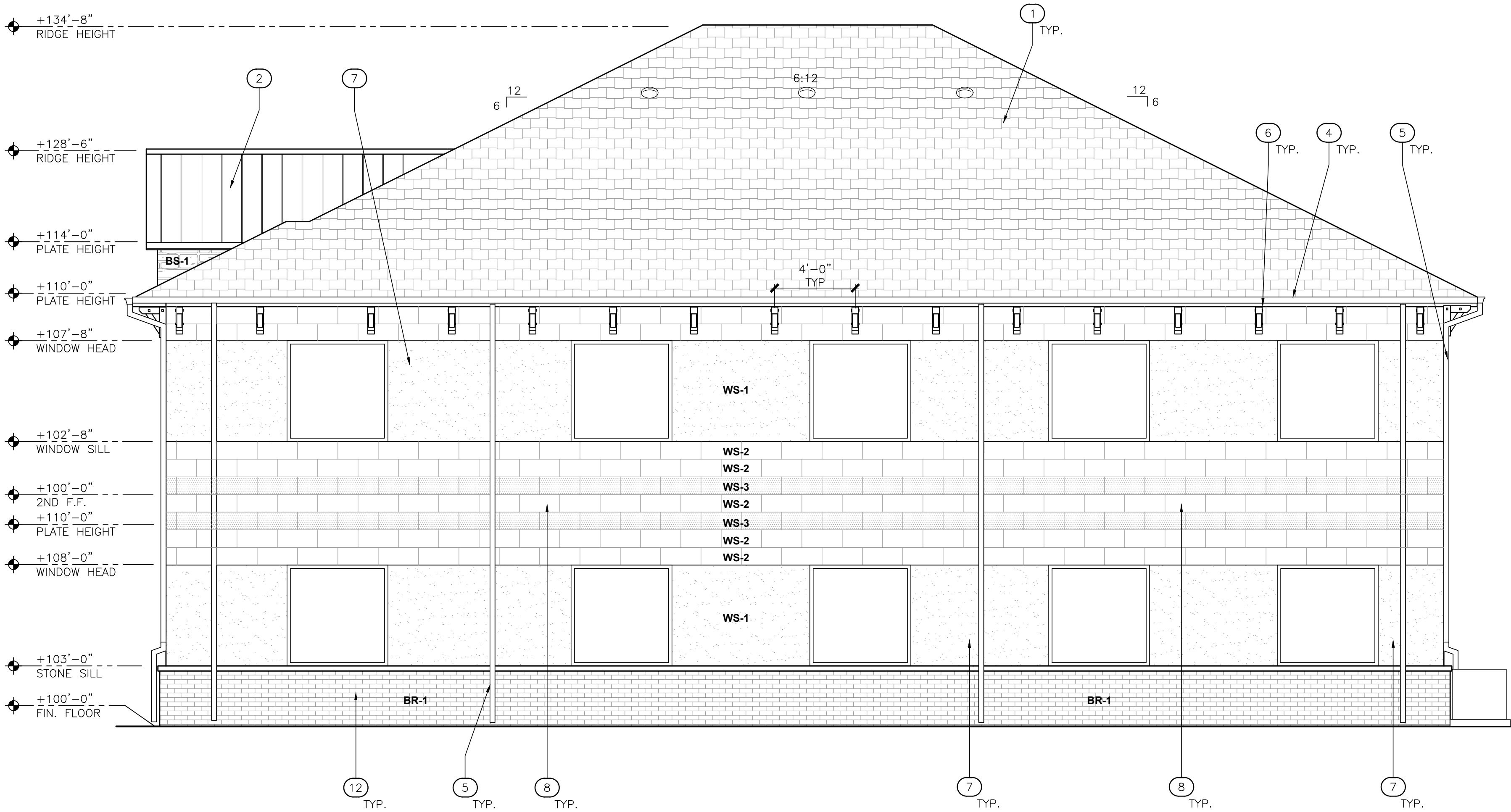
MARK	MATERIAL	COLOR	MANUF. / MODEL	REMARKS
BR-1	MODULAR BRICK	ONYX	TBD / 7-5/8"L x 2-1/4"H x 3-5/8"D	VERIFY COLOR W/ OWNER
BS-1	BUILDING STONE	BY OWNER	TBD / 6" DEPTH	VERIFY COLOR W/ OWNER
WS-1	7/8" 3-COAT STUCCO	BY OWNER	OWNER SELECTED	OWNER TO SELECT MODEL & COLOR
WS-2	7/8" 3-COAT STUCCO SIMULATE CAST STONE	LIGHT	TBD / 12"H x 24"W	VERIFY COLOR W/ OWNER
WS-3	7/8" 3-COAT STUCCO SIMULATE CAST STONE	DARK	TBD / 12"H x 24"W	VERIFY COLOR W/ OWNER

NOTE: ALL EXTERIOR GLASS TO BE 1" INSULATED; COLOR AND MODEL TO BE SELECTED BY OWNER.

ANY AND ALL BUILDING MOUNTED PARKING LIGHTING TO BE PROVIDED BY THE BUILDER ON A DESIGN/BUILD BASIS.

THE CONTRACTOR SELECTED LIGHT FIXTURE MUST BE SHIELDED AND FULLY COMPLY WITH THE BIXBY ZONING CODE SITE LIGHTING STANDARDS.

FOR CITY OF BIXBY SITE
PLAN APPROVAL ONLY



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CONSULTANT:

REVISIONS:

ISSUE DATE:

8.24.2023

SHEET NAME:

EXTERIOR
ELEVATIONS

SHEET #:

A301

DRAWN BY: DGP

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KEYNOTES ELEVATIONS

NOTE: NOT ALL KEYNOTES MAY BE USED ON THIS SHEET.

- COMPOSITE ROOF SHINGLES OVER 7/16" SOLARBORD.
- STANDING SEAM METAL ROOF. COLOR SELECTED BY OWNER
- HIGH CAPACITY DOME VENT, RE: A600.
- PRE-FINISHED GUTTER, OWNER TO SELECT PROFILE AND COLOR.
- PRE-FINISHED DOWNSPOUT, OWNER TO SELECT PROFILE AND COLOR.
- CEDAR WOOD EAVE BRACKETS
- MINIMUM 7/8" THICK, 3-COAT STUCCO SYSTEM.
- MINIMUM 7/8" THICK, 3-COAT STUCCO SYSTEM WITH COLOR AND V-GROOVES TO SIMULATE CASTSTONE
- PROPOSED LOCATION OF STUCCO CONTROL JOINTS.
- BRASS PLATE WITH BUILDING ADDRESS AS APPROVED BY AUTHORITY HAVING JURISDICTION AND OWNER.
- EMERGENCY LIGHT FIXTURE, WALL MOUNT, TYP.
- MODULAR BRICK, 7-5/8"L X 2-1/4"H X 3-5/8"D; 3/8" GROUT
- HVAC CONDENSER LOCTION, VERIFY WITH MECHANICAL CONTRACTOR AND OWNER
- NOT USED
- ENTRY DOOR SYSTEM WITH TEMPERED GLAZING. SURROUNDING DOORFRAME WITH TEMPERED GLAZING SIDELITES AND TEMPERED TRANSOM.
- MAN DOOR
- PRE-FINISHED ALUMINUM CANOPY SYSTEM, BY OTHERS
- WALL PACK LIGHT FIXTURE W/ EMERGENCY BATTERY BACKUP

EXTERIOR FINISH LEGEND

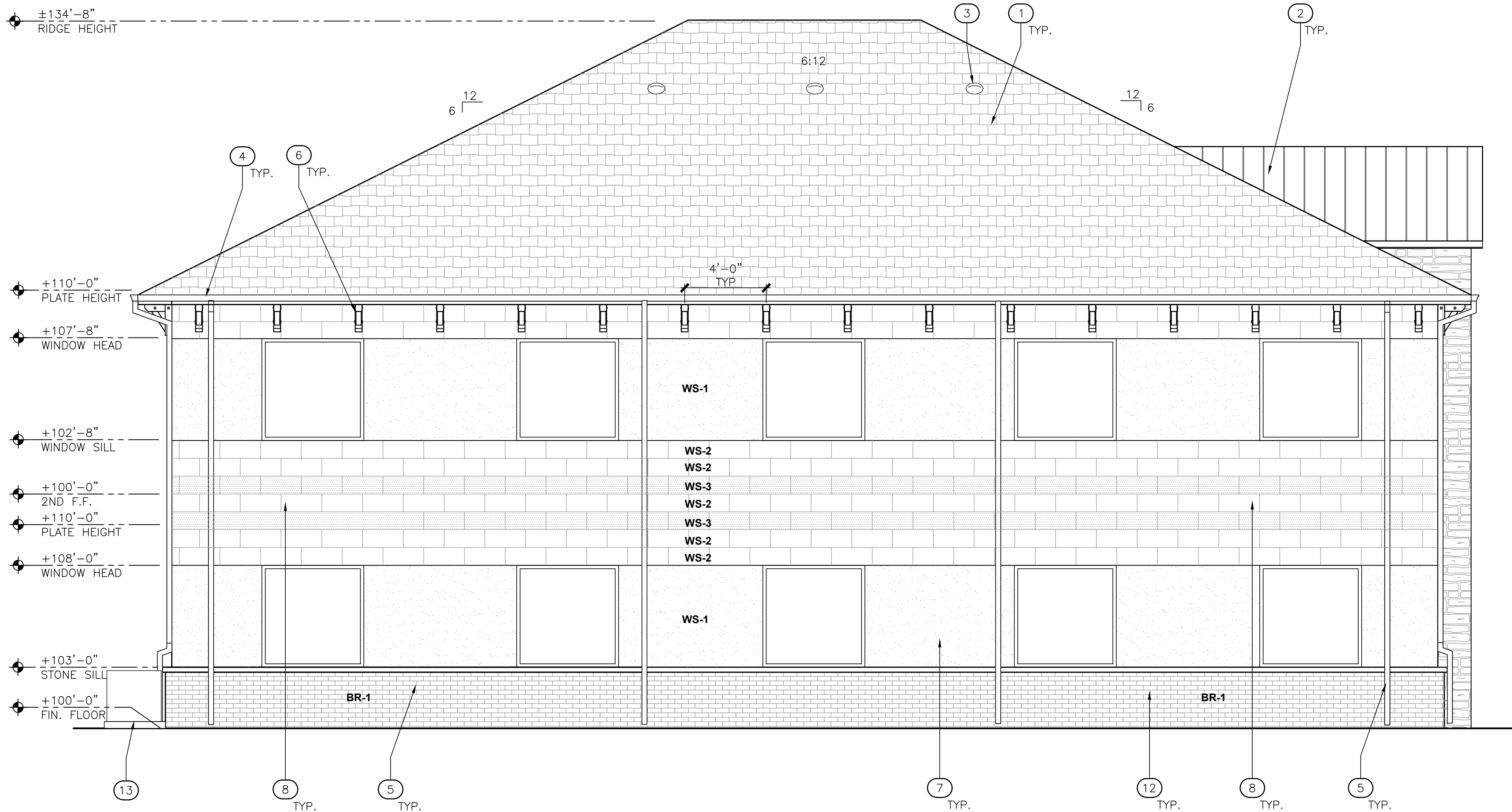
MARK	MATERIAL	COLOR	MANUF. / MODEL	REMARKS
BR-1	MODULAR BRICK	ONYX	TBD / 7-5/8"L x 2-1/4"H x 3-5/8"D	VERIFY COLOR W/ OWNER
BS-1	BUILDING STONE	BY OWNER	TBD / 6" DEPTH	VERIFY COLOR W/ OWNER
WS-1	7/8" 3-COAT STUCCO	BY OWNER	OWNER SELECTED	OWNER TO SELECT MODEL & COLOR
WS-2	7/8" 3-COAT STUCCO SIMULATE CAST STONE	LIGHT	TBD / 12"H x 24"W	VERIFY COLOR W/ OWNER
WS-3	7/8" 3-COAT STUCCO SIMULATE CAST STONE	DARK	TBD / 12"H x 24"W	VERIFY COLOR W/ OWNER

NOTE: ALL EXTERIOR GLASS TO BE 1" INSULATED; COLOR AND MODEL TO BE SELECTED BY OWNER.

ANY AND ALL BUILDING MOUNTED PARKING LIGHTING TO BE PROVIDED BY THE BUILDER ON A DESIGN/BUILD BASIS.

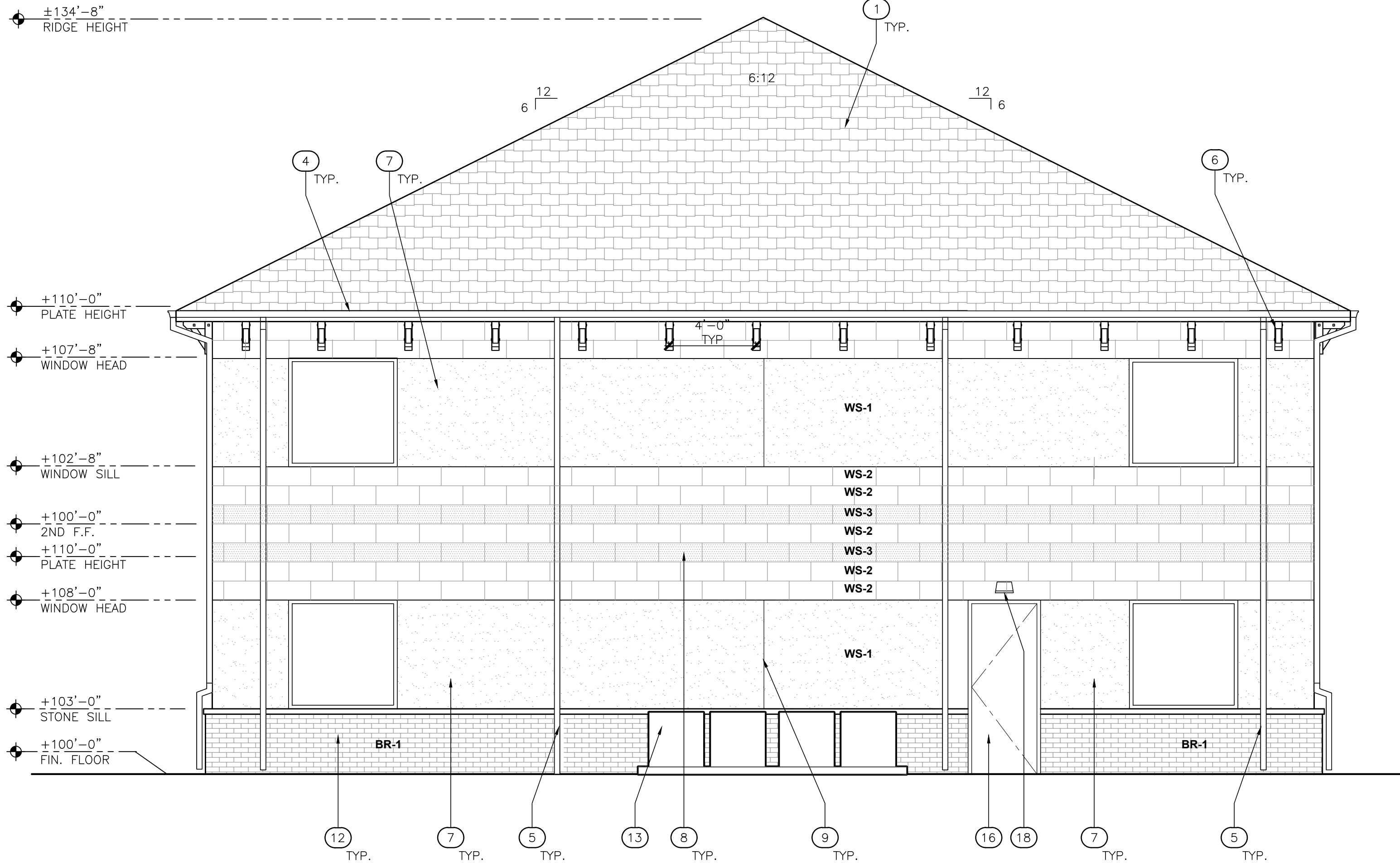
THE CONTRACTOR SELECTED LIGHT FIXTURE MUST BE SHIELDED AND FULLY COMPLY WITH THE BIXBY ZONING CODE SITE LIGHTING STANDARDS.

FOR CITY OF BIXBY SITE
PLAN APPROVAL ONLY



2 WEST ELEVATION

SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



wdesign
ARCHITECTURE & INTERIORS
608 East 3rd Street
Tulsa, OK 74120
Office: 918.794.6616
Fax: 918.794.6602
www.wdesignsite.com

SEAL:

PROJECT:

MARLEE
OFFICE #4
(BIXBY)

PROJECT #
23154
7619 EAST 126TH
STREET SOUTH
BIXBY, OK
74008

CONSULTANT:

REVISIONS:

ISSUE DATE:

8.24.2023

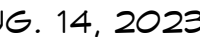
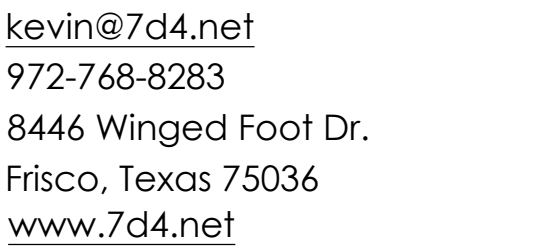
SHEET NAME:

EXTERIOR
ELEVATIONS

SHEET #:

A302

DRAWN BY: DGP



Courts and Commons
7921 E. 119th Drive
Bixby, Oklahoma

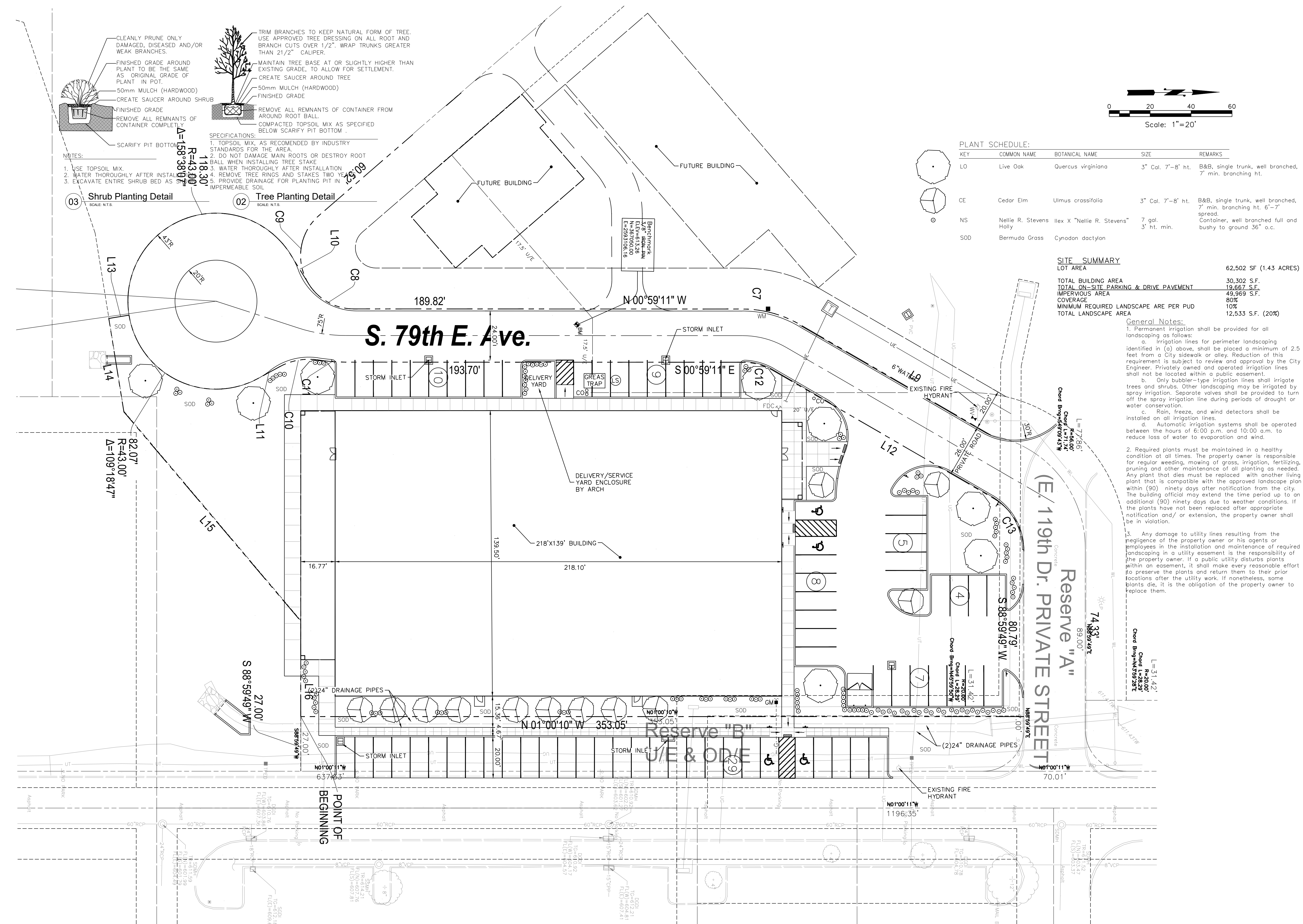
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LANDSCAPE PLAN

L100

Aug. 14, 2023

Copyright 2023 by seven d four



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S. MEMORIAL DR.

60' DEDICATED RIGHT-OF-WAY

10' RIGHT-OF-WAY TO BE DEDICATED
TIE-IN TO EXISTING SIDEWALK

TIDAL WAVE ADDITION
LOT 1 BLOCK 1

ACCESS ROAD PER DESIGN DOCUMENTS "PRIVATE ROADWAY", DATED 04/11/2023, CREATED BY OLSSON INC.

LOT 2
±1.04 ACRES (45,286 S.F.)

ARBY'S
±2,364 FT²
F.F.E. = 607.00

LOT 1
±0.85 ACRES (36,976 S.F.)

UNPLATTED
JOY M & NOAH W. EASTON JR.

UNPLATTED
JOY M & NOAH W. EASTON

LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY
	EXISTING SETBACK
	EXISTING TREE LINE
	EXISTING FENCE LINE
	EXISTING ROADWAY CENTERLINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED ASPHALT
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED CONCRETE
	PROPOSED STRIPING
	PROPOSED SIDEWALK
	PROPOSED BLACK CONCRETE
	ACCESSIBLE ROUTE

KEY NOTES:

(A)	STANDARD DUTY ASPHALT PAVEMENT
(B)	HEAVY DUTY ASPHALT PAVEMENT
(C)	CONCRETE PAVEMENT
(D)	PROPOSED DIRECTIONAL SIGNAGE
(E)	CONCRETE SIDEWALK
(F)	CONCRETE CURB
(G)	CONCRETE CURB AND WALK
(H)	ACCESSIBLE CURB RAMP
(I)	ACCESSIBLE PARKING SIGNAGE
(J)	ACCESSIBLE PARKING PAVEMENT MARKINGS
(K)	PRECAST CONCRETE WHEELSTOP
(L)	PAVEMENT STRIPING, 4" SOLID
(M)	BOLLARD
(N)	MENU BOARD, ORDER CONFIRMATION, AND CANOPY
(O)	CLEARANCE BAR
(P)	DUMPSTER ENCLOSURE; COORDINATE DETAIL WITH ARCHITECTURAL PLANS
(Q)	ROLL CURB
(R)	PAVEMENT STRIPING, 24" STOP BAR
(S)	LIGHT POLE; COORDINATE WITH PHOTOMETRIC PLAN
(T)	STOP SIGN
(U)	PROPOSED SIGNAGE

REFERENCE

EXISTING INFORMATION IS SPECULATIVE IN NATURE ONLY AND SHOULD NOT BE CONSTRUED AS FACT. CEC, INC. DOES NOT WARRANT ANY OF THE EXISTING INFORMATION SHOWN. PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, STORM SEWER AND SANITARY SEWER, FORCE MAIN, ELECTRIC, TELECOM. ANY CONFLICTS THAT OCCUR DURING CONSTRUCTION SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER.

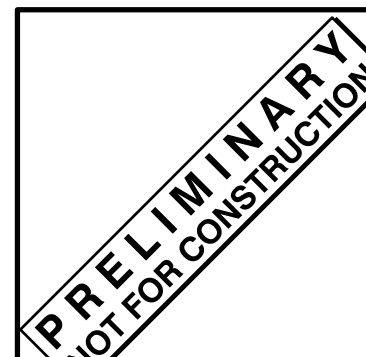
SITE INFORMATION

PARCEL NUMBER:	9731373-13-16970
CURRENT ZONING:	IL, INDUSTRIAL LIGHT DISTRICT
PROPOSED ZONING:	CS, SHOPPING CENTER DISTRICT
LOT AREA:	0.82 ACRES
INTERNAL BUILDING AREA:	2,364 FT ²
BUILDING HEIGHT:	23.0 FT
ADJOINER ZONING:	CS, SHOPPING CENTER DISTRICT CG, COMMERCIAL GENERAL DISTRICT IL, INDUSTRIAL LIGHT DISTRICT IL, INDUSTRIAL LIGHT DISTRICT
PROPOSED USE:	NEW QUICK-SERVE RESTAURANT (ARBY'S)
BUILDING SETBACKS	
FRONT	60' REQUIRED 82' PROVIDED
SIDE	0' REQUIRED 33' PROVIDED
REAR	0' REQUIRED 91' PROVIDED
PARKING DATA	
REQUIRED FRONT PARKING SETBACK	15 FT
PROVIDED PARKING SPACES	34 SPACES

GENERAL SITE LAYOUT NOTES:

- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATIONS FOR EACH UTILITY BEFORE WORK IS STARTED. THE CONTRACTOR SHALL NOTIFY IN WRITING THE OWNER OR THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES, INCLUDING IRRIGATION SLEEVING, PRIOR TO INSTALLATION OF PAVED SURFACES.
- SITE WORK CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH TO ALL SURFACES. SITE WORK CONCRETE SHALL BE CLASS A (4,000 PSI @ 28 DAYS) UNLESS OTHERWISE NOTED.
- ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
- SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH THE CITY OF WESTFIELD. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE OWNER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO: INCREASED IMPERVIOUS PAVEMENT, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, LANDSCAPING, ETC.
- EXISTING CONDITIONS AS SHOWN ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- ALL RADII AND OTHER DIMENSIONS FOR 6" STANDING CURB AND CONCRETE CURB AND WALK ARE TO THE FACE OF CURB AND/OR EDGE OF WALK.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK OR FACING MATERIAL, WHERE APPLICABLE.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL SIDEWALK CURB AND GUTTER STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMP, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ENGINEER OF ANY UNACCEPTABLE AREAS.
- SIDEWALK EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTIONS AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES AND CONTROL JOINTS ARE TO BE EQUALLY SPACED BETWEEN EXPANSION JOINTS AND PERPENDICULAR TO SIDEWALKS AT 5' INTERVALS OR LESS WITH AN EXPANSION JOINT EVERY 30' OR LESS.
- PARKING SPACE STRIPES SHALL BE 4 INCHES WIDE. YELLOW OR WHITE STRIPES SHALL BE PROVIDED AT OWNER'S PREFERENCE UNLESS OTHERWISE SHOWN.
- UNLESS OTHERWISE SHOWN, PERMANENT SIGNS SHALL BE MOUNTED ON A SINGLE U-CURB DRIVE POST DRIVEN 42 INCHES BELOW GRADE. THE BOTTOM EDGE OF THE SIGN SHALL BE 6 FEET ABOVE THE NEAREST PAVEMENT EDGE ELEVATION.
- ALL EXCAVATED AREAS TO BE SEEDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED/SEEDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE TRAFFIC BY CONTRACTORS, SUBCONTRACTORS OR SUPPLIERS HAVE DAMAGED EXISTING PAVEMENT, LAWNS OR OTHER IMPROVEMENTS DURING CONSTRUCTION. AFTER CONSTRUCTION WORK IS COMPLETE.
- ALL UTILITY TRENCHES WITHIN 5 FEET OF PAVEMENT SHALL BE COMPLETELY BACKFILLED WITH GRANULAR BACKFILL.
- FOR PROPOSED UTILITY LOCATIONS, SEE THE UTILITY PLAN.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.

SCALE IN FEET
0 20' 40'



DRAWING NO.:

C200

SHEET OF

SITE PLAN

DATE: 06/28/2023
DWG SCALE: 1"=20'
PROJECT NO: 327-254
MCL
MAT
327-254

FLYNN RESTAURANT GROUP, LLC.

ARBY'S

14985 S MEMORIAL DR
BIXBY, OK 74008

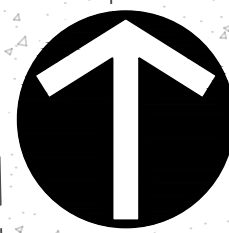
REVISION RECORD

DESCRIPTION

NO. DATE

Civil & Environmental Consultants, Inc.
11 Municipal Drive · Suite 300 · Fishers, IN 46038
Ph: 317.655.7777 · 877.746.0749 · Fax: 317.655.7778
www.cecinc.com

A:\320-0001\327-2541 - CADD\DWG\LOT1\327254-001-C700.dwg(270) LS(8/15/2023) - mhw - LP: 8/23/2023 8:07 AM



NORTH

S. MEMORIAL DR.

60' DEDICATED RIGHT-OF-WAY

CONTRACTOR TO HYDROSEED ALL AREAS IN R.O.W. WITH PERMANENT MOWABLE TURF TYPE SEED MIX

10' RIGHT-OF-WAY TO BE DEDICATED

TIDAL WAVE ADDITION
LOT 1 BLOCK 1

LOT 2
±1.04 ACRES (45,286 S.F.)

ACCESS ROAD PER DESIGN DOCUMENTS "PRIVATE ROADWAY", DATED 04/11/2023, CREATED BY OLSSON INC.

SANITARY SEWER LINE PER DESIGN DOCUMENTS "SANITARY SEWER", DATED 03/24/2023, CREATED BY OLSSON INC.

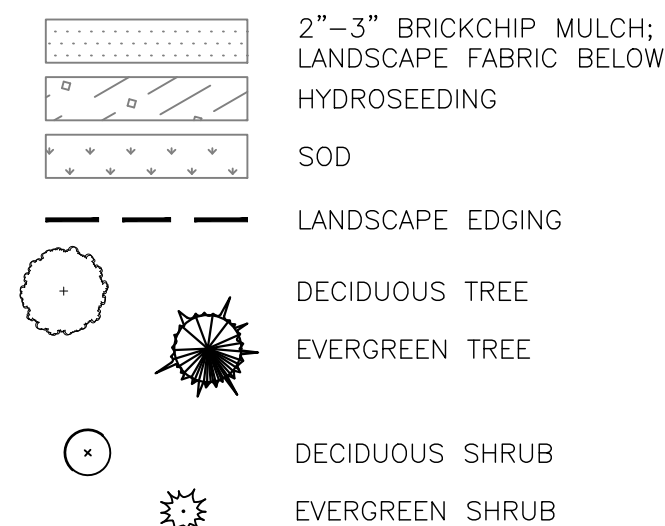
NOTE:
REFER TO SHEET C701 FOR PLANT SCHEDULE AND PLANTING DETAILS

LOT 1
±0.85 ACRES (36,976 S.F.)

UNPLATTED
JOY M & NOAH W. EASTON JR.

UNPLATTED
JOY M & NOAH W. EASTON JR.

LANDSCAPE LEGEND - PROPOSED



GENERAL LANDSCAPE NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- CONTRACTOR SHALL REQUEST UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORK. VERIFY ALL EXISTING UTILITIES AND CONDITIONS PRIOR TO ANY EXCAVATION AT LEAST 72 HOURS PRIOR TO LANDSCAPE INSTALLATION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- NO CHANGES TO THE SITE LANDSCAPE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. PLANT MATERIAL DELIVERED TO SITE SHALL BE STORED IN SECURE LOCATION NOT IN CONFLICT WITH OTHER CONSTRUCTION OPERATIONS AND MAINTAINED UNTIL TIME OF INSTALLATION.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN ASSOCIATION OF NURSERY STOCK, ANSI Z60.1-2004", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
- ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED AT GRADE LEVEL.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE OR SHRUB.
- WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- CONTRACTOR TO REMOVE ALL LANDSCAPE DEBRIS FROM PLANTING OPERATIONS FROM THE PROJECT SITE. NO OPEN BURNING SHALL BE PERMITTED ON SITE.
- THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED AND PLANTING BEDLINE OUTLINES DEFINED FOR APPROVAL BY OWNER(S).
- THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE TIME OF SUBSTANTIAL COMPLETION OF PROJECT. AT THE END OF THIS PERIOD, ANY PLANT MATERIAL DEEMED UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL TAKE PRECEDENCE.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- STAKES AND OR GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR OF INSTALLATION.
- ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT, WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO OWNER.
- IF PLANT SPECIES SPECIFIED ARE FOUND TO BE UNAVAILABLE OR NOT IN SUFFICIENT QUANTITIES AT TIME OF PLANTING, THE CONTRACTOR MAY SUBSTITUTE SPECIES UPON WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- IRRIGATION TO BE PROVIDED FOR ALL PROPOSED PLANTINGS; CONTRACTOR TO COORDINATE INSTALLATION.
- LANDSCAPING SHALL BE SUBSTANTIALLY INSTALLED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMIT FOR THE PRINCIPAL STRUCTURE ON LOT. WEATHER PERMITTING, OR, IN THE EVENT OF ADVERSE WEATHER CONDITIONS, WITHIN NINETY (90) DAYS FOLLOWING THE COMMENCEMENT OF THE NEXT SUCCESSIVE PLANTING SEASON FOLLOWING ISSUANCE OF OCCUPANCY PERMIT.
- ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 60 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, WEED REMOVAL, MULCHING, MOWING AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF PLANTINGS AND TURF AREAS.

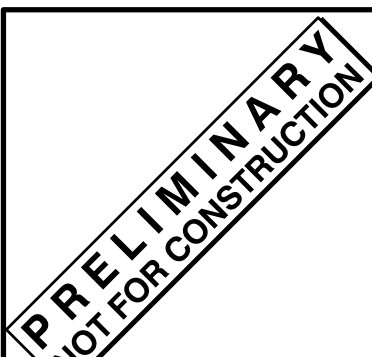
PLANTING SOIL PREPARATION NOTES:

- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- MIX SOIL AMENDMENTS AS SPECIFIED ON PLANTING DETAILS. MIX FERTILIZERS WITH TOPSOIL AT RATE INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE.
PROVIDE SPECIFIED FERTILIZER AT A RATE OF:
SHADE TREE: 2 POUNDS PER INCH OF CALIPER
SMALL TREE: 1 POUND PER INCH OF CALIPER
- FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.
APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES AND THOROUGHLY MIX INTO UPPER 2" OF TOPSOIL. PROVIDE SPECIFIED FERTILIZER AT THE FOLLOWING RATES:
SHRUBS: 1/4 POUND PER FOOT HEIGHT OR SPREAD
EVERGREENS: 1/8 POUND PER FOOT HEIGHT OR SPREAD
HERBACEOUS PLANTS: 1/8 POUND PER PLANT.
- FOR PARKING LOT ISLANDS EXCAVATE MIN. 24" DEPTH TO REMOVE ALL CONSTRUCTION DEBRIS. BACKFILL WITH BLENDED MIX OF 60% TOPSOIL, 30% COMPOST AND 10% SAND MIX. COMPACT BACKFILL IN 8" LIFTS TO PREVENT SETTLING AFTER PLANT INSTALLATION.
- GROUND COVER AND PERENNIAL PLANT BED PREPARATION: TILL SOIL IN BEDS TO A MINIMUM DEPTH OF 8" AND MIX WITH SPECIFIED FERTILIZERS. USED FERTILIZER AT A RATE OF 2 POUNDS PER 100 SQ.FT.
- FINAL GRADING AND PLACEMENT OF TOPSOIL FOR TURF & PLANTING AREAS:
A. LOOSEN SUBGRADE AND TURF AREAS TO A MINIMUM DEPTH OF 4" - 6". REMOVE STONES MEASURING OVER 1-1/2" IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH AND OTHER EXTRANEEOUS MATTER. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION.
B. SPREAD TOPSOIL TO MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES, AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT.
C. MINIMUM DEPTH OF TOPSOIL SHALL BE 4" UNLESS OTHERWISE INDICATED. IN TREE AND SHRUB AREAS THERE SHALL BE 18"-24" TOPSOIL AROUND THE PLANT, AT LEAST IN AN AREA EQUAL TO THE PLANT'S MATURE CANOPY SIZE.
D. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF TOPSOIL REQUIRED, WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER AND THEN PLACE REMAINDER OF TOPSOIL.
E. ALL TURF AREAS ADJACENT TO WALKS, CONTRACTOR TO HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION.
F. AREAS ADJACENT TO STRUCTURES AND CURB ISLANDS, SHALL BE FREE OF GRAVEL AND DEBRIS, LOOSE COMPACTED HARDPAN - MIN. DEPTH OF 18" BEFORE PLACEMENT OF TOPSOIL.

ADDITIONAL SITE SPECIFIC LANDSCAPE NOTES:

- ALL SHRUB PLANTING AREAS TO RECEIVE MIN. 3" DEPTH OF BRICK CHIP MULCH. COLOR: DEEP RED. SIZE RANGE FROM 3/4" TO 1" IN SIZE. CONTRACTOR TO PROVIDE A SAMPLE FOR APPROVAL.
- CONTRACTOR TO PROVIDE A SPADE CUT EDGE PER DETAIL ALONG ALL SHRUB BEDS. EDGING SHOULD OVERLAP SUFFICIENTLY TO ALLOW PROPER SEPARATION.
- CONTRACTOR TO PROVIDE A 5 OZ UV RESISTANT WOVEN GEOTEXTILE LANDSCAPE FABRIC AND STAPLES TO ALL MINERAL MULCH AREA.
- CONTRACTOR TO PROVIDE AN APPROVED PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS AT A RATE SPECIFIED BY MANUFACTURER.
- CONTRACTOR TO PROVIDE A FULLY AUTOMATED IRRIGATION SYSTEM WITH CONTROLLER AND APPLICABLE MOISTURE (RAIN) SENSOR LOCATED TO RECEIVE DIRECT RAINFALL. IRRIGATION SYSTEM SHALL COMPLY WITH ALL STATE/CITY/LOCAL PLUMBING CODE REQUIREMENTS. VERIFY LOCATION OF WATER METER AND POINT OF CONNECTION. ALL PLANTINGS SHALL HAVE 100% FULL COVERAGE WITH IRRIGATION. PROVIDE ONE BUBBLER PER TREE AND OR DRIP/SPRAY MECHANISMS FOR SHRUB/PERENNIAL AND GRASS/TURF AREAS.
- THE IRRIGATION SYSTEM WILL OPERATE WITH SEPARATE VALVE ZONES FOR TURF AREAS AND SHRUB PLANTING AREAS WHERE EFFICIENCY OF SEPARATION ALLOWS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY OPERATING/DYNAMIC PRESSURES.
- CONTRACTOR TO COORDINATE THE LOCATION OF SEPARATE BACKFLOW PREVENTER FOR THE IRRIGATION AND AUTOMATIC CONTROLLER WITH OWNER/ARCHITECT. ALL CONTROLLERS SHALL BE IN A LOCKABLE BOX AND BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.
- THE IRRIGATION SYSTEM WILL BE DESIGNED TO MINIMIZE THE APPLICATION OF WATER TO IMPERVIOUS AREAS, ADJACENT PROPERTIES, NON-IRRIGATED AREAS, WALKS, ROADWAYS OR STRUCTURES.
- CONTRACTOR TO MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS IN THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER UPON COMPLETION.

SCALE IN FEET
0 20' 40'



DRAWING NO.:

C700

SHEET OF

LANDSCAPE PLAN

DATE: 08/29/2023
DWG SCALE: 1"=20'
PROJECT NO: 327-254
DRAWN BY: BRF
CHECKED BY: NAT
APPROVED BY:

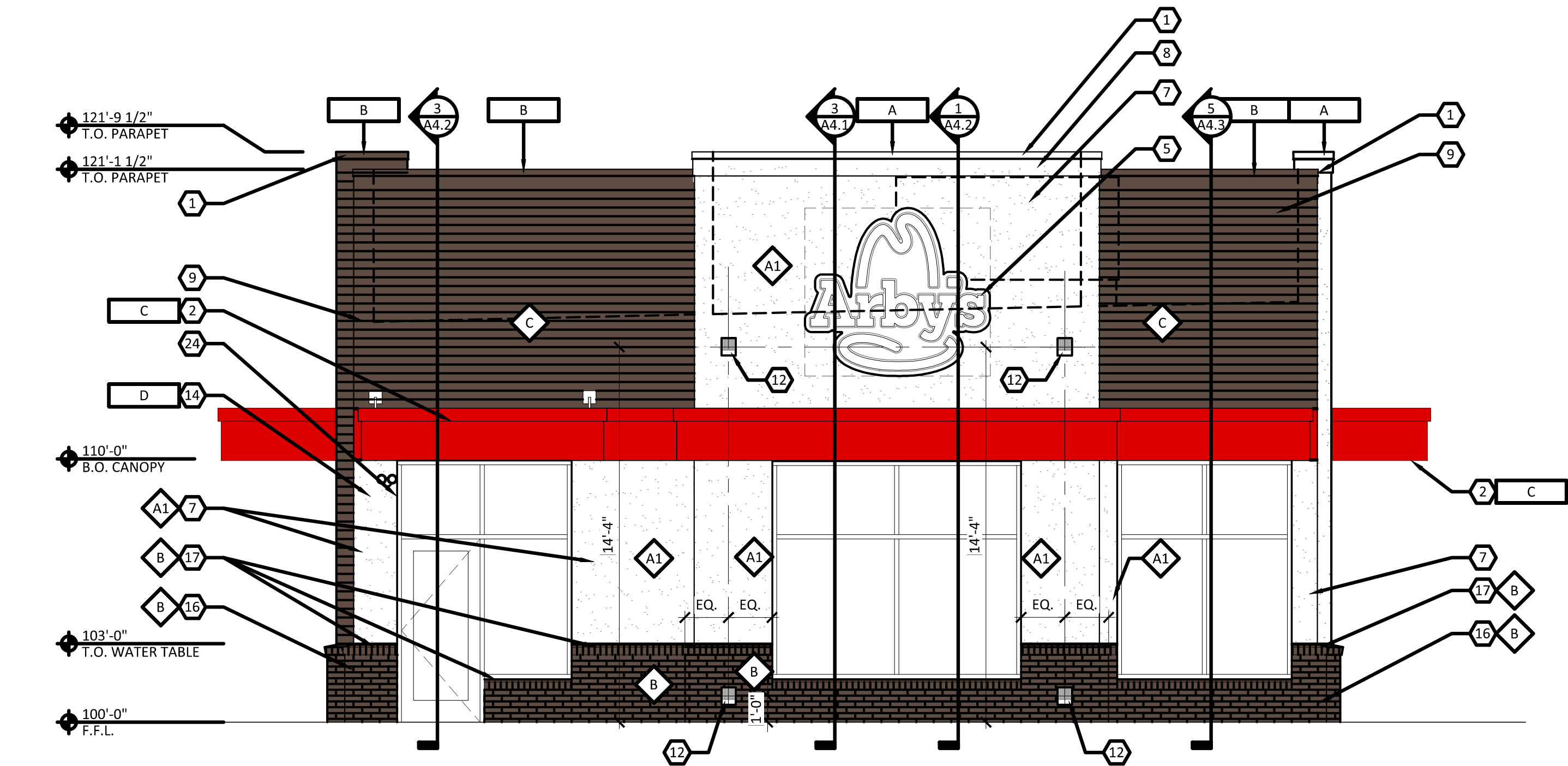
FLYNN RESTAURANT GROUP, LLC.
ARBY'S
14985 S MEMORIAL DR
BIXBY, OK 74008



Civil & Environmental Consultants, Inc.
11 Municipal Drive - Suite 300 - Fishers, IN 46038
Ph: 317.655.7777 · 877.746.0749 · Fax: 317.655.7778
www.cecinc.com

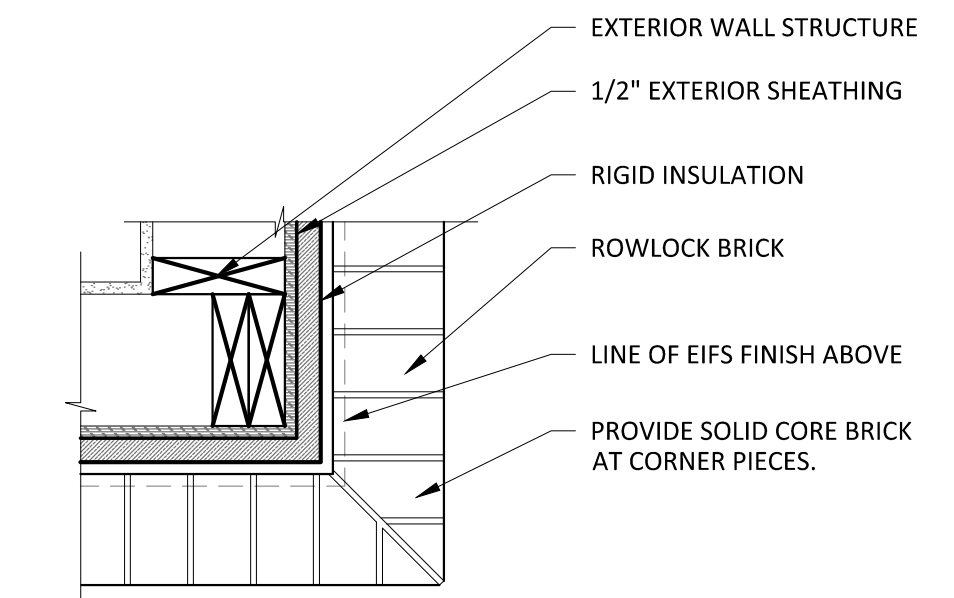
REVISION RECORD

NO.	DATE	DESCRIPTION

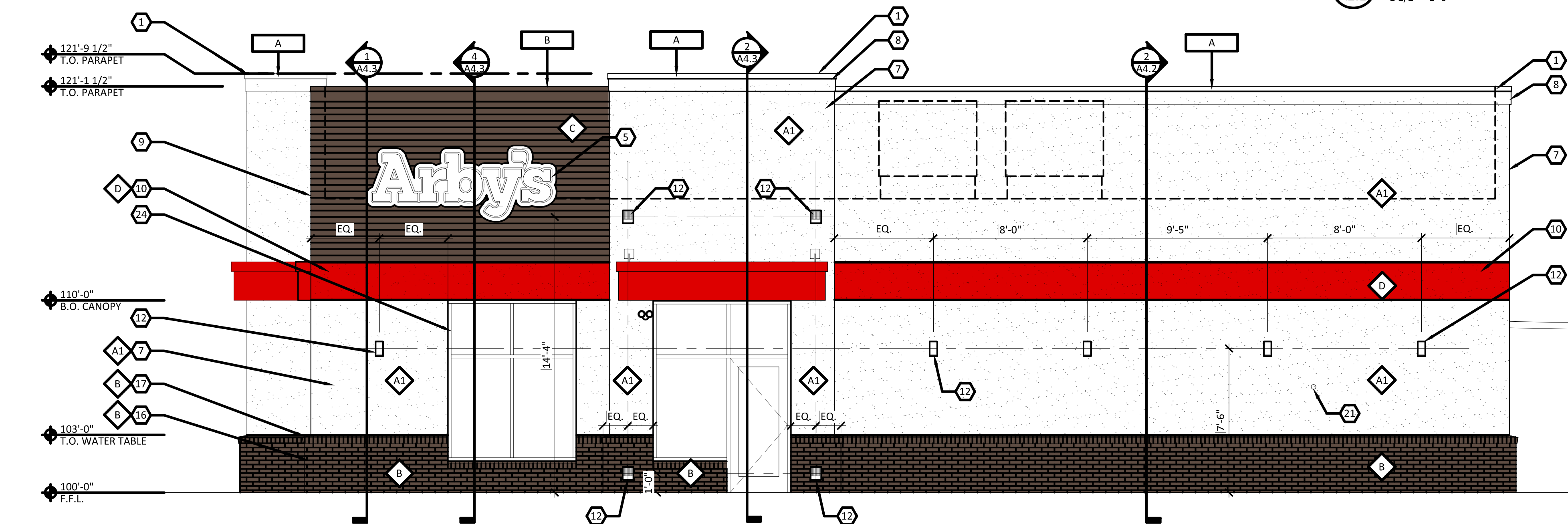


1
A2.1
WEST ELEVATION
1/4" = 1'-0"

CODED NOTES		(X)	(ALL CODED NOTES MAY NOT BE USED)
1.	PRE-FINISHED METAL COPING.		
2.	PRE-FABRICATED METAL CANOPY/ACCENT BAND.		
3.	CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.		
4.	NOT USED.		
5.	ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.		
6.	PAINT DOOR AND FRAME.		
7.	NEW EIFS WALL SYSTEM.		
8.	EIFS CORNICE.		
9.	EIFS WALL SYSTEM WITH 4" O.C. V-GROOVE REVEALS.		
10.	PAINTED ACCENT BAND, ALIGN WITH METAL ACCENT BAND.		
11.	DRIVE THRU WINDOW.		
12.	WALL MOUNTED LIGHT FIXTURE.		
13.	PAINT BOLLARD.		
14.	PRE-FABRICATED METAL POST FOR CANOPY.		
15.	ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K"		
16.	BRICK VENEER.		
17.	BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS & JAMBS. REFER TO DETAIL 3/A2.1.		
18.	WALL MOUNTED LIGHT FIXTURE W/EMERGENCY BATTERY BACKUP.		
19.	ELECTRICAL EQUIPMENT.		
20.	GAS METER.		
21.	GREASE OUTLET.		
22.	Co2 HOOKUP.		
23.	COOLER/FREEZER, PRE-FINISHED TO MATCH PAINT "K".		
24.	ALUMINUM STOREFRONT.		
25.	PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 7/A1.3.		
26.	CONTINUE BRICK VENEER BEHIND ELECTRIC EQUIPMENT. COORDINATE SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND ELECTRICAL EQUIPMENT.		



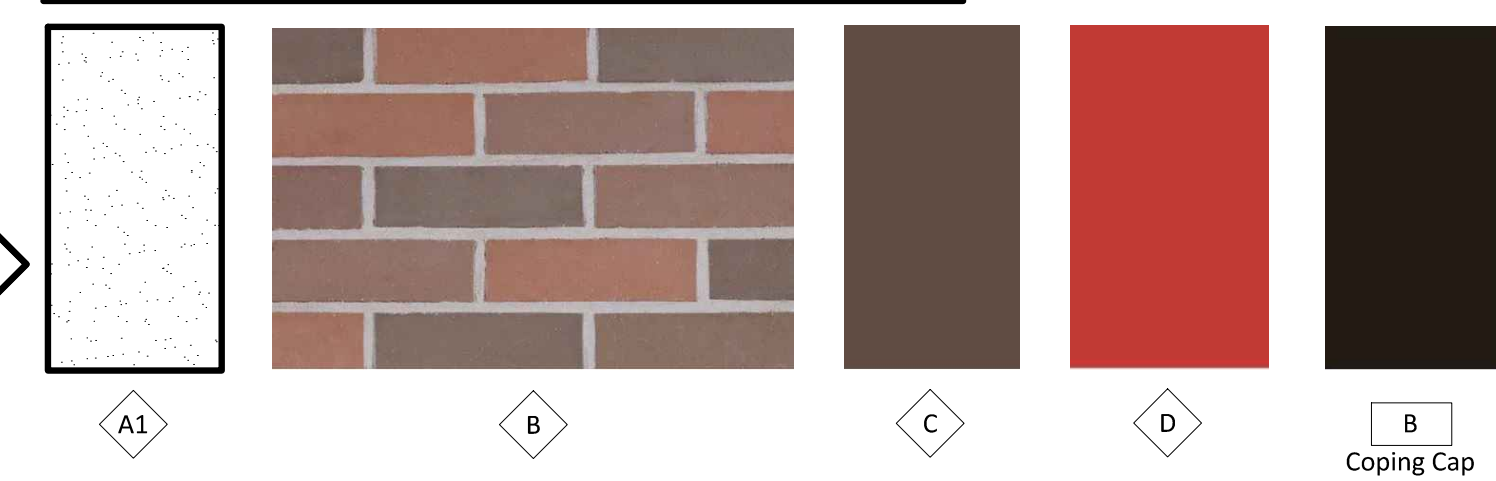
3
A2.1
DETAIL @ BRICK CORNER
1 1/2" = 1'-0"



2
A2.1
SOUTH ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	DRYVIT	EIFS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH CEMEX 36-A MOCHA, TYPE N
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
I	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH
METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING BONE WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING MIDNIGHT BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---
A. PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.			
B. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.			
C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.			
D. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.			
E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.			
F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.			
G. ALUMINUM STOREFRONT TO BE DARK BRONZE.			
H. ALL GLAZING TO BE 1" INSULATED GLAZING.			
I. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.			
J. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.			
K. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.			
L. PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.			
M. ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.			
N. PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.			
O. ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH, U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)			
P. THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).			
Q. PROVIDE A KNOX BOX PER LOCAL FIRE DEPARTMENT STANDARDS.			

COLOR & MATERIAL SAMPLES



Preliminary
Not for Construction

White Design Group, P.C.
Architectural and Interiors Consulting
5801 EAST 41ST STREET, SUITE 712, TULSA, OKLAHOMA 74135



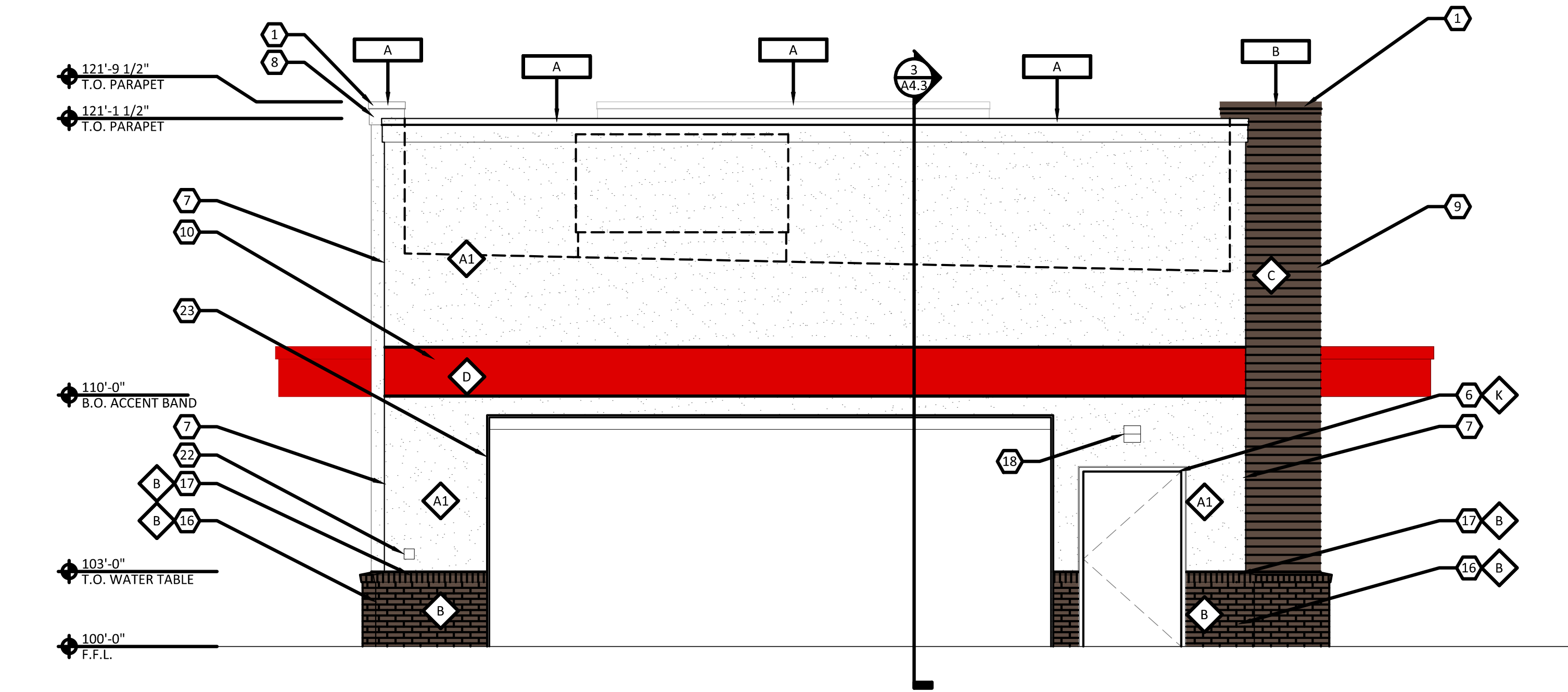
NEW RESTAURANT FOR:
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14985 SOUTH MEMORIAL DRIVE
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FOR
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6200 OAK TREE BLVD, INDEPENDENCE, OH 44131

PROJECT NUMBER:	
ISSUE	DATE
PRELIMINARY	08-31-2023
REVISION	

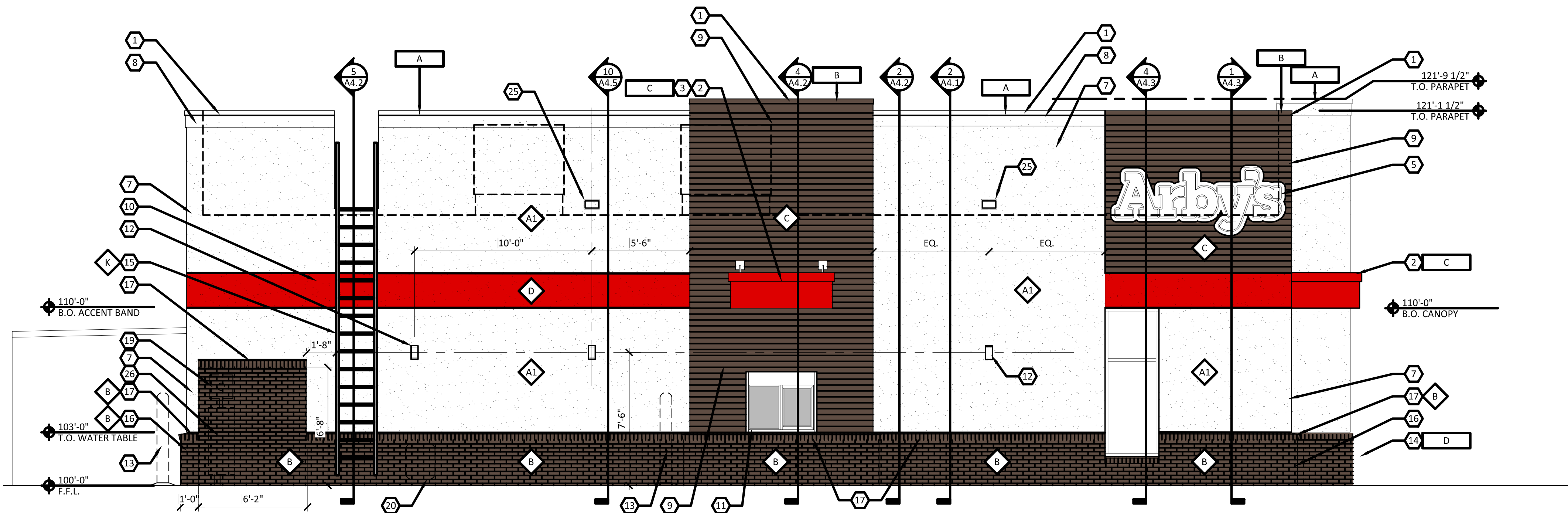
EXTERIOR ELEVATIONS

SHEET:

A2.1



1
A2.2
EAST ELEVATION
1/4" = 1'-0"



2
A2.2
NORTH ELEVATION

CODED NOTES

(ALL CODED NOTES MAY NOT BE USED)

1. PRE-FINISHED METAL COPING.
2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.
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4. NOT USED.
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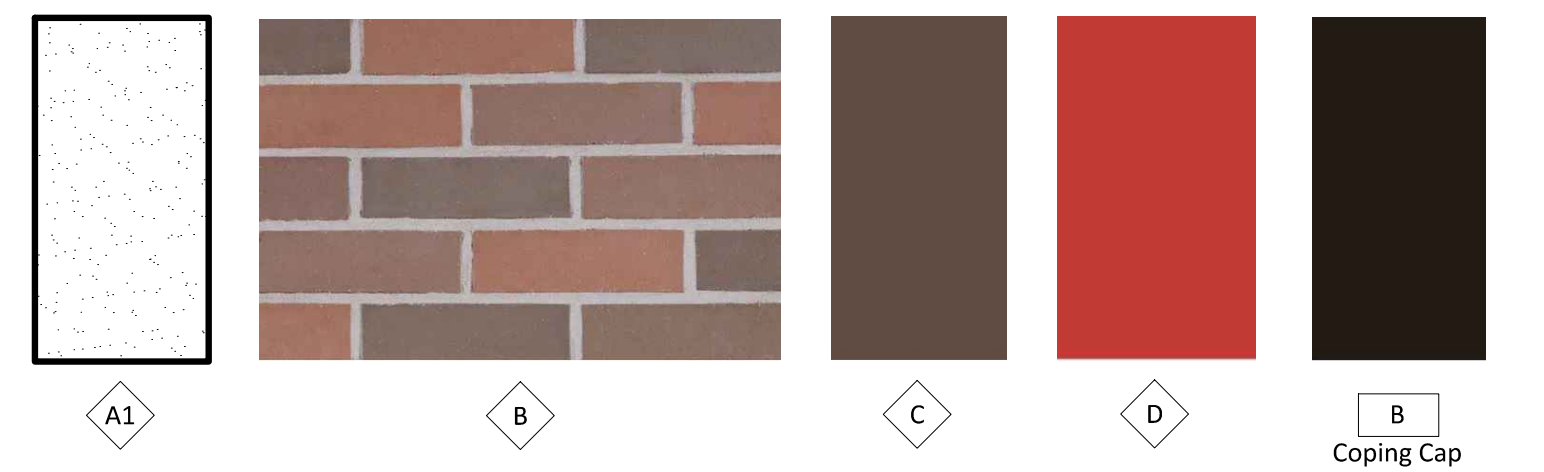
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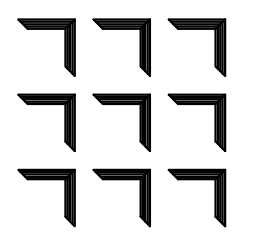
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PROJECT NUMBER:	
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EXTERIOR
ELEVATIONS

SHEET:

A2.2