

Bixby Technical Advisory Committee Meeting Agenda

**Location Changed To:
Zoom- Online Meeting**

Wednesday, January 4, 2023 | 10:00 A.M.

Technical Advisory Committee Members

David Segala - A.E.P.-P.S.O.
Steve Williams - A.E.P.-P.S.O.
Aaron Smith - A.E.P.-P.S.O.
Kevin Bender - A.T.&T.
Richard Gann - B.T.C. Broadband
Tony Gonzalez - B.T.C. Broadband
Susan Bevard - B.T.C. Broadband
Chad Jones - B.T.C. Broadband
Rob Miller - Bixby Public Schools
Lydia Wilson - Bixby Public Schools
Bea Aamodt - Bixby Public Works Director
Gwen Plante - Bixby Assistant City Planner
Jon Brown - Bixby Special Projects
Heath Wright - Bixby Utilities & Water
Mike Butler - Bixby Fire Chief
Nicholas Flanary - Bixby Fire Marshal

Richard Hakel - Cox
Loyda Mercado - Cox
Jeannette Davis - Cox
Christopher Long - Cox R.O.W. Agent
Marty Lademan - Creek County R.W.D. #2
Cynthia Hubbell - Creek County R.W.D. #2
Katherine Russell - East Central Electric
Caleb Brenneke - East Central Electric
Steve Whitehouse - O.G. & E.
Dewayne Perry - O.G. & E.
Keith Melson - O.G. & E.
Brandon Rainbolt - O.N.G.
Donald Kafer - O.N.G.
Chris Stobaugh - U.S.P.S. Bixby
Aaron Grodi - Windstream
Joel Ostrenga - Windstream

1. B.X.S.P. - 23.01 Scooter's Coffee #969 Site Plan

Applicant, ALJ Lindsey

Discussion and review of site plan for Scooter's Coffee #969.

General Location: East of S Memorial Dr & South of E 148th St S

2. B.X.P.T. - 23.01 Scooter's at Market Square Preliminary Plat

Applicant, ALJ Lindsey

Discussion and review of Preliminary Plat, Scooter's at Market Square, 1.95 Acres, Two (2) Lots, One (1) Block, a replat of Lot 1, Block 3, Bishop Market Square for the purpose of commercial development, in Section 13, Township 17 North, and Range 13 East

General Location: East of S Memorial Dr & South of E 148th St S

Agenda | Bixby Technical Advisory Committee | January 4, 2023 | Page 1 of 2

Persons who require a special accommodation to participate in this meeting should contact Justin Dowd, City Engineer, 116 West Needles Avenue, Bixby, Oklahoma, 918-366-4430, or email [Justin Dowd](mailto:JDowd@BixbyOK.gov) (JDowd@BixbyOK.gov) as far in advance as possible and preferably at least 48-hours before the date of the meeting. Persons using a Telecommunications Device for the Deaf (T.D.D.) may contact **Oklahoma Relay** at 1-800-722-0353 and voice calls should be made to 1-800-522-8506 to communicate via telephone with hearing telephone users and vice versa.

3. B.X.P.T. - 23.01 Scooter's at Market Square Final Plat

Applicant, ALJ Lindsey

Discussion and review of Final Plat, Scooter's at Market Square, 1.95 Acres, Two (2) Lots, One (1) Block, a replat of Lot 1, Block 3, Bishop Market Square for the purpose of commercial development, in Section 13, Township 17 North, and Range 13 East

General Location: East of S Memorial Dr & South of E 148th St S

4. B.X.S.P. - 23.02 Cox Nursing Facility Site Plan

Applicant, TEP

Discussion and review of site plan for Cox Nursing Facility.

General Location: East of S Memorial Dr & South of E 126th St S

5. B.X.P.T. - 23.02 Perfect Food and Gas Preliminary Plat

Applicant, Wallace Design Collective

Discussion and review of Preliminary Plat, Perfect Food and Gas, 3.83 Acres, One (1) Lot, One (1) Block, for the purpose of commercial development, in Section 24, Township 17 North, and Range 13 East

General Location: East of S Memorial Dr & North of E 161st St S

6. B.X.P.T. - 23.03 Rowan Grove II Final Plat

Applicant, AAB

Discussion and review of Final Plat, Rowan Grove II, 26.35 Acres, One Hundred Two (102) Lots, Six (6) Blocks, for the purpose of residential development, in Section 7, Township 17 North, and Range 14 East

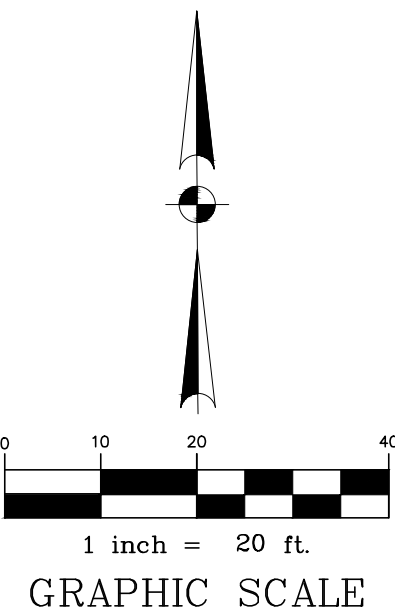
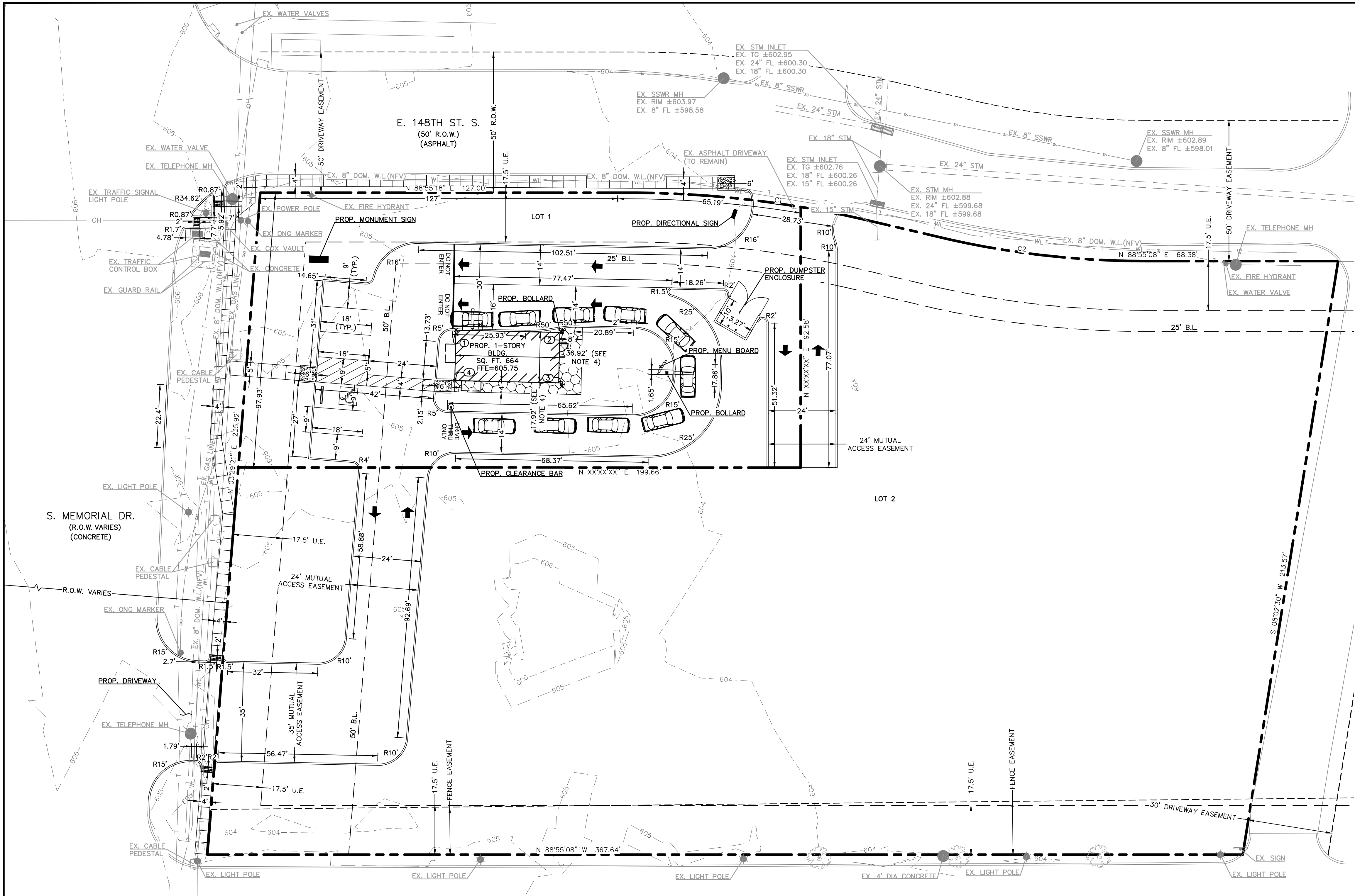
General Location: East of S Mingo Rd & South of E 131st St S

This Notice and Agenda was posted on the bulletin board on or before 10:00 a.m., January 2nd, 2023, at City Hall, 116 West Needles, Bixby, Oklahoma.

Respectfully submitted,

Justin Dowd, City Engineer

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BENCHMARK:
MAG NAIL W/ WASHER TOP OF CURB
N: 352259.07
E: 2594119.06
ELEVATION = 605.15 FEET

BENCHMARK:
MAG NAIL W/ WASHER TOP OF CURB
N: 351975.28
E: 2594083.81
ELEVATION = 605.89 FEET

ADS MONUMENT TC01:
2" BRASS DISC SET IN BRIDGE ABUTMENT
N: 346825.375
E: 2594069.650
ELEVATION = 601.65 FEET

LEGEND

[Symbol]	PROPOSED BUILDING PERIMETER SIDEWALK
[Symbol]	PROPOSED CURB RAMP
[Symbol]	EX. MANHOLE
[Symbol]	EX. STORM SEWER
[Symbol]	EX. WATER LINE
[Symbol]	EX. SANITARY SEWER LINE
[Symbol]	EX. OVERHEAD POWER LINE
[Symbol]	EX. UNDERGROUND GAS LINE
[Symbol]	EX. MAJOR CONTOUR
[Symbol]	EX. MINOR CONTOUR

GENERAL NOTES

- PAVEMENT DIMENSIONS AND RADII ARE FACE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
- RADII ARE 3' UNLESS OTHERWISE NOTED.
- REFER TO SITE ELECTRICAL PLAN FOR PROPOSED SITE LIGHTING LAYOUT.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING/FOUNDATION DIMENSIONS.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

BUILDING POINT TABLE		
POINT #	NORTHING	EASTING
1	352,167.11	2,594,141.29
2	352,168.02	2,594,179.46
3	352,148.02	2,594,179.39
4	352,149.20	2,594,141.23

CURVE TABLE			
CURVE	RADIUS	BEARING	CHORD
C1	276.88'	S 84°54'02" E	84.54'
C2	320.00'	S 84°49'21" E	69.77'

CALL BEFORE YOU DIG
OKIE ONE CALL PARTICIPANTS REQUEST
48 HOURS NOTICE BEFORE YOU DIG, DRILL
OR BLAST - STOP CALL

OKIE ONE CALL SYSTEM
1-800-522-OKIE
1-800-522-6543

DATE	
REVISIONS	
No.	

ALJLindsey
Civil Engineers
8885 N. Exchange Pkwy, Suite 200
Tulsa, OK 74117
281.301.9925
FRN F-11526

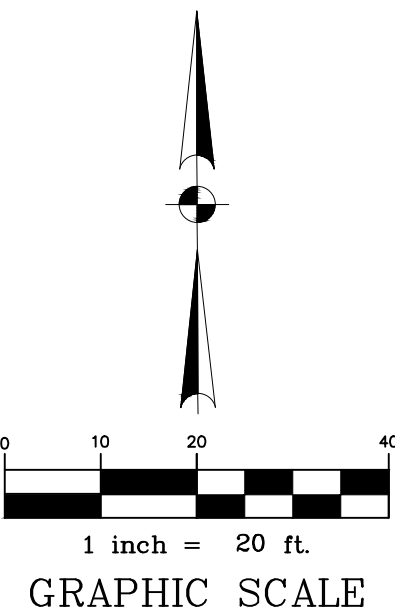
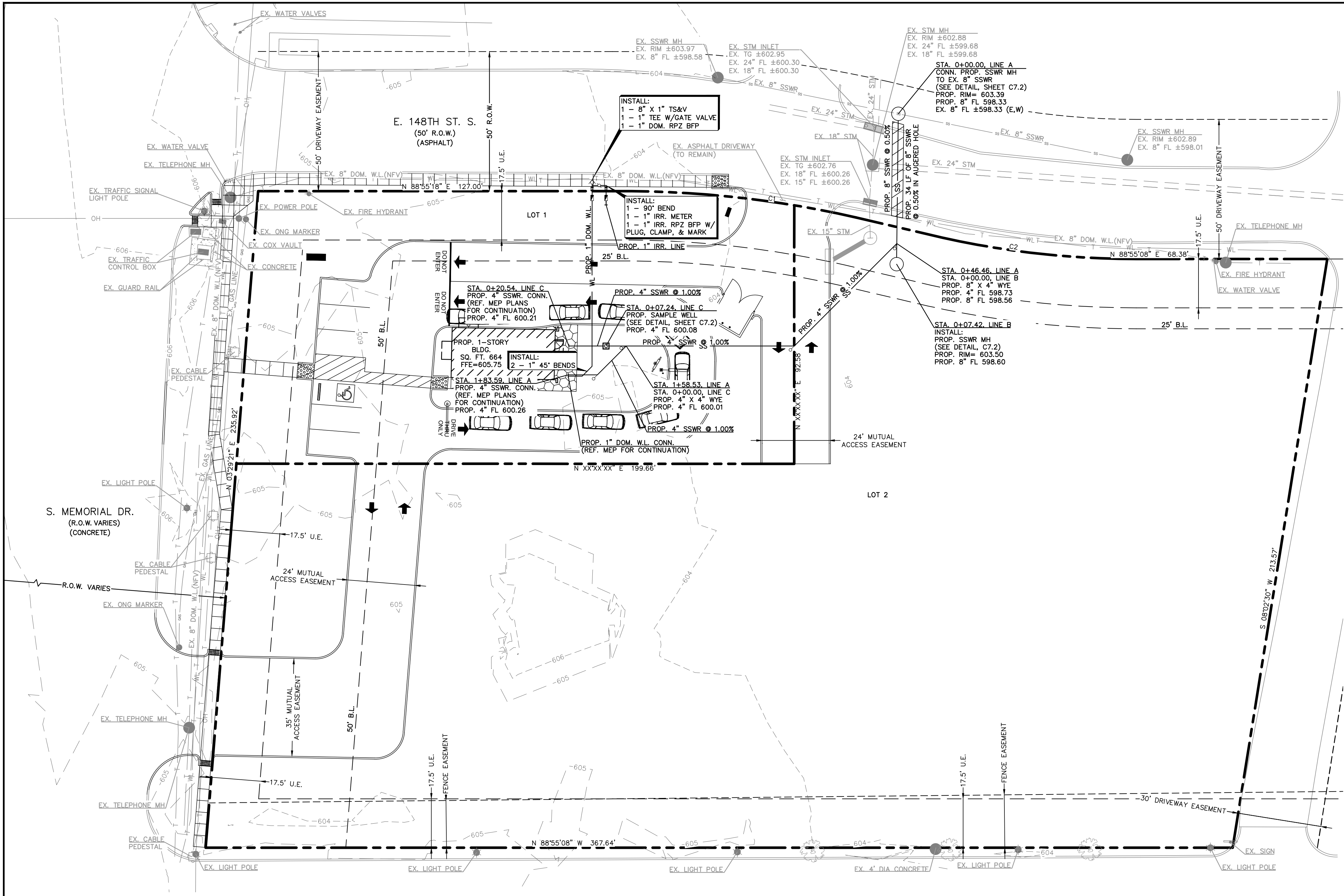
Brett T. Hanrahan
LICENSED PROFESSIONAL ENGINEER
BRETT T. HANRAHAN
32096
OKLAHOMA
01 DECEMBER 2022

ALJ PROJECT NO.	617.22.CV.043
DATE: DEC. 2022	SCALE: 1"=20'
DRAWN BY: SAH	CHECKED BY: BTH

DIMENSION CONTROL PLAN

SCOOTER'S COFFEE #696
14801 SOUTH MEMORIAL ROAD
BIXBY, OKLAHOMA 47008

SHEET
C1.1



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ADS MONUMENT TC01:
2" BRASS DISC SET IN BRIDGE ABUTMENT
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LEGEND	
SS	PROPOSED SANITARY SEWER
WL	PROPOSED WATER LINE
FIRE	PROPOSED FIRE LINE
	PROPOSED STORM SEWER
	EX. STORM SEWER
	EX. WATER LINE
	EX. SANITARY SEWER LINE
	EX. MAJOR CONTOUR
	EX. MINOR CONTOUR

GENERAL NOTES

- REFERENCE SANITARY SEWER AND WATER LINE NOTES SHEET C0.1 FOR PIPE MATERIAL REQUIREMENTS.
- REFER TO SITE ELECTRICAL PLAN FOR PROPOSED SITE LIGHTING LAYOUT.
- REFERENCE MEP PLANS FOR CONTINUATION OF SANITARY AND WATER FACILITIES INSIDE BUILDING.
- ALL CLEANOUTS LOCATED WITHIN CONCRETE PAVEMENT TO BE TRAFFIC RATED.
- CONTRACTOR TO VERIFY ALL PROPOSED UTILITY CONNECTIONS FOR BOTH LOCATION AND DEPTH PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF WORK.
- CONTRACTOR TO FIELD VERIFY ALL UTILITIES AND OTHER APPURTENANCES FOR LOCATION, DEPTH, AND SIZE PRIOR TO COMMENCING WORK. SHOULD CONFLICT EXIST, CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY.

CURVE TABLE

CURVE	RADIUS	BEARING	CHORD
C1	276.88'	S 84°54'02" E	84.54'
C2	320.00'	S 84°49'21" E	69.77'

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

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1-800-522-6543

DATE

REVISIONS

No.

ALJLindsey

Civil Engineers
1885 N. Exchange Pkwy, Suite 200
Tulsa, Oklahoma 74107
281.301.9925
FIRM F-11526

Brett T. Hanrahan

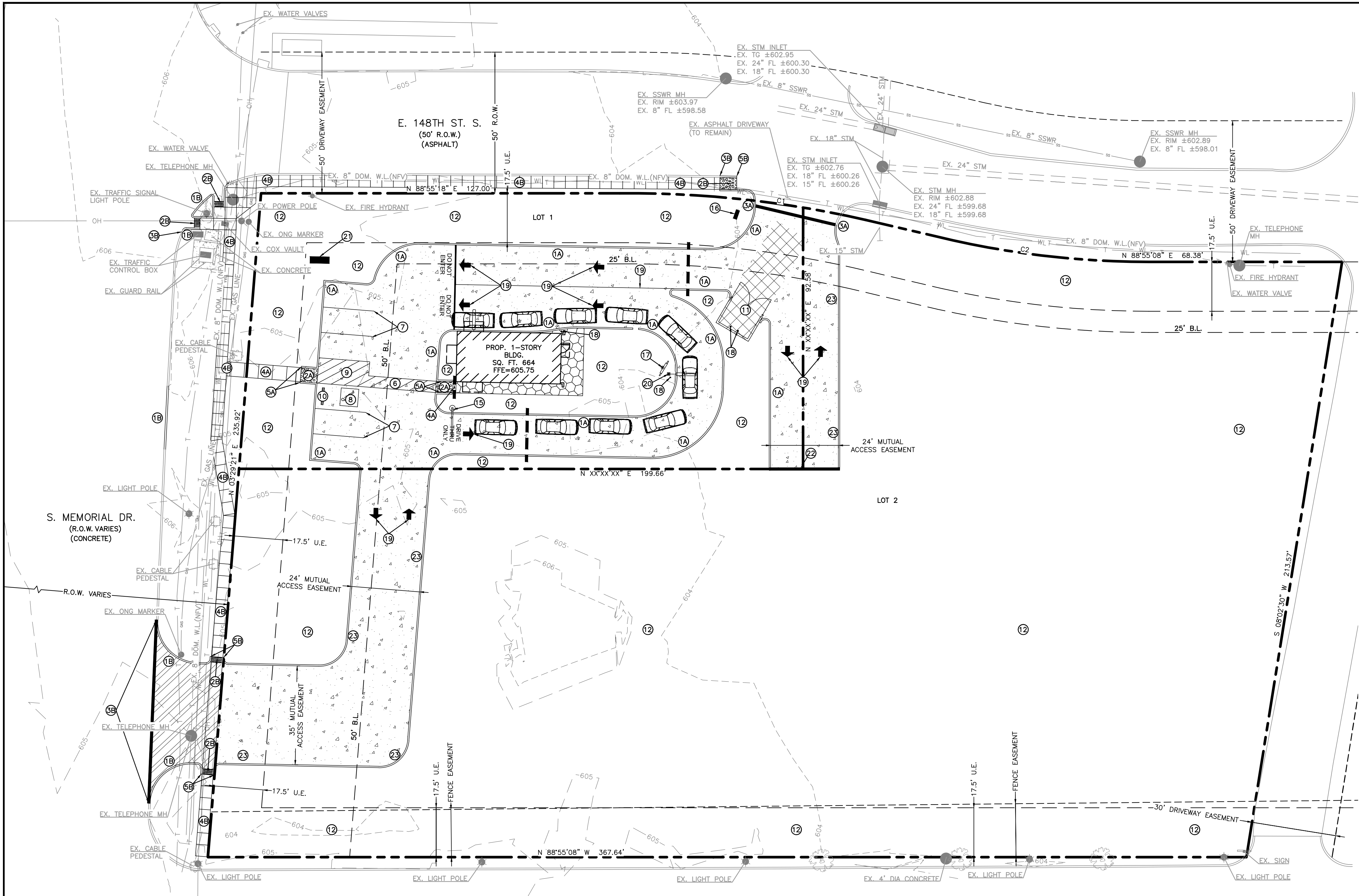
LICENSED PROFESSIONAL ENGINEER
BRETT T. HANRAHAN
32096
OKLAHOMA
01 DECEMBER 2022

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UTILITY PLAN

SCOOTER'S COFFEE #696
14801 SOUTH MEMORIAL ROAD
BIXBY, OKLAHOMA 47008

SHEET
C2.0



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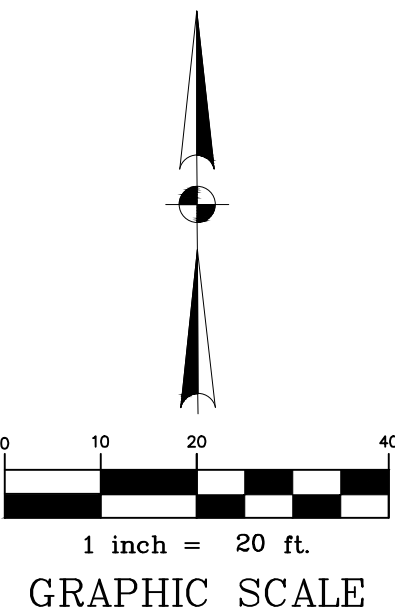
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GENERAL NOTES

- REFER TO SITE ELECTRICAL PLAN FOR PROPOSED SITE LIGHTING LAYOUT.
- PAVEMENT AND SUBGRADE THICKNESS INCLUDED ON THIS SHEET FOR REFERENCE ONLY. REFER TO GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC CORPORATION, DATED APRIL 4, 2022 (PROJECT NO. B2201585.01).
- REFER TO IRRIGATION PLAN FOR EXACT LOCATION OF IRRIGATION SLEEVES.
- MAXIMUM CONTROL JOINT SPACING TO BE 15-FT AND EXPANSION JOINT SPACING TO BE 60-FT.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND ALL STEEL TO BE GRADE 60, UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT.
- PAVING CONTRACTOR TO CONFIRM AND/OR ADJUST ALL EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISHED GRADE PRIOR TO PLACEMENT OF ANY PAVING.

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KEYED NOTES

- 1A PROPOSED 6" MONOLITHIC CONCRETE CURB (SEE DETAIL, SHEET #####)
- 1B PROPOSED 6" MONOLITHIC CONCRETE CURB TO CONCRETE PAVEMENT WITHIN COB R.O.W. (SEE DETAIL, SHEET #####)
- 2A CONSTRUCT PRIVATE CURB RAMP (SEE DETAIL, SHEET #####)
- 2B CONSTRUCT CURB RAMP WITHIN COB R.O.W. (SEE DETAIL, SHEET #####)
- 3A TIE PROPOSED CURB INTO EXISTING CURB
- 3B TIE PROPOSED CURB INTO EXISTING CURB WITHIN COB R.O.W.
- 4A PRIVATE CONCRETE SIDEWALK (WIDTH PER PLANS) (SEE DETAIL, SHEET #####)
- 4B CONCRETE SIDEWALK WITHIN COB R.O.W. (WIDTH PER PLANS) (SEE DETAIL, SHEET #####)
- 5A PRIVATE TRANSITION CURB (SEE DETAILS, SHEETS C7.0 & C7.1)
- 5B TRANSITION CURB WITHIN COB R.O.W. (SEE DETAIL, SHEET #####)
- 6 4" PAINTED WHITE STRIPING @ 2' O.C. @ 45°
- 7 90° WHITE PARKING LOT STRIPING
- 8 HANDICAP PARKING SYMBOL W/ SIGNAGE (SEE DETAIL, SHEET #####)
- 9 HANDICAP ACCESSIBLE PARKING STALL STRIPING
- 10 WHEEL STOP (SEE DETAIL, SHEET #####)
- 11 DUMPSTER ENCLOSURE
- 12 LANDSCAPED AREA (REF. LANDSCAPE PLANS)
- 13 SWALES
- 14 2" CURB OPENING
- 15 HEIGHT CLEARANCE BAR (REF. ARCHITECTURAL PLANS)
- 16 ON-SITE DIRECTIONAL/THANK YOU SIGNAGE (REF. ARCHITECTURAL PLANS)
- 17 MENU BOARD (REF. ARCHITECTURAL PLANS)
- 18 BOLLARD (REF. ARCHITECTURAL PLANS)
- 19 DIRECTIONAL PAVEMENT MARKINGS (REF. ARCHITECTURAL PLANS)
- 20 SPEAKER POST (REF. ARCHITECTURAL PLANS)
- 21 MONUMENT SIGN (REF. ARCHITECTURAL PLANS)
- 22 TYPE 3 BARRICADE (SEE DETAIL, SHEET #####)
- 23 DOWELED-ON CURB (SEE DETAIL, SHEET #####)

- PROPOSED CONCRETE DRIVEWAY WITHIN COB R.O.W. (PER DETAIL, SHEET #####)
- PROPOSED 5" STANDARD DUTY CONCRETE PAVEMENT WITH STABILIZED SUBGRADE (SEE NOTE 2 BELOW)
- PROPOSED 7" TRASH DUMPSTER PADS WITH STABILIZED SUBGRADE (SEE NOTE 2 BELOW)
- PROPOSED BUILDING PERIMETER SIDEWALK (REF. ARCHITECTURAL PLANS FOR SURFACE FINISH, SEE GRADING ON SHEET C4.0)
- PROPOSED IRRIGATION SLEEVE (SEE NOTE 3)
- CONCRETE TO CONCRETE PAVEMENT CONNECTION (INCLUDING 2" SAWCUT, EXISTING PAVEMENT REMOVAL, EXISTING CURB REMOVAL, DOWEL INTO EXISTING PAVEMENT, CONCRETE PAVEMENT HEADER AND SEALED JOINTS)
- CONCRETE TO ASPHALT PAVEMENT CONNECTION (INCLUDING 2" SAWCUT, EXISTING PAVEMENT REMOVAL, EXISTING CURB REMOVAL, DOWEL INTO EXISTING PAVEMENT, CONCRETE PAVEMENT HEADER AND SEALED JOINTS)

--- 100 --- EX. MAJOR CONTOUR
--- 99 --- EX. MINOR CONTOUR

DATE

REVISIONS

No.

ALJLindsey

Civil Engineers
1885 N. Exchange Pkwy, Suite 200
Tulsa, Oklahoma 74107
T: 918.301.5955
F: 918.301.1526

Brett T. Hanrahan

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BRETT T. HANRAHAN
32096
OKLAHOMA
01 DECEMBER 2022

ALJ PROJECT NO.
617-22-CV1043

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CHECKED BY: BTH

PAVING PLAN

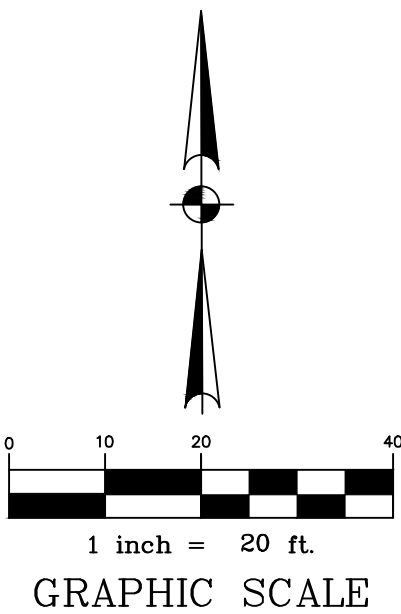
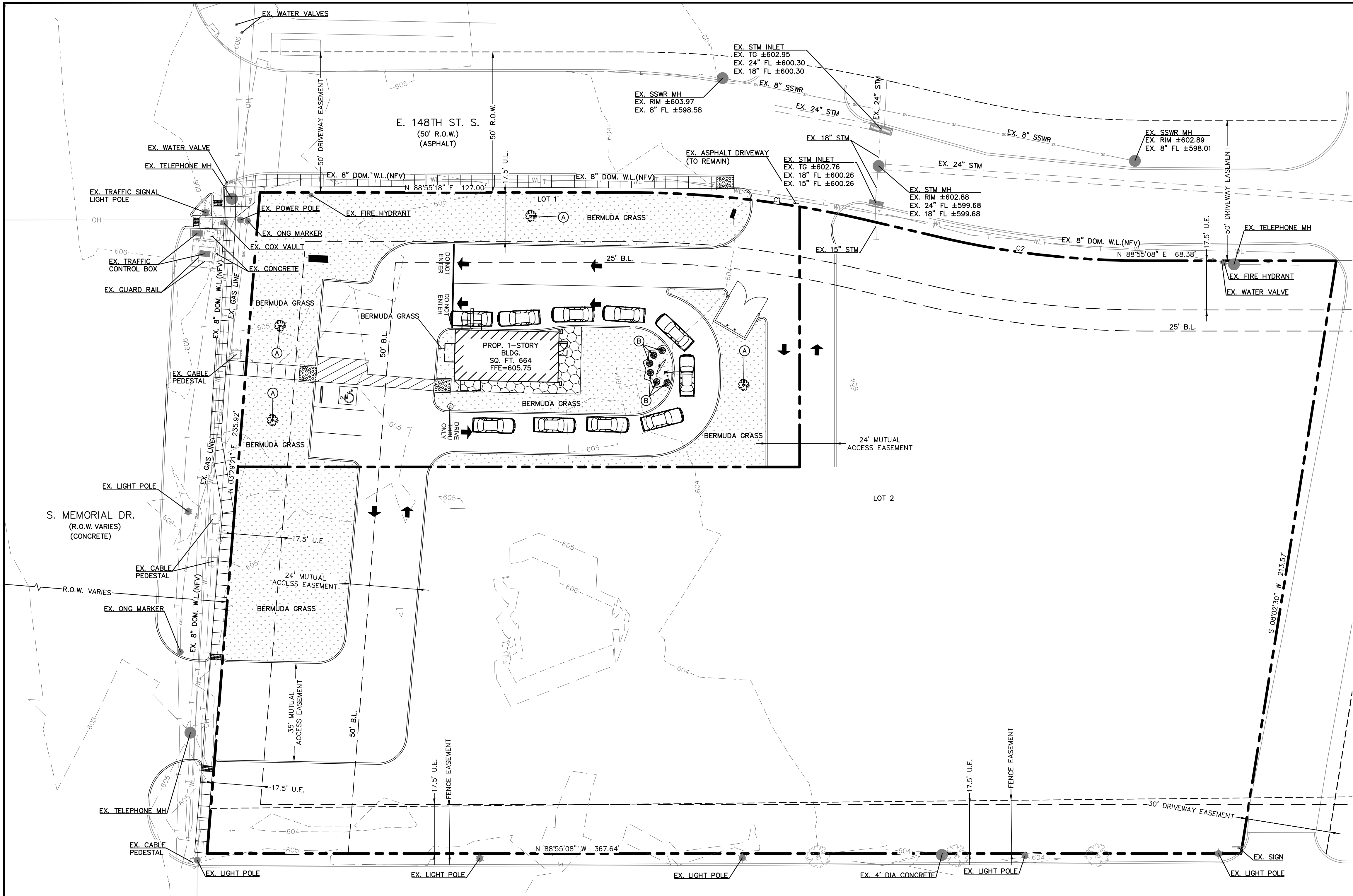
SCOOTER'S COFFEE #696

14801 SOUTH MEMORIAL ROAD

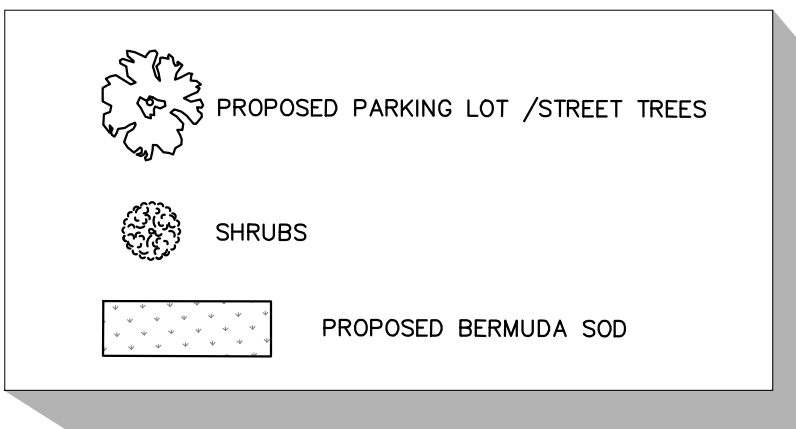
BIXBY, OKLAHOMA 47008

SHEET

C5.0



LEGEND



LANDSCAPING NOTE:

- 1. IRRIGATION TO BE PROVIDED BY LANDSCAPING CONTRACTOR FOR ALL LANDSCAPED AREAS.
- 2. OWNER IS RESPONSIBLE FOR THE SURVIVAL OF ALL PLANT MATERIAL AND WILL REPLACE ANY DEAD PLANT MATERIAL.
- 3. ALL TREES SHALL BE INSTALLED AT LEAST 5 FEET FROM ANY WATER OR SANITARY SEWER LINE.
- 4. CONTRACTOR TO SEED ALL REMAINING DISTURBED AREAS AS PART OF THIS SCOPE. SEED MIXTURE OF METHOD OF ESTABLISHMENT PER CONTRACTOR. 95% GRASS COVERAGE REQUIRED.
- 5. CONTRACTOR TO COORDINATE WITH OWNER FOR COST EFFICIENT TREE PRESERVATION. IF ANY CONFLICT ARISES, CONTACT OWNER IMMEDIATELY.

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C1	276.88'	S 84°54'02" E	84.54'
C2	320.00'	S 84°49'21" E	69.77'

LARGE TREES

MARK	SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE
A		BALD CYPRESS	TAXODIUM DISTICHUM	4	65 GAL. - 100 GAL. 3" CAL. MIN.

SHRUBS

MARK	SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE
B		GREY OWL JUNIPER	JUNIPERS VIRGINIANA	6	5 GALLON MIN.

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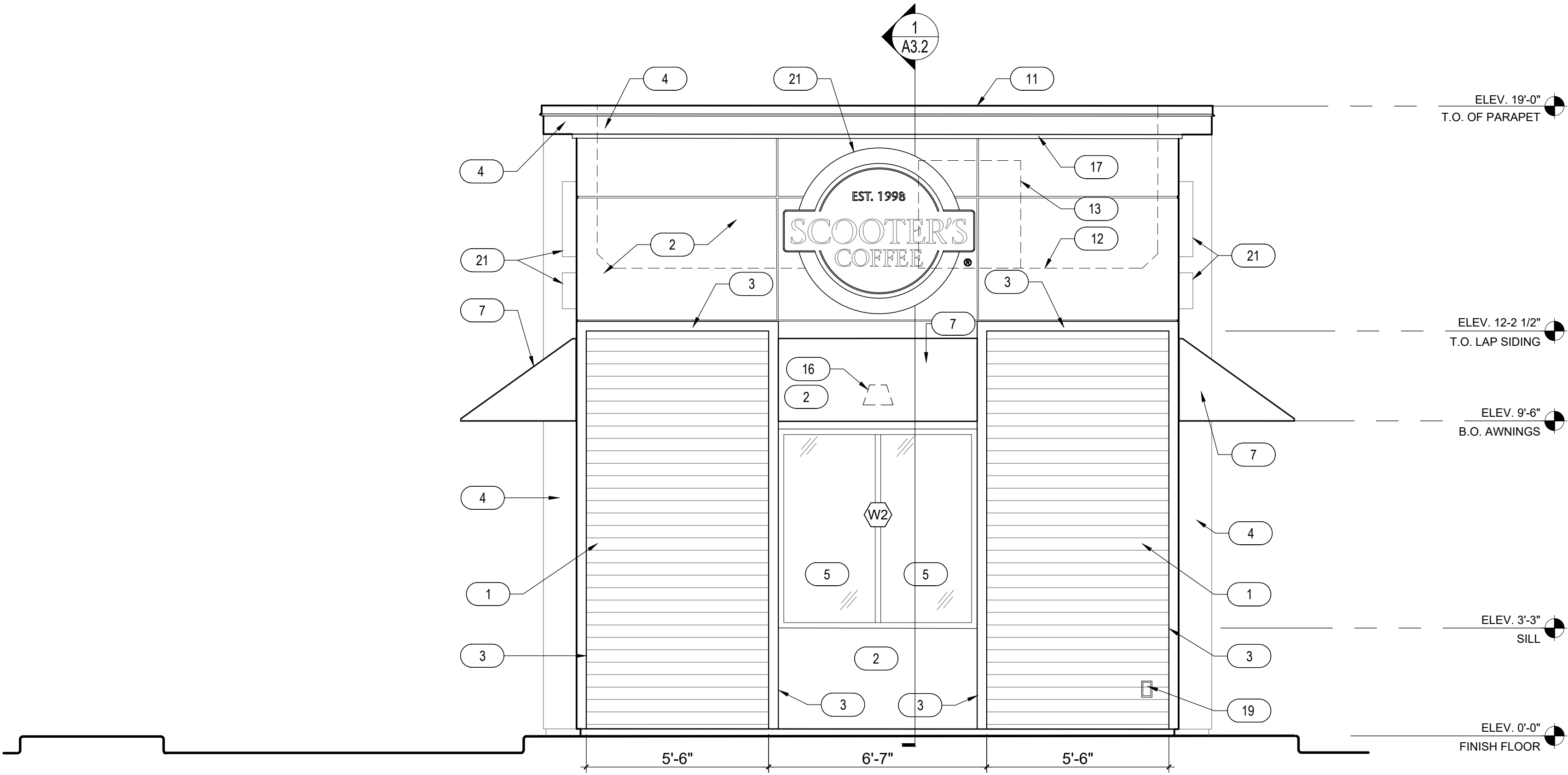
LANDSCAPE PLAN

SCOOTER'S COFFEE #696
14801 SOUTH MEMORIAL ROAD
BIXBY, OKLAHOMA 47008

SHEET
L1.0

REVISIONS
DATE

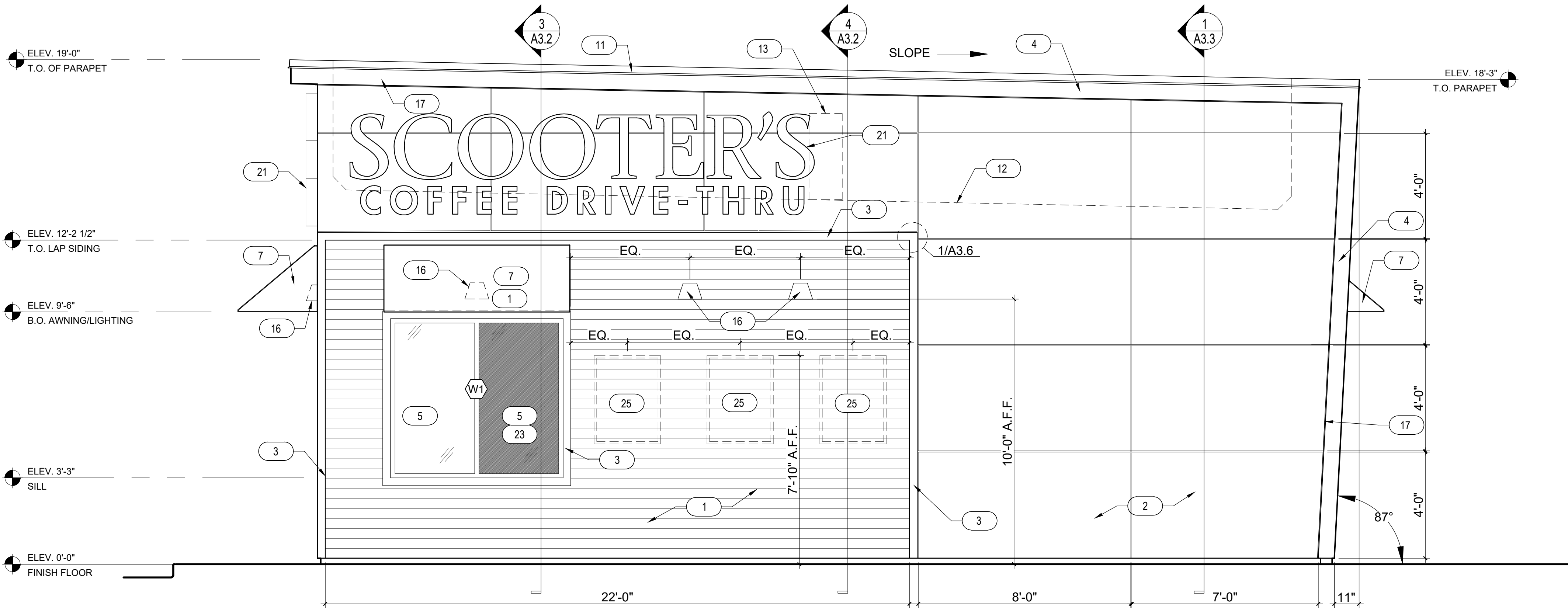
1. HARDIE PLANK HZ10 LAP SIDING CEDARMILL 6-1/4". SEE HARDIE DETAIL SHEET A3.6 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
2. HARDIE REVEAL PANEL SYSTEM HZ10 - SMOOTH FINISH, SEE HARDIE DETAIL SHEET A3.6 - COLOR: SW 1015 SKYLINE STEEL
3. 3 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A3.6 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
4. HARDIE BOARD TRIM ACCENTS AND SOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9. WIDE ANGLE PEEP HOLE, BY DOOR MANUFACTURER
10. NOT USED
11. 22 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. AIR CONDENSER, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY GC BLACK
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. PROPOSED SIGNAGE BY OTHERS, UNDER SEPARATE PERMIT
22. CONNECT DOWNSPOUTS TO UNDERGROUND PIPING, REF. CIVIL.
23. SPANDREL GLASS
24. NEW SECURITY CAMERA
25. CUSTOMER PROVIDED SIGN PANELS. PANELS TO BE MOUNTED TO FASCIA BY GC (WHEN PROVIDED) IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE)



1

FRONT EXTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"



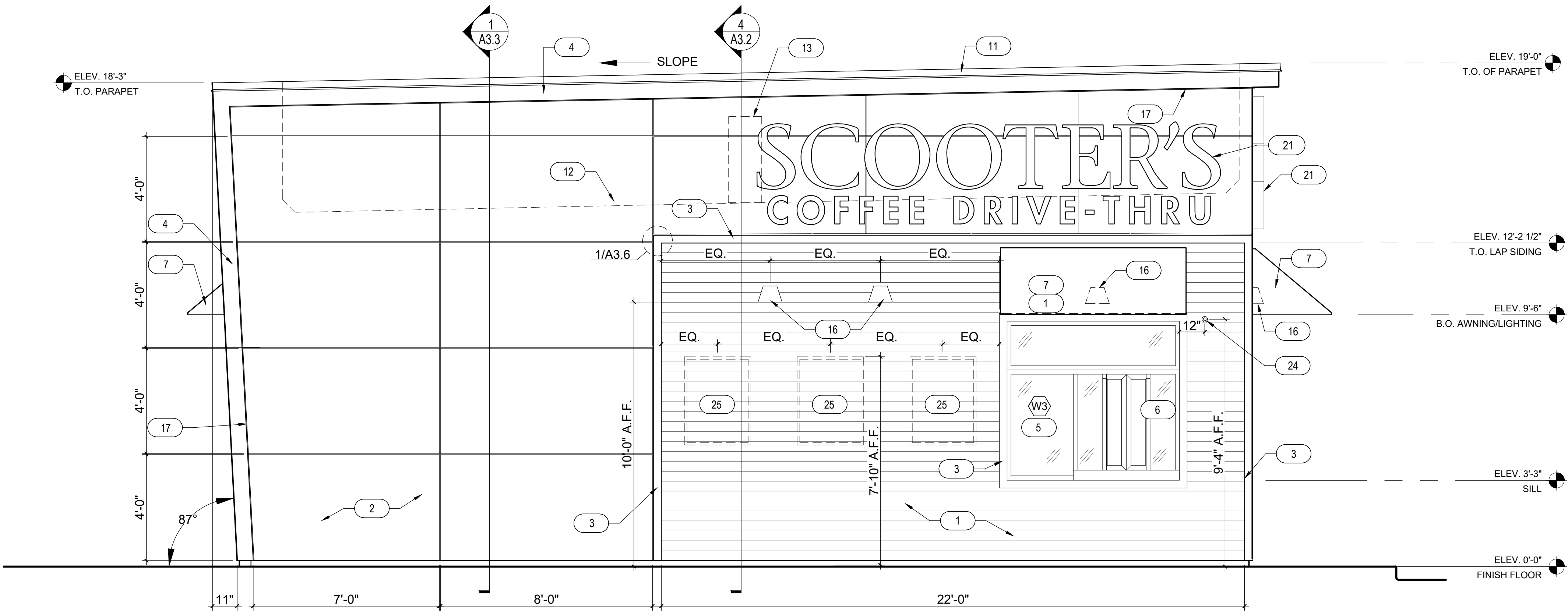
2

SIDE EXTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"

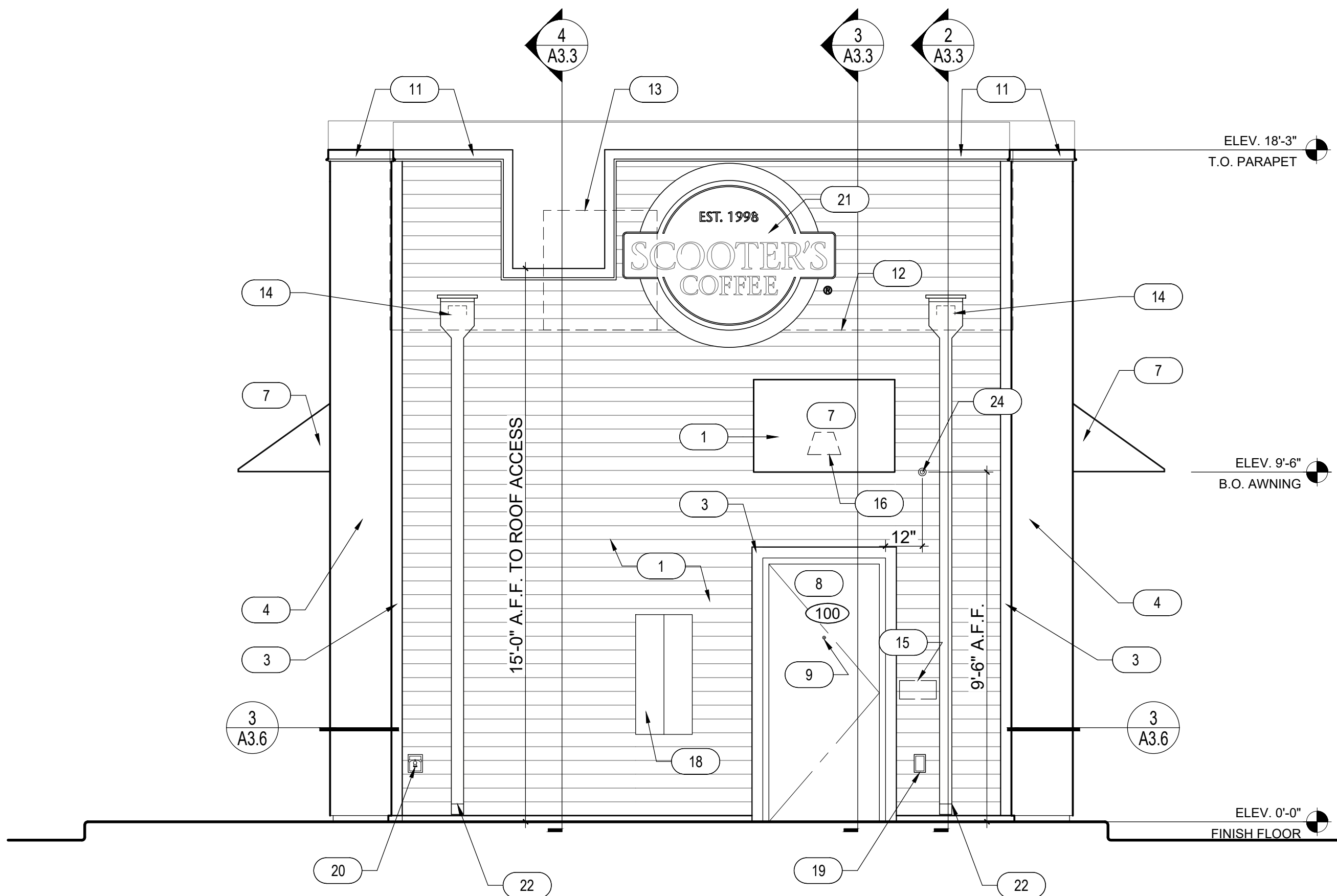
KEYNOTES

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17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. PROPOSED SIGNAGE BY OTHERS, UNDER SEPARATE PERMIT
22. CONNECT DOWNSPOUTS TO UNDERGROUND PIPING, REF. CIVIL.
23. SPANDREL GLASS
24. NEW SECURITY CAMERA
25. CUSTOMER PROVIDED SIGN PANELS. PANELS TO BE MOUNTED TO FASCIA BY GC (WHEN PROVIDED) IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE)



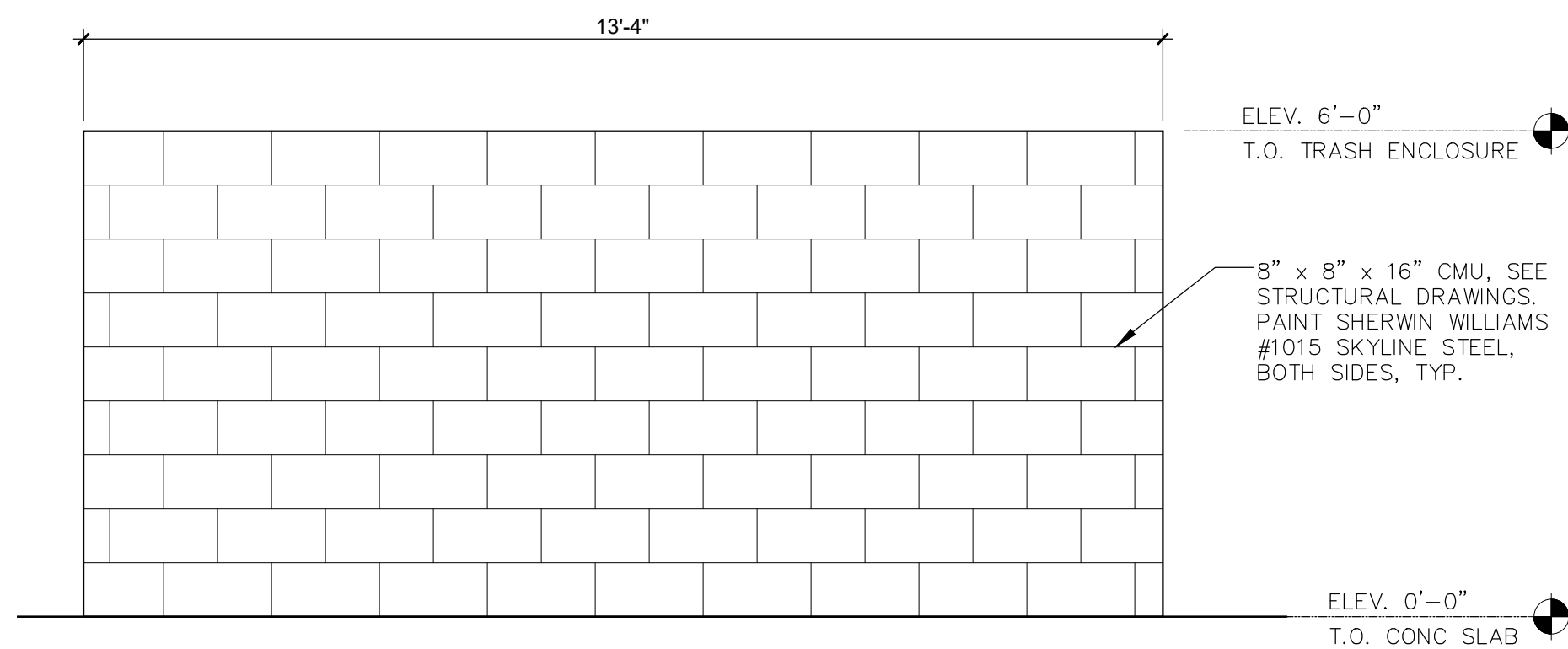
1 EXTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"

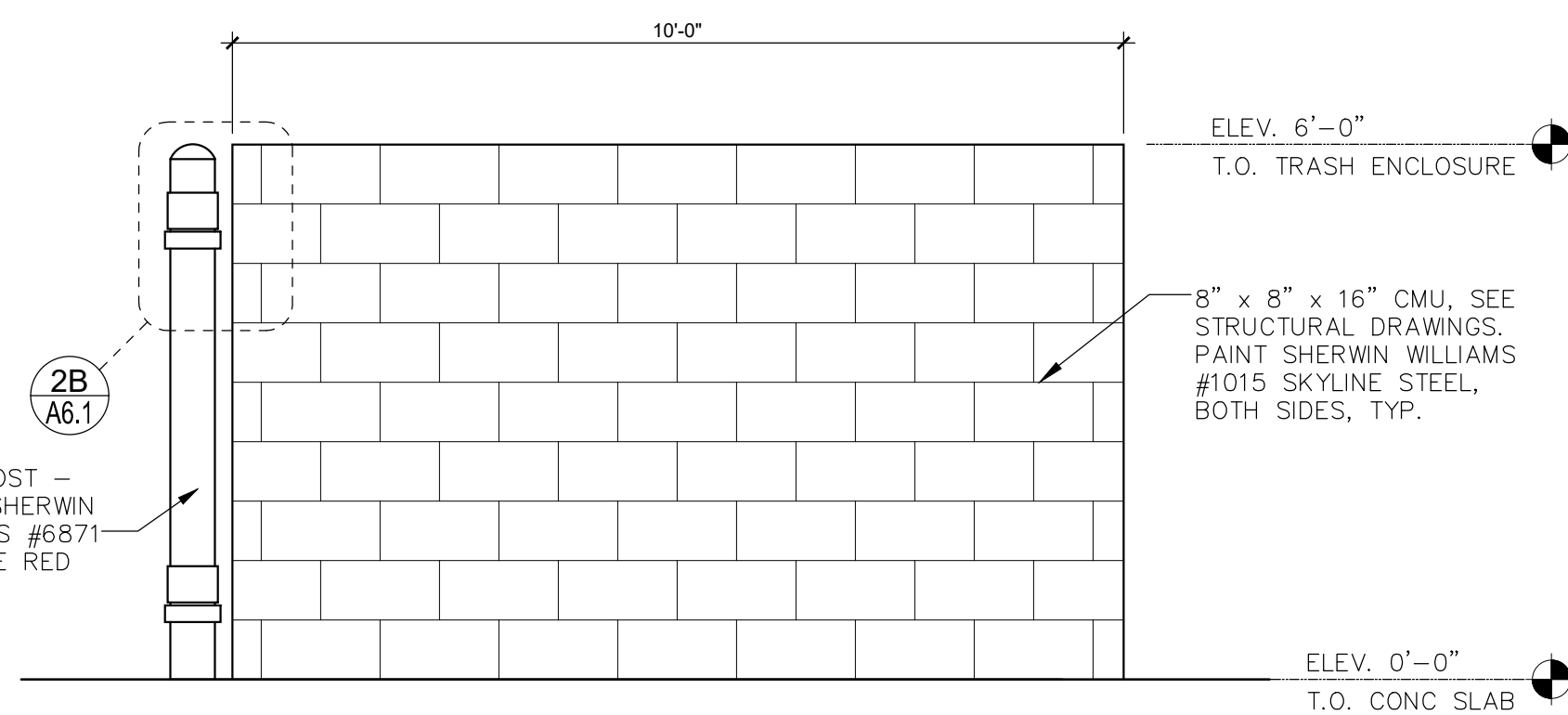


2 EXTERIOR ELEVATIONS

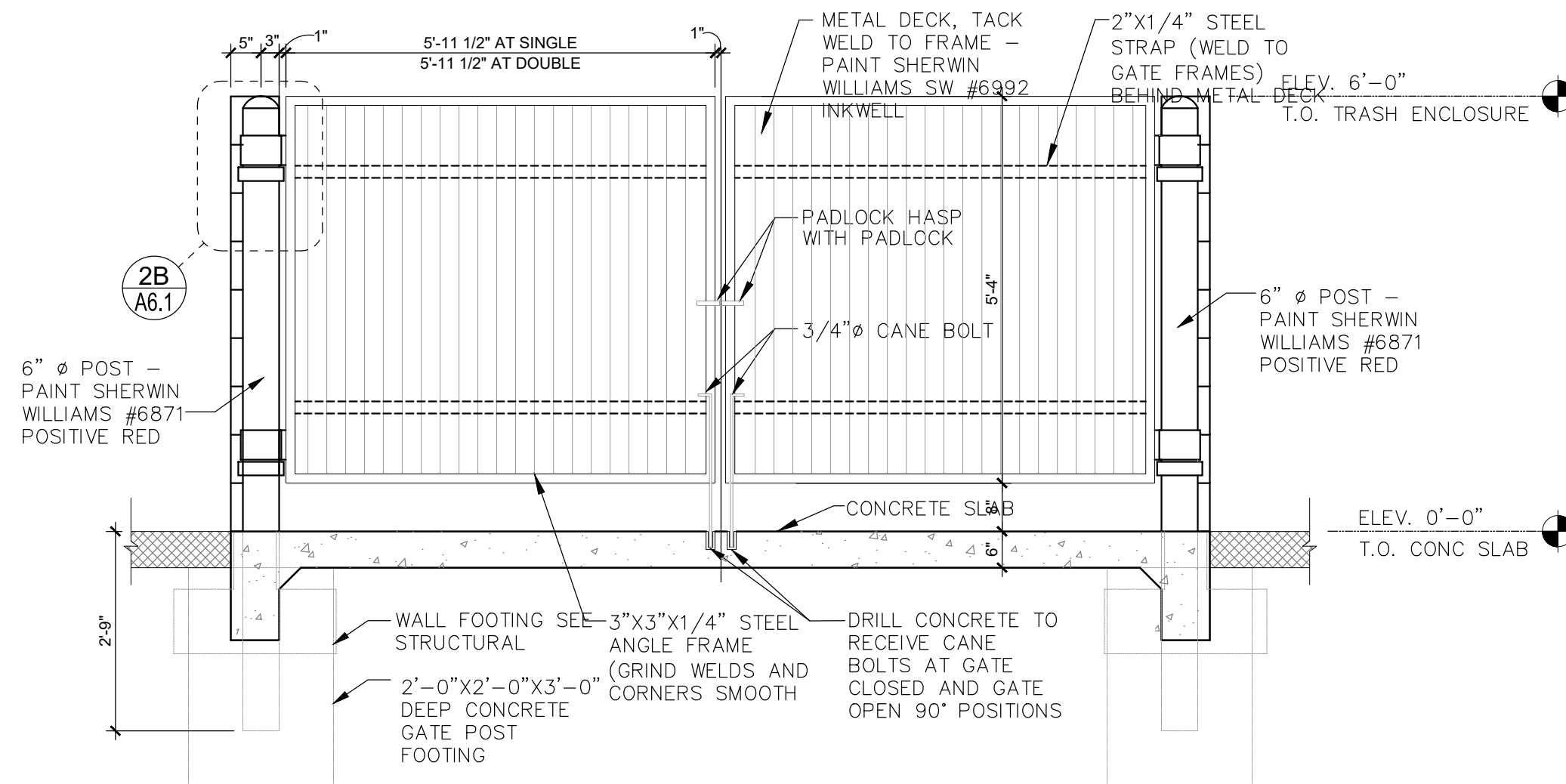
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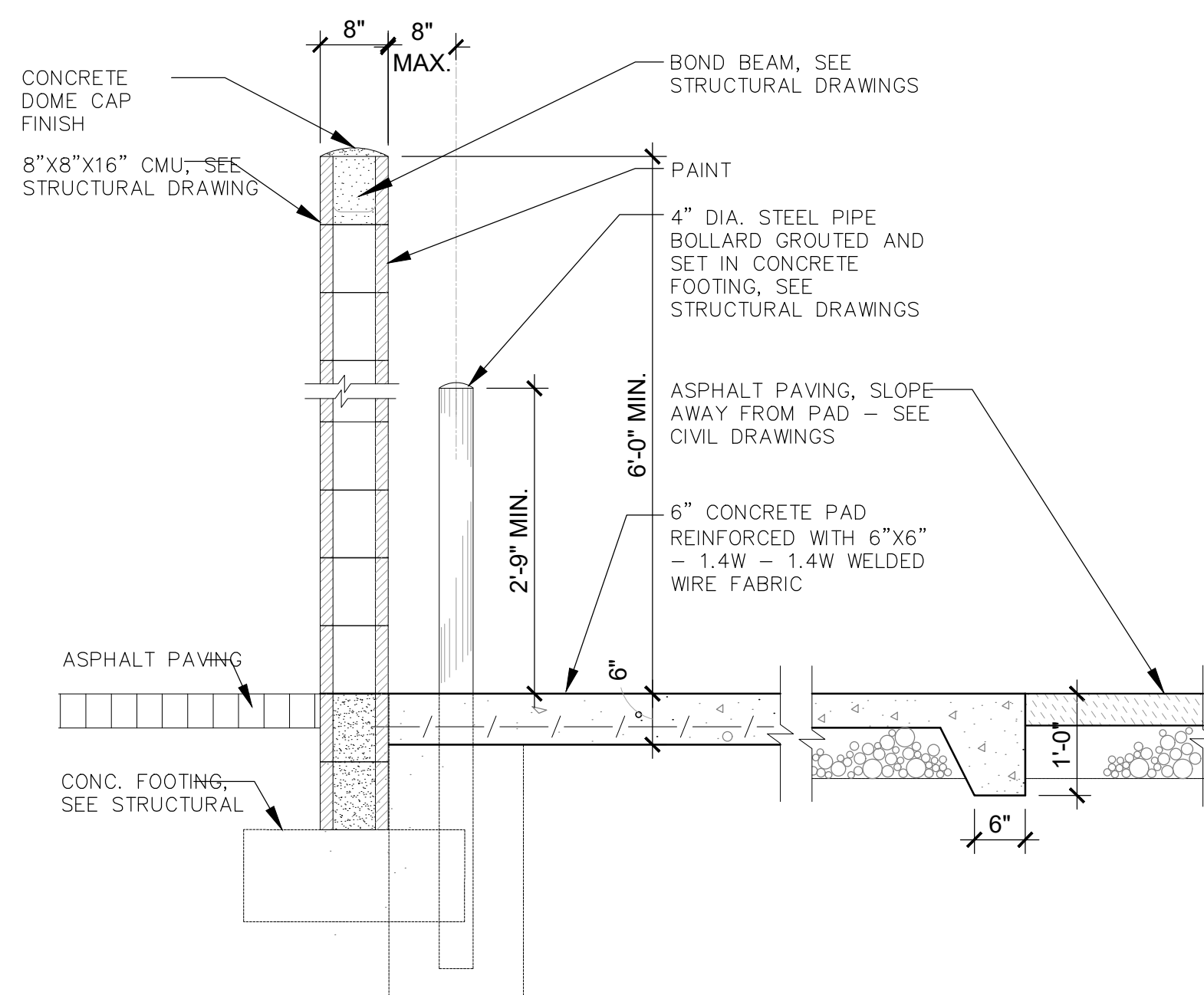
7 TRASH ENCLOSURE - BACK ELEVATION
SCALE: 1/2" = 1'-0"



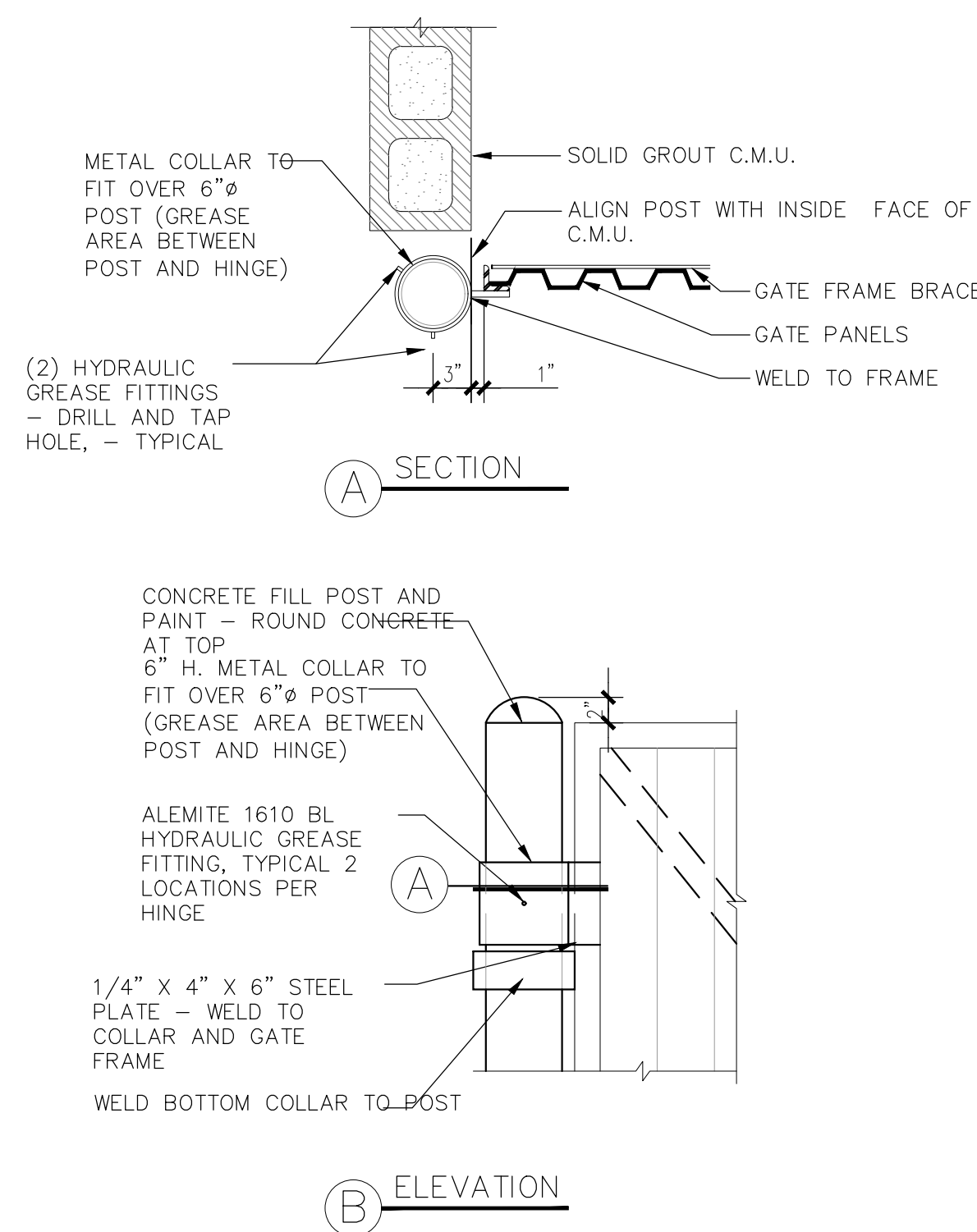
6 TRASH ENCLOSURE - SIDE BACK ELEVATION
SCALE: 1/2" = 1'-0"



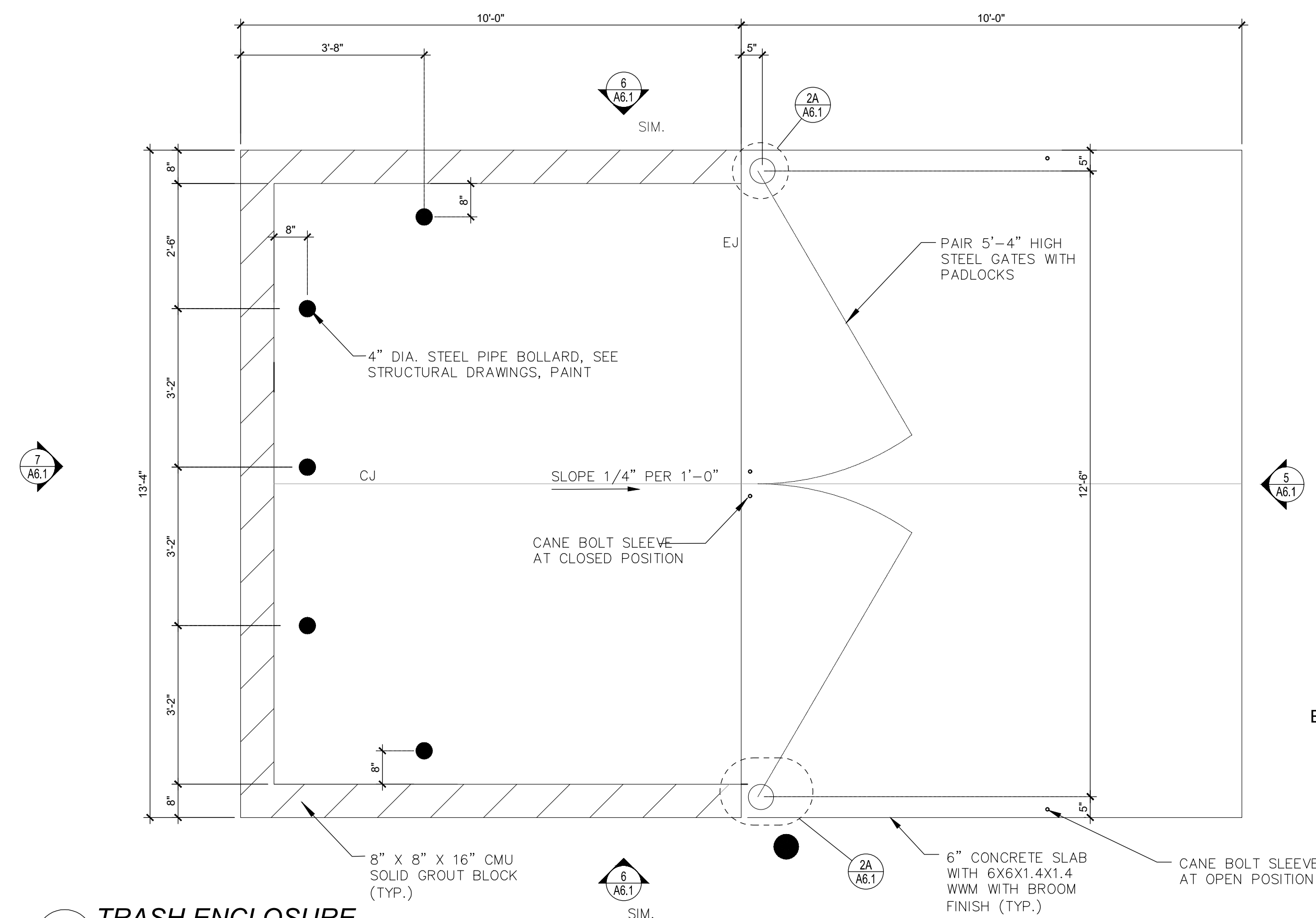
5 TRASH ENCLOSURE - FRONT ELEVATION
SCALE: 1/2" = 1'-0"



3 SECTION AT TRASH ENCLOSURE
SCALE: 3/4" = 1'-0"



2 HINGE AT TRASH GATE
SCALE: NTS



1 TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"

REVISIONS
TRASH ENCLOSURE
ELEVATIONS & DETAILS
TITLE

DATE
02.24.21
PROJECT NO.
21-084

FM GROUP INC
15974 N 77TH ST
SUITE 100
SCOTTSDALE
ARIZONA 85260

SCOOTER'S COFFEE
EST. 1996

PROJECT ADDRESS
411 S MAIN ST,
O'FALLON, MO

A6.1



PRELIMINARY PLAT
SCOOTER'S at MARKET SQUARE

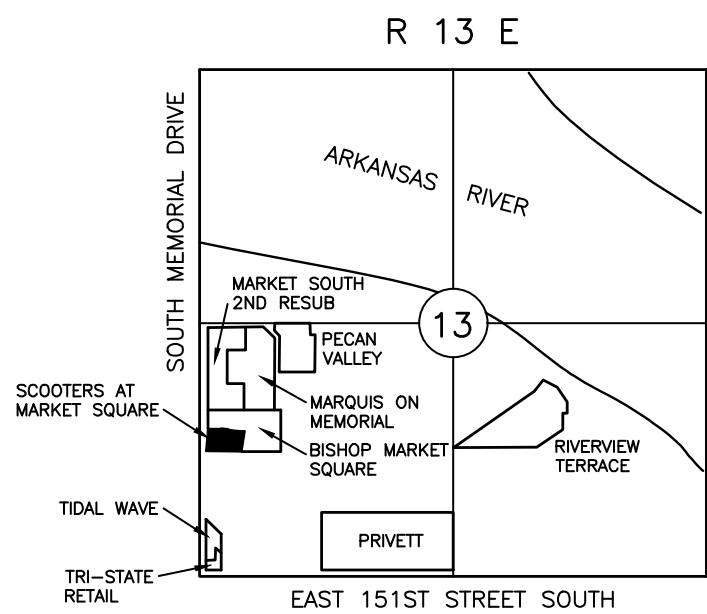
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AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA,
SECTION 13, TOWNSHIP 17 NORTH, RANGE 13 EAST.

OWNER/DEVELOPER:
DIXIELOU RE, LLC
7300 SOUTH YALE AVENUE, SUITE 800
TULSA, OK 74136
PHONE: 405-612-5419

ENGINEER:
ALJ LINDSEY
CERTIFICATE OF AUTHORIZATION NO. 8548
18635 NORTH ELDRIDGE PARKWAY, SUITE 200
TOMBALL, TEXAS 77377
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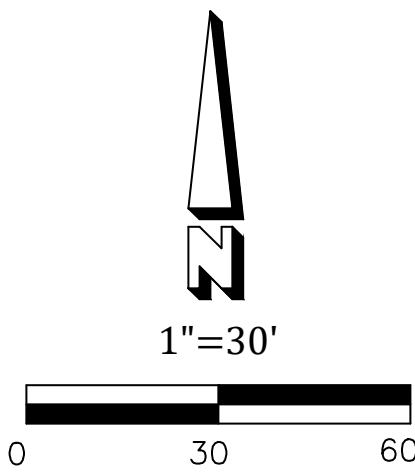
SURVEYOR:
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9936 EAST 55TH PLACE
TULSA, OKLAHOMA 74146
PHONE: 918-663-6924
whitesurvey.com email: info@whitesurvey.com

SUBDIVISION CONTAINS
TWO (2) LOTS IN BLOCK ONE (1)
GROSS SUBDIVISION AREA: 1.95 ACRES
LOT 1A AREA: 0.44 ACRE (19,014 Sq.Ft.)
LOT 1B AREA: 1.51 ACRES (65,787 Sq.Ft.)



LOCATION MAP

SCALE: 1"=2000'



LINE TABLE				
LINE #	LENGTH	DIRECTION		
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C5	15.86	10.50	14.39	S46°45'38"W
C6	65.19	380.48	65.11	S86°35'54"E
C7	22.55	380.48	22.54	S79°59'33"E

BENCHMARKS

- ONSITE BENCHMARK:
BENCHMARK DESC: MAG NAIL W/WASHER TOP OF CURB
N: 352259.07
E: 2594119.06
ELEVATION: 605.15
 - ONSITE BENCHMARK:
BENCHMARK DESC: MAG NAIL W/WASHER TOP OF CURB
N: 351975.28
E: 2594083.81
ELEVATION: 605.89
- SOURCE BENCHMARK:
ADS MONUMENT TC01: 2" BRASS DISK SET IN BRIDGE ABUTMENT
N: 346825.375
E: 2594069.650
ELEVATION: 601.65

THE BEARINGS SHOWN HEREON ARE BASED ON THE OKLAHOMA STATE
PLANE COORDINATE SYSTEM NAD 83 (2011) AND THE EAST
RIGHT-OF-WAY LINE OF MEMORIAL DRIVE BEING NORTH 03°29'21" EAST.

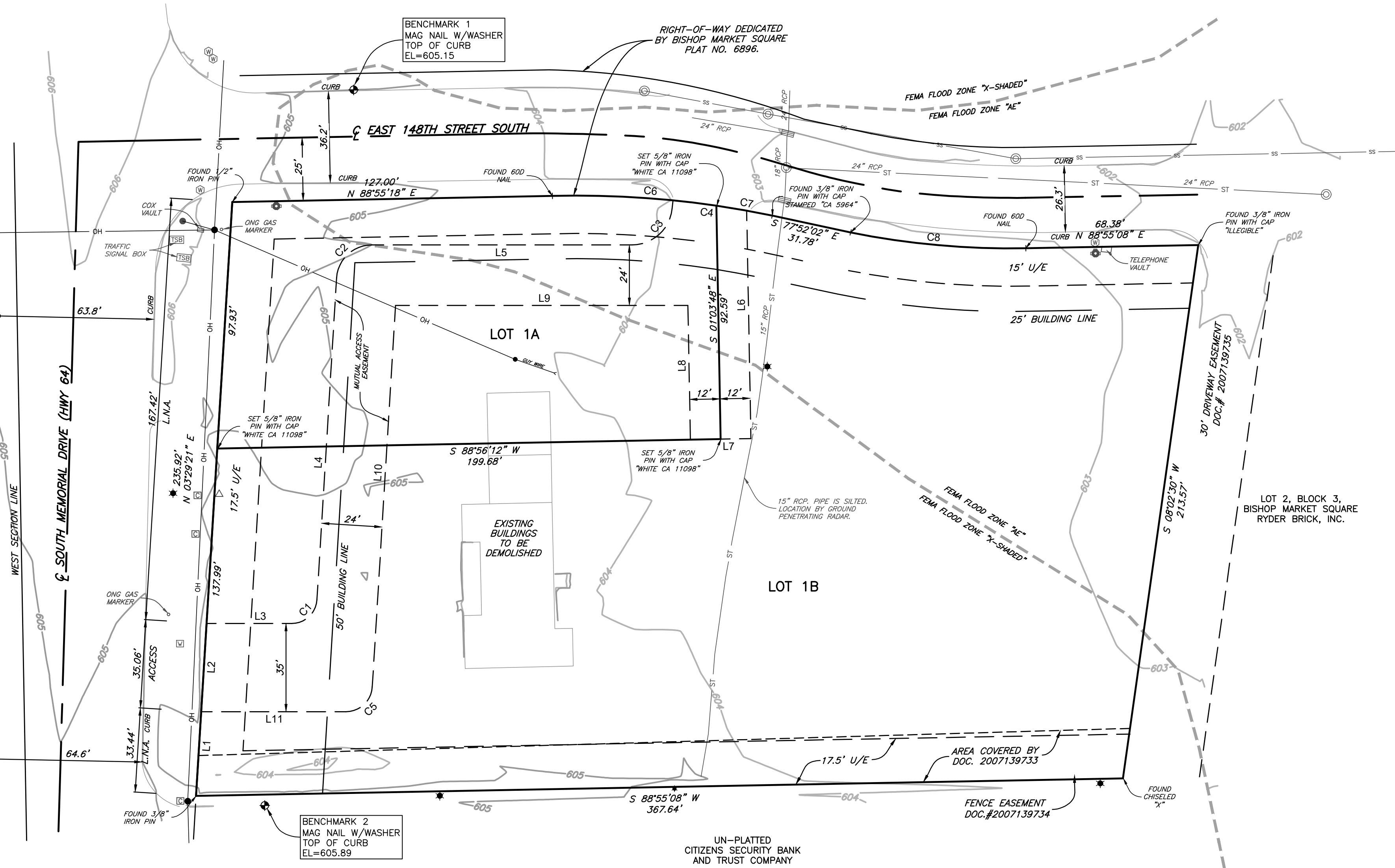
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OR HIGHER AT THE TIME OF PLATTING. PRIOR TO ISSUANCE OF A
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FOR EACH INDIVIDUAL LOT, A LETTER OF MAP AMENDMENT (LOMA),
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COMPLIANCE WITH LENDER AND/OR FEMA REQUIREMENTS.



LEGEND

U/E UTILITY EASEMENT

L.N.A. LIMITS OF NO ACCESS

- WATER METER
- WATER VALVE
- FIRE HYDRANT
- CABLE TV
- POWER POLE
- LIGHT POLE
- GAS METER
- STORM INLET

FINAL PLAT CERTIFICATE OF APPROVAL
I hereby certify that this plat was approved by the City of Bixby.

ON _____

BY _____

THIS APPROVAL IS VOID IF THE ABOVE SIGNATURE IS NOT ENDORSED
BY THE CITY MANAGER OR CITY CLERK.

BY _____
CITY MANAGER OT CITY CLERK

TREASURER'S CERTIFICATE

I, _____, Treasurer of Tulsa County, Oklahoma, do
herby certify that all taxes on the proeprty hereon platted and
described have been paid at cash bond placed to secure the same.

Dated the _____ day of _____, 20 ____

COUNTY TREASURER

CERTIFICATE OF COUNTY CLERK

This Plat has been filed in the office of the County Clerk, Tulsa
County, State of Oklahoma on the _____ day of _____, 20 ____

CITY OF BIXBY PLANNING AND ZONING COMMISSIONER APPROVAL

Chairman, Planning and Zoning Commission, Date: _____

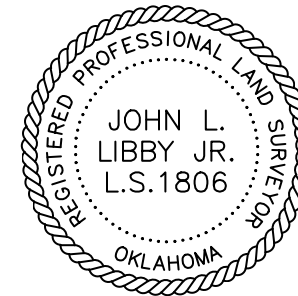
SURVEYOR'S CERTIFICATE

I, John L. Libby Jr., a Professional Land Surveyor do hereby certify
that I have carefully and accurately surveyed and staked the tract of
land as described on the plat and that monuments have been found
or set at all lot corner and that the described plat is a true
representation of said survey.

Certificate of Authorization: No. CA 1098.

Witness my hand and seal this 1ST day of DECEMBER, 2022

John L. Libby Jr., R.P.L.S. 1806



PRELIMINARY PLAT
SCOOTER'S at MARKET SQUARE

A RE-SUBDIVISION OF LOT 1, BLOCK 3, BISHOP MARKET SQUARE, PLAT NO. 6896,
AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA,
SECTION 13, TOWNSHIP 17 NORTH, RANGE 13 EAST.

DEED OF DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

THAT DIXIELOU RE, LLC, BEING THE SOLE OWNER OF THE FEE SIMPLE AND TO THE FOLLOWING DESCRIBED REAL ESTATE SITUATED IN THE COUNTY OF TULSA, STATE OF OKLAHOMA, TO-WIT:

LOT ONE (1), BLOCK THREE (3), BISHOP MARKET SQUARE, AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT NO. 6896.

HAS CAUSED THE SAME TO BE SURVEYED, STAKED AND PLATTED INTO LOTS AND STREETS AND ALLEYS AND HAVE CAUSED THIS PLAT TO BE MADE OF SAID TRACT SHOWING ACCURATE DIMENSIONS OF THE LOTS AND STREETS AND ALLEYS AND HEREBY DEDICATE SAID PLAT AS BISHOP MARKET SQUARE ADDITION, BIXBY, OKLAHOMA AND DEDICATE TO PUBLIC USE ALL STREETS, EASEMENTS AND ALLEYS AS SHOWN ON THIS PLAT

SECTION 1. PUBLIC COVENANTS

A. STREETS AND UTILITY EASEMENTS

THE UNDERSIGNED OWNER DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER, STREETS RIGHTS-OF-WAY AS SHOWN AND DESIGNATED ON THE ACCOMPANYING PLAT AND DOES FURTHER DEDICATE TO THE PUBLIC USE FOREVER THE EASEMENTS AS SHOWN AND DESIGNATED ON THE ACCOMPANYING PLAT FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REMOVING, REPLACING ANY AND ALL UTILITIES INCLUDING STORM SEWER, SANITARY SEWER, TELEPHONE AND COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES AND WATER LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS AND EQUIPMENT FAR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO WITH THE RIGHTS OF INGRESS AND EGRESS INTO AND UPON SAID UTILITY EASEMENTS AND RIGHTS-OF-WAY FOR THE USES AND PURPOSES AFORESAID. NO BUILDING, STRUCTURE, OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION THAT WILL INTERFERE WITH THE PURPOSES AFORESAID, WILL BE PLACED, ERECTED, INSTALLED OR PERMITTED UPON THE EASEMENTS OR RIGHTS-OF-WAY AS SHOWN, PROVIDED HOWEVER, THAT THE OWNER HEREBY RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND RELAY WATER LINES AND SANITARY SEWER LINES TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING AND RELAYING OVER, ACROSS AND ALONG ALL PUBLIC STREETS, ALLEYS, AND UTILITY EASEMENTS, SHOWN ON SAID PLAT FOR THE PURPOSES OF FURNISHING WATER AND/OR SANITARY SEWER SERVICES TO THE AREA INCLUDED IN SAID PLAT.

B. WATER AND SANITARY SEWER SERVICE:

IN CONNECTION WITH THE PROVISION OF WATER AND SANITARY SEWER SERVICE, ALL LOTS ARE SUBJECT TO THE FOLLOWING PROVISIONS, TO-WIT:

THE OWNER OF EACH LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS AND THE PUBLIC SANITARY SEWER FACILITIES LOCATED ON HIS LOT AND WITHIN THE DEPICTED STREET RIGHT-OF WAY AND UTILITY EASEMENT AREAS, IF GROUND ELEVATIONS ARE ALTERED FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER OR SEWER MAIN, ALL GROUND LEVEL APERTURES, TO INCLUDE: VALVE BOXES, FIRE HYDRANTS AND MANHOLES WILL BE ADJUSTED TO THE NEW GRADE BY THE OWNER OR AT THE OWNER'S EXPENSE.

THE CITY OF BIXBY OR ITS SUCCESSORS WILL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER MAINS AND PUBLIC SANITARY SEWER FACILITIES, BUT THE OWNER WILL PAY DAMAGE FOR RELOCATION OF SUCH FACILITIES OR NECESSITATED BY THE ACTS OF THE OWNER OR HIS AGENTS OR CONTRACTORS.

THE CITY OF BIXBY OR ITS SUCCESSORS THROUGH ITS AGENTS AND EMPLOYEES SHALL AT ALL TIMES HOVE THE RIGHT OF ACCESS WITH THEIR EQUIPMENT TO ALL SUCH EASEMENT-WAYS SHOWN ON SAID PLAT, OR PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF UNDERGROUND WATER AND SEWER FACILITIES.

THE FOREGOING COVENANTS CONCERNING WATER AND SEWER FACILITIES SHALL BE ENFORCEABLE BY THE CITY OF BIXBY OR ITS SUCCESSORS, AND THE OWNER OF THE LOT AGREES TO BE BOUND HEREBY.

C. LIMITS OF NO ACCESS

THE OWNER HEREBY RELINQUISHES RIGHTS OF INGRESS AND EGRESS TO THE ABOVE DESCRIBED PROPERTY WITHIN THE BOUNDS DESIGNATED AS "LIMITS OF NO ACCESS" (LNA), AND SHOWN ON THE PLAT, EXCEPT AS MAY BE HEREAFTER BE RELEASED, ALTERED, OR AMENDED BY THE CITY OF BIXBY AND APPROVED BY THE BIXBY PLANNING COMMISSION OR ITS SUCCESSORS, OR AS OTHERWISE PROVIDED BY THE STATUTES AND LAWS OF THE STATE OF OKLAHOMA PERTAINING THERETO. THE FOREGOING COVENANT SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, AND THE OWNER OF EACH LOT AGREES TO BE BOUND THEREBY.

D. ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICE.

IN CONNECTION WITH THE INSTALLATION OF UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICE LINES, THE LOT IS SUBJECT TO THE FOLLOWING:

1. OVERHEAD LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICE MAY BE LOCATED WITHIN THE PERIMETER EASEMENTS OF THE SUBDIVISION. STREET LIGHT POLES OR STANDARDS SHALL BE SERVED BY UNDERGROUND CABLE AND ELSEWHERE THROUGHOUT SAID ADDITION. ALL SUPPLY LINES SHALL BE LOCATED UNDERGROUND IN THE EASEMENT-WAYS RESERVED FOR THE GENERAL UTILITY SERVICES AND STREETS, SHOWN ON THE ATTACHED PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY OF SECONDARY VOLTAGES MAY ALSO BE LOCATED IN SAID EASEMENT-WAYS.

2. ALL SUPPLY LINES IN THE SUBDIVISION INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICE LINES SHALL BE LOCATED UNDERGROUND IN THE EASEMENTS RESERVED FOR GENERAL UTILITY SERVICES AND STREETS SHOWN ON THE PLAN OF THE SUBDIVISION. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES. MAY ALSO BE LOCATED IN SAID EASEMENTS.

3. EXCEPT FOR BUILDINGS ON LOTS DESCRIBED IN PARAGRAPH ABOVE, WHICH MAY BE SERVED FROM OVERHEAD ELECTRIC SERVICE LINES, UNDERGROUND SERVICE CABLES AND NATURAL GAS SERVICE LINES TO ALL BUILDINGS WHICH MAY BE LOCATED IN THE SUBDIVISION MAY BE RUN FROM THE NEAREST NATURAL GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH BUILDING AS MAY BE LOCATED UPON SAID LOT:

PROVIDED THAT UPON THAT THE INSTALLATION OF SUCH A SERVICE CABLE OR A NATURAL GAS SERVICE LINE TO A PARTICULAR BUILDING, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, AND EFFECTIVE RIGHT-OF-WAY EASEMENT ON SAID LOT, COVERING A FIVE-FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF SUCH SERVICE CABLE OR LINE, EXTENDING FROM THE SERVICE PEDESTAL, TRANSFORMER OR NATURAL GAS MAIN TO THE SERVICE ENTRANCE ON THE BUILDING.

4. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICES, THROUGH ITS AUTHORIZED AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL SUCH EASEMENTS SHOWN ON THE PLAT TO THE SUBDIVISION OR PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR NATURAL GAS SERVICE FACILITIES SO INSTALLED BY IT.

5. THE OWNER OF EACH LOT IN THE SUBDIVISION SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND ELECTRIC FACILITIES LOCATED ON HIS PROPERTY AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH SAID ELECTRIC, TELEPHONE, CABLE TELEVISION OR NATURAL GAS FACILITIES. THE SUPPLIER OF SERVICE WILL BE RESPONSIBLE FOR THE ORDINARY MAINTENANCE OF UNDERGROUND FACILITIES, BUT THE OWNER OF THE LOT IN THE SUBDIVISION WILL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF SUCH OWNER OR HIS AGENTS OR CONTRACTORS.

E. SURFACE DRAINAGE

1. SURFACE DRAINAGE. EACH LOT SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE STORM AND SURFACE WATERS FROM LOTS AND DRAINAGE AREAS OF HIGHER ELEVATION AND FROM PUBLIC STREETS AND EASEMENTS.

2. NO PROPERTY OWNER SHALL CONSTRUCT OR PERMIT TO BE CONSTRUCTED ANY FENCING OR OTHER OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF STORM AND SURFACE WATERS OVER AND ACROSS HIS LOT. NO PROPERTY OWNER SHALL MODIFY OR CHANGE THE DIRECTION OF DRAINAGE OF SURFACE STORMWATER FROM THE ORIGINAL APPROVED CONSTRUCTION PLANS ON FILE AT THE CITY OF BIXBY.

3. THE PROPERTY OWNER SHALL PREVENT THE ALTERATION OF GRADE WITHIN ALL EASEMENT AREAS FROM THE ORIGINAL CONTOURS (FINISH GRADE) OR ALLOW ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH SUCH PUBLIC WATER MAINS, VALVES, STORM SEWERS, AND OR PUBLIC SANITARY SEWER FACILITIES.

4. THE COVENANTS SET FORTH IN THIS SECTION SHALL BE ENFORCEABLE BY ANY AFFECTED PROPERTY OWNER AND BY THE CITY OF BIXBY, OKLAHOMA.

F. LAND USE

ALL CONSTRUCTION SHALL BE STRICTLY ACCORDING TO THE ORDINANCES OF THE CITY OF BIXBY, OKLAHOMA.

DEVELOPMENT STANDARDS FOR ALL LOTS

LANDSCAPED AREA AND SCREENING

(1) OWNER/DEVELOPER SHALL SUBMIT A DETAILED LANDSCAPE AND SCREENING PLAN AS REQUIRED BY THE CITY OF BIXBY PURSUANT TO LANDSCAPE REQUIREMENTS CHAPTERS OF THE BIXBY ZONING CODE.

(2) A DETAIL LANDSCAPE PLAN FOR THE DEVELOPMENTAREAS SHALL BE APPROVED BY CITY STAFF OR CITY COUNCIL AS NEEDED.

SIGNS

(1) SIGNAGE SHALL COMPLY WITH THE CITY OF BIXBY ZONING CODE.

LIGHTING

(1) FLASHING SIGNS, RUNNING LIGHT OR TWINKLE SIGNS, ANIMATED SIGNS, REVOLVING OR ROTATING SIGNS WITH MOVEMENT SHALL BE PROHIBITED, EXCEPT AS MAY BE PERMITTED BY THE BIXBY PLANNING COMMISSION AS PART OF THE APPROVED DETAIL SIGN PLAN.

(2) LIGHTING USED TO ILLUMINATE THE DEVELOPMENT AREA SHALL BE SO ARRANGED AS TO SHIELD AND DIRECT THE LIGHT AWAY FROM ADJACENT RESIDENTIAL AREAS. EXTERIOR LIGHTING MOUNTED ON BUILDING WALLS SHALL BE PERMITTED.

TRASH, MECHANICAL AND EQUIPMENT AREAS

(1) THERE SHALL BE NO STORAGE OF RECYCLABLE MATERIALS, TRASH OR SIMILAR MATERIAL OUTSIDE A SCREENED RECEPTACLE. AN OPAQUE FENCE OF AT LEAST 8 FEET IN HEIGHT SHALL BE PLACED AROUND ALL DUMPSTERS.

DRAINAGE

DRAINAGE. ALL STORMWATER DRAINAGE STRUCTURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CITY OF BIXBY ORDINANCES AND REGULATIONS, AND AS SHALL BE MORE PARTICULARLY DESCRIBED IN RESTRICTIVE COVENANTS INCLUDED IN THE PLAT OF THE SITE.

A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF OKLAHOMA SHALL CERTIFY TO THE APPROPRIATE CITY OFFICIAL THAT ALL REQUIRED STORMWATER DRAINAGE STRUCTURES SERVING THE SITE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT ON THAT LOT. DURING CONSTRUCTION ON THE PROPERTY, THE OWNERS OF THE DEVELOPMENT AREAS, AND ANY PLATTED LOTS WITHIN THE DEVELOPMENT AREAS, WILL PROVIDE ADEQUATE AND REASONABLE EROSION CONTROL, AND, AFTER CONSTRUCTION, THEY WILL PROVIDE AND MAINTAIN VEGETATIVE, LANDSCAPED GROUND COVER SO THAT SOIL DOES NOT ERODE ON OR FROM THE PROPERTY

FLOOD STATEMENT

FIRM PANEL NO. 40143C0434L DATED OCTOBER 16, 2012 SHOWS THE PROPERTY DESCRIBED HEREON IS LOCATED IN ZONE X AND ZONE AE.

THE BASE FLOOD ELEVATION (BFE) IS 602. THEREFORE, THE MINIMUM FINISHED FLOOR ELEVATION (FFE) FOR ALL STRUCTURES WITHIN THE PLATTED AREA SHALL BE 603, PER CITY ORDINANCE.

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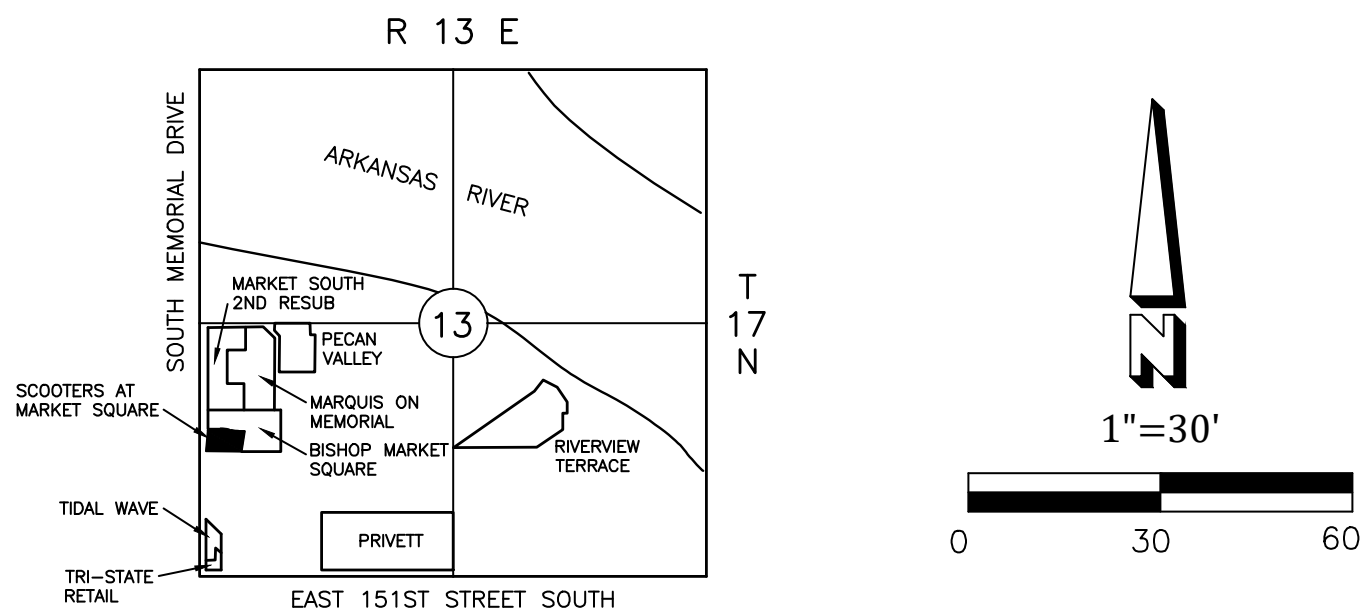
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CERTIFICATE OF AUTHORIZATION NO. 8548
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C2	21.14	14.00	19.19	N46°44'41"E
C3	23.49	16.00	21.44	N47°56'13"E
C4	29.51	380.48	29.50	S82°04'31"E
C5	15.86	10.50	14.39	S46°45'38"W
C6	65.19	380.48	65.11	S86°35'54"E
C7	22.55	380.48	22.54	S79°59'33"E

BENCHMARKS

- ONSITE BENCHMARK:
BENCHMARK DESC: MAG NAIL W/WASHER TOP OF CURB
N: 352259.07
E: 2594119.06
ELEVATION: 605.15
 - ONSITE BENCHMARK:
BENCHMARK DESC: MAG NAIL W/WASHER TOP OF CURB
N: 351975.28
E: 2594083.81
ELEVATION: 605.89
- SOURCE BENCHMARK:
ADS MONUMENT TC01: 2" BRASS DISK SET IN BRIDGE ABUTMENT
N: 346825.375
E: 2594069.650
ELEVATION: 601.65

THE BEARINGS SHOWN HEREON ARE BASED ON THE OKLAHOMA STATE
PLANE COORDINATE SYSTEM NAD 83 (2011) AND THE EAST
RIGHT-OF-WAY LINE OF MEMORIAL DRIVE BEING NORTH 03°29'21" EAST.

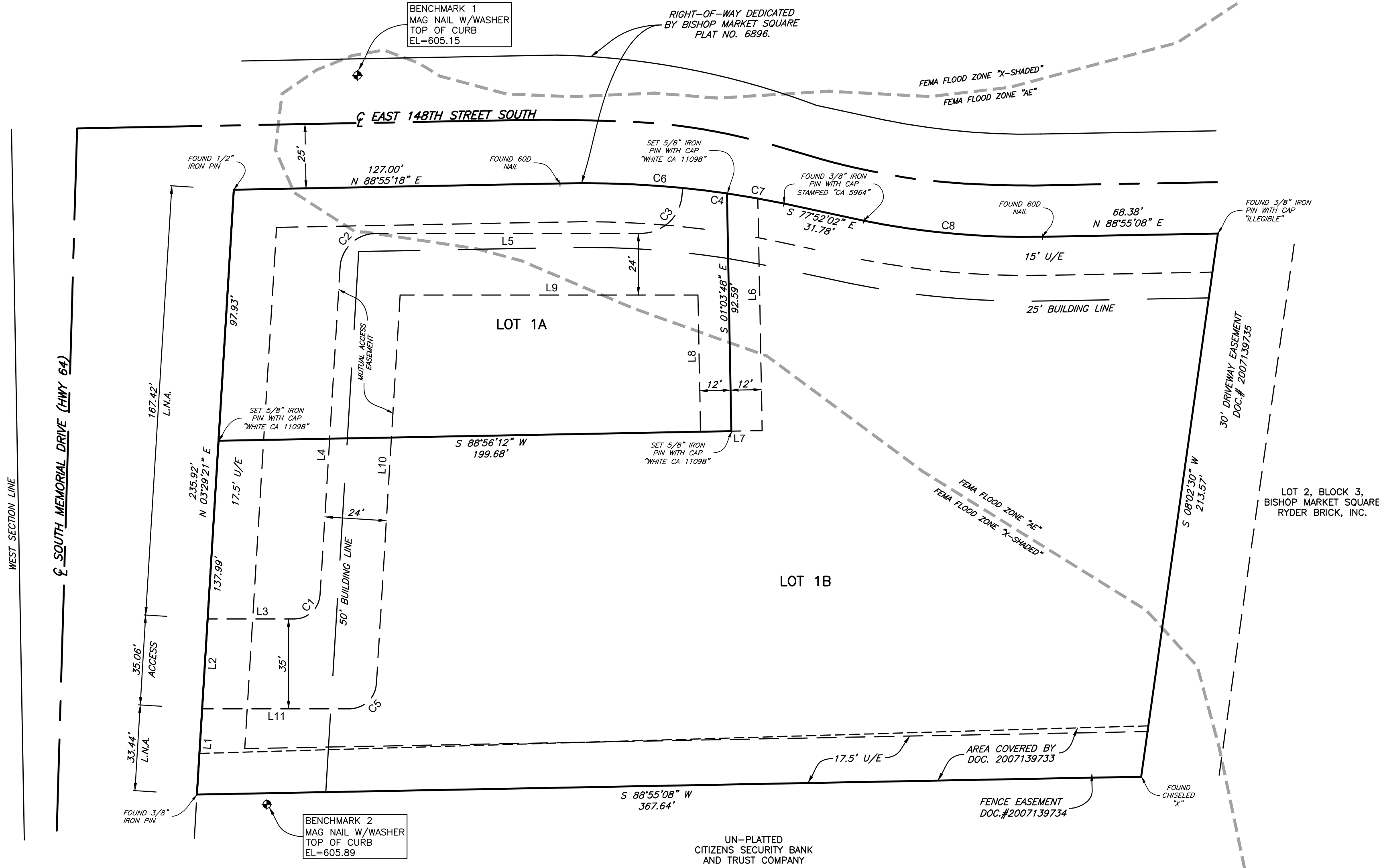
FLOOD STATEMENT

FIRM PANEL NO. 40143C0434L DATED OCTOBER 16, 2012 SHOWS
THE PROPERTY DESCRIBED HEREON IS LOCATED IN ZONE X AND
ZONE AE.

THE BASE FLOOD ELEVATION (BFE) IS 602. THEREFORE THE
MINIMUM FINISHED FLOOR ELEVATION (FFE) FOR ALL STRUCTURES
WITHIN THE PLATTED AREA SHALL BE 603, PER CITY
ORDINANCE.

BEST AVAILABLE INFORMATION INDICATES THAT THE EXISTING
VERTICAL GROUND ELEVATION WITHIN THE PLATTED AREA IS 602
OR HIGHER AT THE TIME OF PLATTING. PRIOR TO ISSUANCE OF A
BUILDING PERMIT, THE APPLICANT SHALL SUBMIT AN ELEVATION
CERTIFICATE OR TOPOGRAPHIC SURVEY CONFIRMING THE EXISTING
GROUND ELEVATION ON THE SITE PRIOR TO DEVELOPMENT.

FOR EACH INDIVIDUAL LOT, A LETTER OF MAP AMENDMENT (LOMA),
LETTER OF MAP REVISION (LOMR) OR LETTER OF MAP REVISION
BASED ON FILL (LOMR-F) MAY BE REQUIRED BY A LENDING
INSTITUTION. IF REQUIRED, THE LOT OWNER IS RESPONSIBLE FOR
COMPLIANCE WITH LENDER AND/OR FEMA REQUIREMENTS.



WEST SECTION LINE

§ SOUTH MEMORIAL DRIVE (LHW 64)

WEST SECTION LINE

LEGEND

U/E UTILITY EASEMENT

L.N.A. LIMITS OF NO ACCESS

FINAL PLAT CERTIFICATE OF APPROVAL
I hereby certify that this plat was approved by the City of Bixby.

ON _____

BY _____

THIS APPROVAL IS VOID IF THE ABOVE SIGNATURE IS NOT ENDORSED
BY THE CITY MANAGER OR CITY CLERK.

BY _____
CITY MANAGER OT CITY CLERK

TREASURER'S CERTIFICATE

I, _____, Treasurer of Tulsa County, Oklahoma, do
herby certify that all taxes on the proeprty hereon platted and
described have been paid of cash bond placed to secure the same.

Dated the _____ day of _____, 20 ____

COUNTY TREASURER

CERTIFICATE OF COUNTY CLERK

This Plat has been filed in the office of the County Clerk, Tulsa
County, State of Oklahoma on the _____ day of _____, 20 ____

CITY OF BIXBY PLANNING AND ZONING COMMISSIONER APPROVAL

Chairman, Planning and Zoning Commission, Date: _____

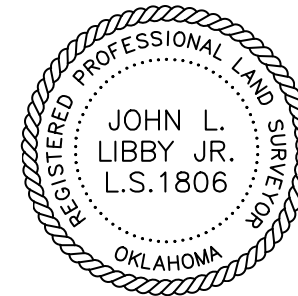
SURVEYOR'S CERTIFICATE

I, John L. Libby Jr., a Professional Land Surveyor do hereby certify
that I have carefully and accurately surveyed and staked the tract of
land as described on the plat and that monuments have been found
or set at all lot corner and that the described plat is a true
representation of said survey.

Certificate of Authorization: No. CA 1098.

Witness my hand and seal this 1ST day of DECEMBER, 2022

John L. Libby Jr., R.P.L.S. 1806



SCOOTER'S at MARKET SQUARE

A RE--SUBDIVISION OF LOT 1, BLOCK 3, BISHOP MARKET SQUARE, PLAT NO. 6896,
AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA,
SECTION 13, TOWNSHIP 17 NORTH, RANGE 13 EAST.

DEED OF DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

THAT DIXIELOU RE, LLC, BEING THE SOLE OWNER OF THE FEE SIMPLE AND TO THE FOLLOWING DESCRIBED REAL ESTATE SITUATED IN THE COUNTY OF TULSA, STATE OF OKLAHOMA, TO--WIT:

LOT ONE (1), BLOCK THREE (3), BISHOP MARKET SQUARE, AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT NO. 6896.

HAS CAUSED THE SAME TO BE SURVEYED, STAKED AND PLATTED INTO LOTS AND STREETS AND ALLEYS AND HAVE CAUSED THIS PLAT TO BE MADE OF SAID TRACT SHOWING ACCURATE DIMENSIONS OF THE LOTS AND STREETS AND ALLEYS AND HEREBY DEDICATE SAID PLAT AS BISHOP MARKET SQUARE ADDITION, BIXBY, OKLAHOMA AND DEDICATE TO PUBLIC USE ALL STREETS, EASEMENTS AND ALLEYS AS SHOWN ON THIS PLAT

SECTION 1. PUBLIC COVENANTS

A. STREETS AND UTILITY EASEMENTS

THE UNDERSIGNED OWNER DOES HEREBY DEDICATE TO THE PUBLIC USE FOREVER, STREETS RIGHTS--OF--WAY AS SHOWN AND DESIGNATED ON THE ACCOMPANYING PLAT AND DOES FURTHER DEDICATE TO THE PUBLIC USE FOREVER THE EASEMENTS AS SHOWN AND DESIGNATED ON THE ACCOMPANYING PLAT FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REMOVING, REPLACING ANY AND ALL UTILITIES INCLUDING STORM SEWER, SANITARY SEWER, TELEPHONE AND COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES AND WATER LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS AND EQUIPMENT FAR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO WITH THE RIGHTS OF INGRESS AND EGRESS INTO AND UPON SAID UTILITY EASEMENTS AND RIGHTS--OF--WAY FOR THE USES AND PURPOSES AFORESAID. NO BUILDING, STRUCTURE, OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION THAT WILL INTERFERE WITH THE PURPOSES AFORESAID, WILL BE PLACED, ERECTED, INSTALLED OR PERMITTED UPON THE EASEMENTS OR RIGHTS--OF--WAY AS SHOWN, PROVIDED HOWEVER, THAT THE OWNER HEREBY RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND RELAY WATER LINES AND SANITARY SEWER LINES TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING AND RELAYING OVER, ACROSS AND ALONG ALL PUBLIC STREETS, ALLEYS, AND UTILITY EASEMENTS, SHOWN ON SAID PLAT FOR THE PURPOSES OF FURNISHING WATER AND/OR SANITARY SEWER SERVICES TO THE AREA INCLUDED IN SAID PLAT.

B. WATER AND SANITARY SEWER SERVICE:

IN CONNECTION WITH THE PROVISION OF WATER AND SANITARY SEWER SERVICE, ALL LOTS ARE SUBJECT TO THE FOLLOWING PROVISIONS, TO--WIT:

THE OWNER OF EACH LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS AND THE PUBLIC SANITARY SEWER FACILITIES LOCATED ON HIS LOT AND WITHIN THE DEPICTED STREET RIGHT--OF WAY AND UTILITY EASEMENT AREAS, IF GROUND ELEVATIONS ARE ALTERED FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER OR SEWER MAIN, ALL GROUND LEVEL APERTURES, TO INCLUDE: VALVE BOXES, FIRE HYDRANTS AND MANHOLES WILL BE ADJUSTED TO THE NEW GRADE BY THE OWNER OR AT THE OWNER'S EXPENSE.

THE CITY OF BIXBY OR ITS SUCCESSORS WILL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER MAINS AND PUBLIC SANITARY SEWER FACILITIES, BUT THE OWNER WILL PAY DAMAGE FOR RELOCATION OF SUCH FACILITIES OR NECESSITATED BY THE ACTS OF THE OWNER OR HIS AGENTS OR CONTRACTORS.

THE CITY OF BIXBY OR ITS SUCCESSORS THROUGH ITS AGENTS AND EMPLOYEES SHALL AT ALL TIMES HOVE THE RIGHT OF ACCESS WITH THEIR EQUIPMENT TO ALL SUCH EASEMENT--WAYS SHOWN ON SAID PLAT, OR PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF UNDERGROUND WATER AND SEWER FACILITIES.

THE FOREGOING COVENANTS CONCERNING WATER AND SEWER FACILITIES SHALL BE ENFORCEABLE BY THE CITY OF BIXBY OR ITS SUCCESSORS, AND THE OWNER OF THE LOT AGREES TO BE BOUND HEREBY.

C. LIMITS OF NO ACCESS

THE OWNER HEREBY RELINQUISHES RIGHTS OF INGRESS AND EGRESS TO THE ABOVE DESCRIBED PROPERTY WITHIN THE BOUNDS DESIGNATED AS "LIMITS OF NO ACCESS" (LNA), AND SHOWN ON THE PLAT, EXCEPT AS MAY BE HEREAFTER BE RELEASED, ALTERED, OR AMENDED BY THE CITY OF BIXBY AND APPROVED BY THE BIXBY PLANNING COMMISSION OR ITS SUCCESSORS, OR AS OTHERWISE PROVIDED BY THE STATUTES AND LAWS OF THE STATE OF OKLAHOMA PERTAINING THERETO. THE FOREGOING COVENANT SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, AND THE OWNER OF EACH LOT AGREES TO BE BOUND THEREBY.

D. ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICE.

IN CONNECTION WITH THE INSTALLATION OF UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICE LINES, THE LOT IS SUBJECT TO THE FOLLOWING:

1. OVERHEAD LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICE MAY BE LOCATED WITHIN THE PERIMETER EASEMENTS OF THE SUBDIVISION. STREET LIGHT POLES OR STANDARDS SHALL BE SERVED BY UNDERGROUND CABLE AND ELSEWHERE THROUGHOUT SAID ADDITION, ALL SUPPLY LINES SHALL BE LOCATED UNDERGROUND IN THE EASEMENT--WAYS RESERVED FOR THE GENERAL UTILITY SERVICES AND STREETS, SHOWN ON THE ATTACHED PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY OF SECONDARY VOLTAGES MAY ALSO BE LOCATED IN SAID EASEMENT--WAYS.

2. ALL SUPPLY LINES IN THE SUBDIVISION INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICE LINES SHALL BE LOCATED UNDERGROUND IN THE EASEMENTS RESERVED FOR GENERAL UTILITY SERVICES AND STREETS SHOWN ON THE PLAN OF THE SUBDIVISION. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN SAID EASEMENTS.

3. EXCEPT FOR BUILDINGS ON LOTS DESCRIBED IN PARAGRAPH ABOVE, WHICH MAY BE SERVED FROM OVERHEAD ELECTRIC SERVICE LINES, UNDERGROUND SERVICE CABLES AND NATURAL GAS SERVICE LINES TO ALL BUILDINGS WHICH MAY BE LOCATED IN THE SUBDIVISION MAY BE RUN FROM THE NEAREST NATURAL GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH BUILDING AS MAY BE LOCATED UPON SAID LOT:

PROVIDED THAT UPON THAT THE INSTALLATION OF SUCH A SERVICE CABLE OR A NATURAL GAS SERVICE LINE TO A PARTICULAR BUILDING, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT, AND EFFECTIVE RIGHT--OF--WAY EASEMENT ON SAID LOT, COVERING A FIVE--FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF SUCH SERVICE CABLE OR LINE, EXTENDING FROM THE SERVICE PEDESTAL, TRANSFORMER OR NATURAL GAS MAIN TO THE SERVICE ENTRANCE ON THE BUILDING.

4. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS SERVICES, THROUGH ITS AUTHORIZED AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL SUCH EASEMENTS SHOWN ON THE PLAT TO THE SUBDIVISION OR PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR NATURAL GAS SERVICE FACILITIES SO INSTALLED BY IT.

5. THE OWNER OF EACH LOT IN THE SUBDIVISION SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND ELECTRIC FACILITIES LOCATED ON HIS PROPERTY AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH SAID ELECTRIC, TELEPHONE, CABLE TELEVISION OR NATURAL GAS FACILITIES. THE SUPPLIER OF SERVICE WILL BE RESPONSIBLE FOR THE ORDINARY MAINTENANCE OF UNDERGROUND FACILITIES, BUT THE OWNER OF THE LOT IN THE SUBDIVISION WILL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF SUCH OWNER OR HIS AGENTS OR CONTRACTORS.

E. SURFACE DRAINAGE

1. SURFACE DRAINAGE. EACH LOT SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE STORM AND SURFACE WATERS FROM LOTS AND DRAINAGE AREAS OF HIGHER ELEVATION AND FROM PUBLIC STREETS AND EASEMENTS.

2. NO PROPERTY OWNER SHALL CONSTRUCT OR PERMIT TO BE CONSTRUCTED ANY FENCING OR OTHER OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF STORM AND SURFACE WATERS OVER AND ACROSS HIS LOT. NO PROPERTY OWNER SHALL MODIFY OR CHANGE THE DIRECTION OF DRAINAGE OF SURFACE STORMWATER FROM THE ORIGINAL APPROVED CONSTRUCTION PLANS ON FILE AT THE CITY OF BIXBY.

3. THE PROPERTY OWNER SHALL PREVENT THE ALTERATION OF GRADE WITHIN ALL EASEMENT AREAS FROM THE ORIGINAL CONTOURS (FINISH GRADE) OR ALLOW ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH SUCH PUBLIC WATER MAINS, VALVES, STORM SEWERS, AND OR PUBLIC SANITARY SEWER FACILITIES.

4. THE COVENANTS SET FORTH IN THIS SECTION SHALL BE ENFORCEABLE BY ANY AFFECTED PROPERTY OWNER AND BY THE CITY OF BIXBY, OKLAHOMA.

F. LAND USE

ALL CONSTRUCTION SHALL BE STRICTLY ACCORDING TO THE ORDINANCES OF THE CITY OF BIXBY, OKLAHOMA.

DEVELOPMENT STANDARDS FOR ALL LOTS

LANDSCAPED AREA AND SCREENING

(1) OWNER/DEVELOPER SHALL SUBMIT A DETAILED LANDSCAPE AND SCREENING PLAN AS REQUIRED BY THE CITY OF BIXBY PURSUANT TO LANDSCAPE REQUIREMENTS CHAPTERS OF THE BIXBY ZONING CODE.

(2) A DETAIL LANDSCAPE PLAN FOR THE DEVELOPMENTAREAS SHALL BE APPROVED BY CITY STAFF OR CITY COUNCIL AS NEEDED.

SIGNS

(1) SIGNAGE SHALL COMPLY WITH THE CITY OF BIXBY ZONING CODE.

LIGHTING

(1) FLASHING SIGNS, RUNNING LIGHT OR TWINKLE SIGNS, ANIMATED SIGNS, REVOLVING OR ROTATING SIGNS WITH MOVEMENT SHALL BE PROHIBITED, EXCEPT AS MAY BE PERMITTED BY THE BIXBY PLANNING COMMISSION AS PART OF THE APPROVED DETAIL SIGN PLAN.

(2) LIGHTING USED TO ILLUMINATE THE DEVELOPMENT AREA SHALL BE SO ARRANGED AS TO SHIELD AND DIRECT THE LIGHT AWAY FROM ADJACENT RESIDENTIAL AREAS. EXTERIOR LIGHTING MOUNTED ON BUILDING WALLS SHALL BE PERMITTED.

TRASH, MECHANICAL AND EQUIPMENT AREAS

(1) THERE SHALL BE NO STORAGE OF RECYCLABLE MATERIALS, TRASH OR SIMILAR MATERIAL OUTSIDE A SCREENED RECEPTACLE. AN OPAQUE FENCE OF AT LEAST 8 FEET IN HEIGHT SHALL BE PLACED AROUND ALL DUMPSTERS.

DRAINAGE

DRAINAGE. ALL STORMWATER DRAINAGE STRUCTURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CITY OF BIXBY ORDINANCES AND REGULATIONS, AND AS SHALL BE MORE PARTICULARLY DESCRIBED IN RESTRICTIVE COVENANTS INCLUDED IN THE PLAT OF THE SITE.

A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF OKLAHOMA SHALL CERTIFY TO THE APPROPRIATE CITY OFFICIAL THAT ALL REQUIRED STORMWATER DRAINAGE STRUCTURES SERVING THE SITE HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT ON THAT LOT. DURING CONSTRUCTION ON THE PROPERTY, THE OWNERS OF THE DEVELOPMENT AREAS, AND ANY PLATTED LOTS WITHIN THE DEVELOPMENT AREAS, WILL PROVIDE ADEQUATE AND REASONABLE EROSION CONTROL, AND, AFTER CONSTRUCTION, THEY WILL PROVIDE AND MAINTAIN VEGETATIVE, LANDSCAPED GROUND COVER SO THAT SOIL DOES NOT ERODE ON OR FROM THE PROPERTY

FLOOD STATEMENT

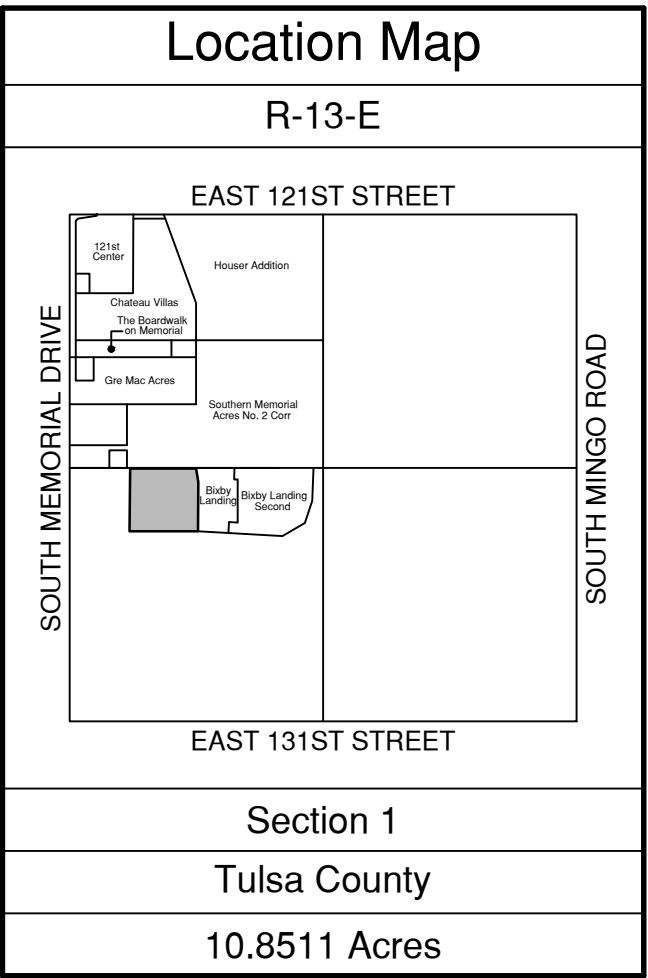
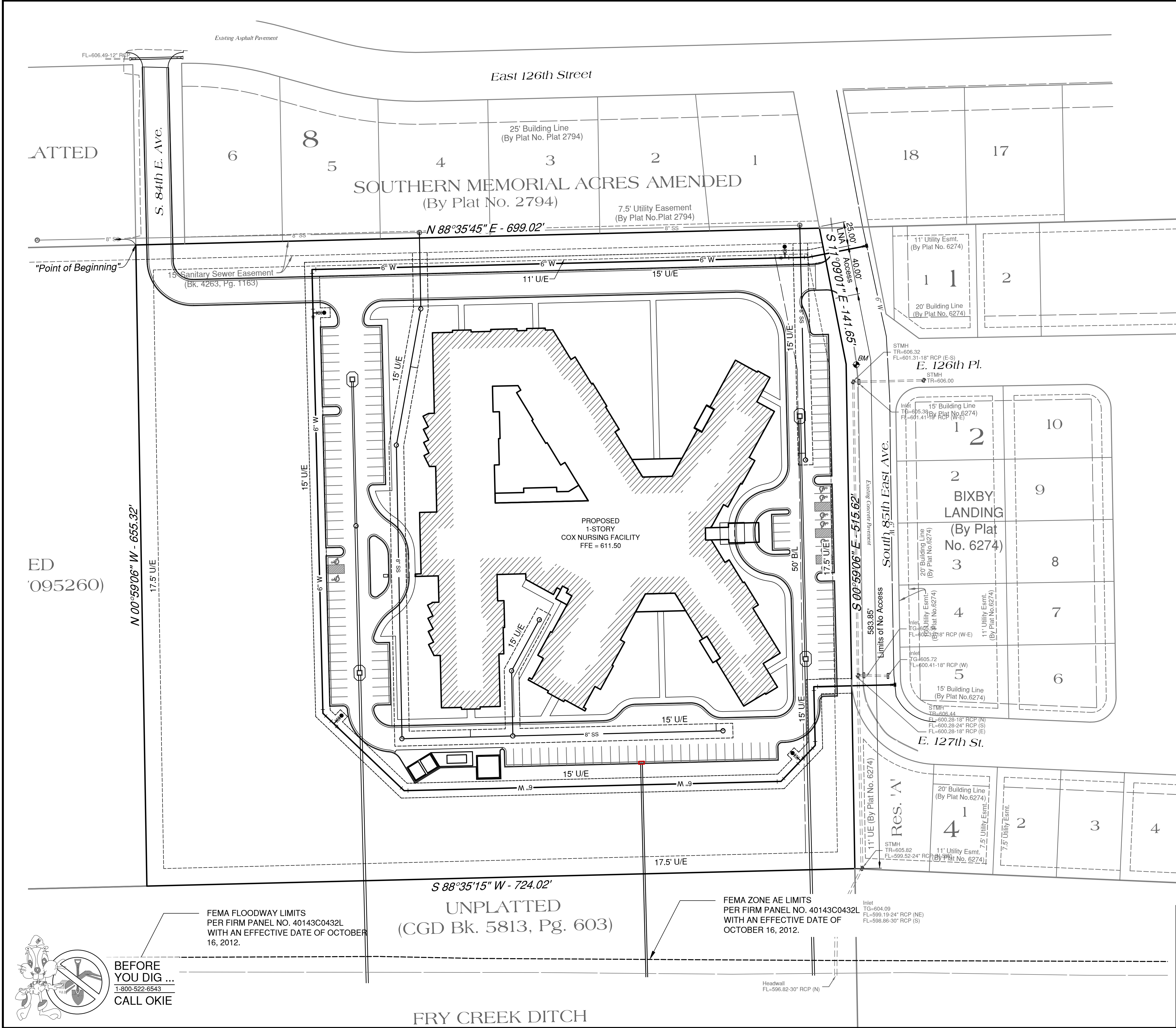
FIRM PANEL NO. 40143C0434L DATED OCTOBER 16, 2012 SHOWS THE PROPERTY DESCRIBED HEREON IS LOCATED IN ZONE X AND ZONE AE.

THE BASE FLOOD ELEVATION (BFE) IS 602. THEREFORE, THE MINIMUM FINISHED FLOOR ELEVATION (FFE) FOR ALL STRUCTURES WITHIN THE PLATTED AREA SHALL BE 603, PER CITY ORDINANCE.

BEST AVAILABLE INFORMATION INDICATES THAT THE EXISTING VERTICAL GROUND ELEVATION WITHIN THE PLATTED AREA IS 602 OR HIGHER AT THE TIME OF PLATING. PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT AN ELEVATION CERTIFICATE OR TOPOGRAPHIC SURVEY CONFIRMING THE EXISTING GROUND ELEVATION ON THE SITE PRIOR TO DEVELOPMENT.

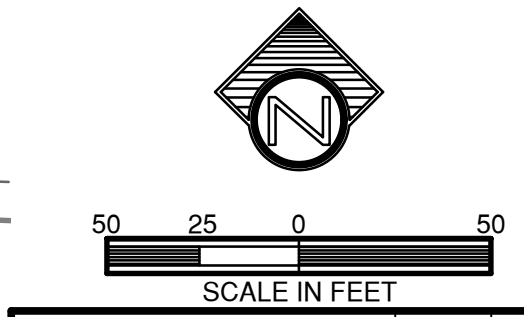
FOR EACH INDIVIDUAL LOT, A LETTER OF MAP AMENDMENT (LOMA), LETTER OF MAP REVISION (LOMR) OR LETTER OF MAP REVISION BASED ON FILL (LOMR--F) MAY BE REQUIRED BY A LENDING INSTITUTION, IF REQUIRED, THE LOT OWNER IS RESPONSIBLE FOR COMPLIANCE WITH LENDER AND/OR FEMA REQUIREMENTS.

This document is preliminary in nature and is not a final signed and sealed document



Legend			
Bk. = Book	U/E = Utility Easement		
Pg. = Page	ROW = Right of Way		
B/L = Building Line	ODE = Overland Drainage Easement		
--- = Section Line	----- = Proposed Easement Line		
--- = Building Line & Utility Easement	----- = Existing Easement Line		
[Hatched Box] = Right-of-Way Dedicated by Plat			

FOR AGENCY REVIEW ONLY



REVISION			BY	DATE

COVER SHEET

CITY OF BIXBY, OKLAHOMA

PLANS & ESTIMATES PREPARED BY:

tep

Tulsa Engineering & Planning Associates
9810 E. 42nd Street, Suite 100 Tulsa, Oklahoma 74146
Phone: 918-252-9621 Fax: 918-340-5999
Certificate of Authorization No. 531 PE/LS Renewal Date June 30, 2023

PLAN SCALE

1" = 50'

PROFILE SCALE

HORIZONTAL: N/A

VERTICAL: N/A

Cox Nursing Facility

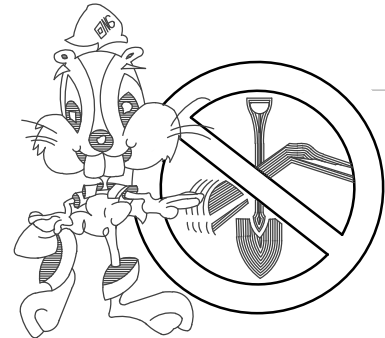
FILE: _____

DRAWING: _____

DATE: _____

ATLAS PAGE NO.: 2275

SHEET 2 OF 18 SHEETS



BEFORE
YOU DIG ...
1-800-522-6543
CALL OKIE

FEMA FLOODWAY LIMITS
PER FIRM PANEL NO. 40143C0432L
WITH AN EFFECTIVE DATE OF OCTOBER
16, 2012.

UNPLATTED
(CGD Bk. 5813, Pg. 603)

FEMA ZONE AE LIMITS
PER FIRM PANEL NO. 40143C0432L
WITH AN EFFECTIVE DATE OF
OCTOBER 16, 2012.

Headwall
FL=596.82-30" RCP (N)

CONCEPTUAL UTILITY PLAN

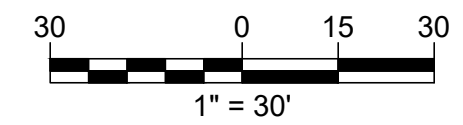
PERFECT FOOD AND GAS

A SUBDIVISION IN TULSA COUNTY, OKLAHOMA,
BEING PART OF THE SW/4 OF THE SW/4 OF SECTION TWENTY-FOUR (24), TOWNSHIP SEVENTEEN (17) NORTH,
RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN

OWNER:
Perfect Food and Gas 1, Inc.
5834 S 78th E Ave
Tulsa, Oklahoma 74145
Phone: (405) 962-9394
Yuba Parajuli
perfectfoodandgas@yahoo.com

ENGINEER:
Wallace Design Collective, P.C.
123 North Martin Luther King Jr Blvd.
Tulsa, Oklahoma 74103
Phone: (918) 584-5858
A. NICOLE WATTS, P.E. NO. 21511
OK CA NO. 1460, EXPIRES 6/30/2023
nicole.watts@wallace.design

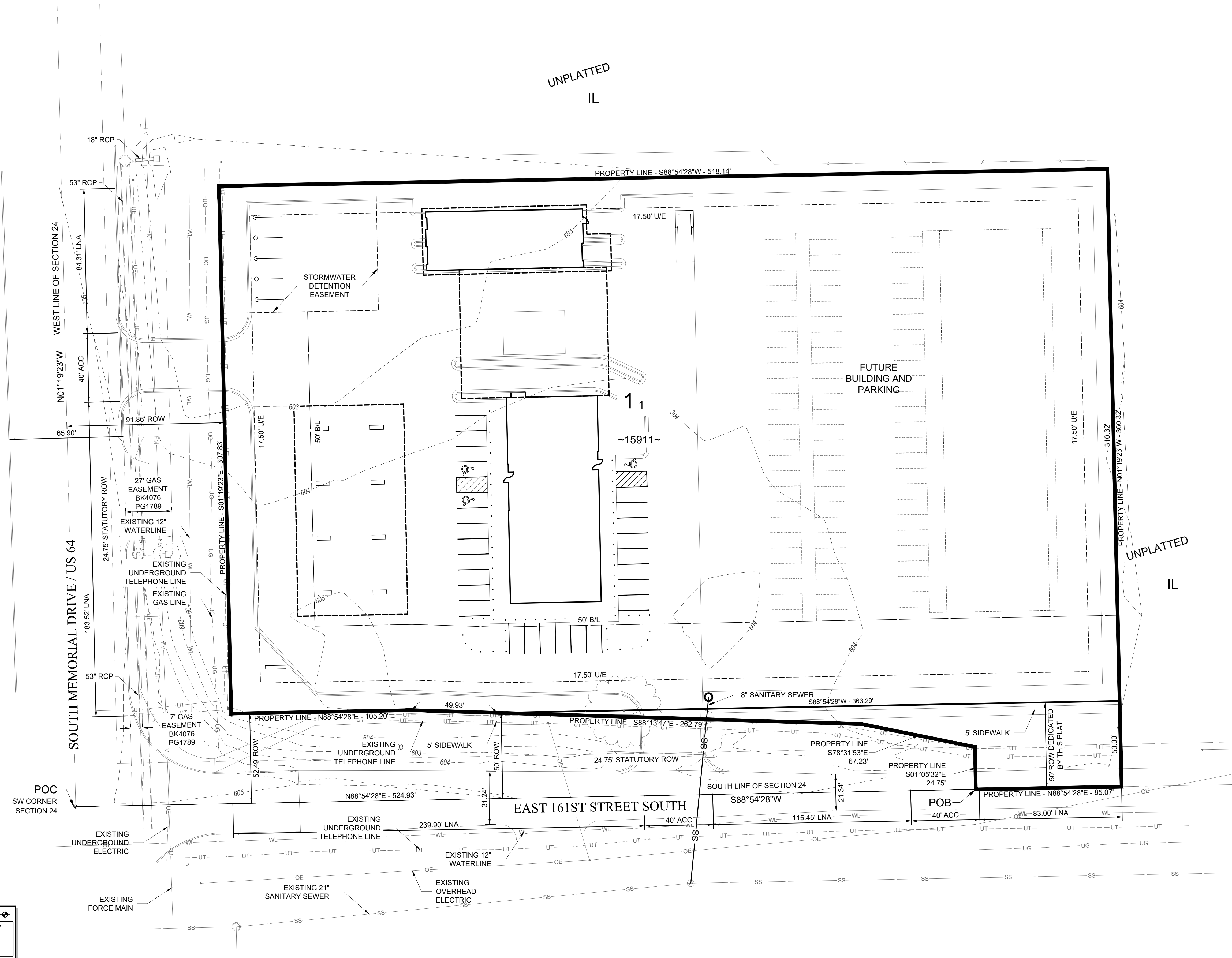
SURVEYOR:
Geodeca, LLC
PO Box 33012
Tulsa, Oklahoma 74153
Phone: (918) 949-4064
CA #5524 EXPIRES 6/30/2024
Russell M. Muzika



PROJECT
LOCATION

Location Map

Scale: 1"= 1500'



Benchmark 1
CHISELED X
NORTHING: 345398.084
EASTING: 2594148.177
ELEVATION: 605.11'

Benchmark 2
3/8\"/>

PRELIMINARY PLAT

PERFECT FOOD AND GAS BIXBY

A SUBDIVISION IN TULSA COUNTY, OKLAHOMA,
BEING PART OF THE SW/4 OF THE SW/4 OF SECTION TWENTY-FOUR (24), TOWNSHIP SEVENTEEN (17) NORTH,
RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN

OWNER:
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Yuba Parajuli
perfectfoodandgas@yahoo.com

ENGINEER:
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123 North Martin Luther King Jr Blvd.
Tulsa, Oklahoma 74103
Phone: (918) 584-5858
A. NICOLE WATTS, P.E. NO. 21511
OK CA NO. 1460, EXPIRES 6/30/2023
nicole.watts@wallace.design

SURVEYOR:
Geodeca, LLC
PO Box 33012
Tulsa, Oklahoma 74153
Phone: (918) 949-4064
CA #5524 EXPIRES 6/30/2024
Russell M. Muzika

NOTES

- THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- ADDRESSES SHOWN ON THIS PLAT ARE ACCURATE AT THE TIME THE PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION

FLOOD ZONE NOTE

THE PROPERTY DESCRIBED HEREON HAS BEEN EXAMINED BY A MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP TULSA COUNTY, OKLAHOMA, MAP NO. 40143C0445L, MAP REVISED: OCTOBER, 2012, WHICH SHOWS NO PORTION OF THE PROPERTY DESCRIBED HEREIN TO BE INSIDE OF THE 500-YEAR FLOOD PLAIN.

BASIS OF BEARINGS

THE BASIS OF BEARING IS BASED ON THE WEST LINE OF SECTION 24, T-17-N, R-12-E, AS BEING N01°19'23"W.

SITE DATA

EXISTING ZONING:	CG
TOTAL ACREAGE:	3.83 ACRES (167,021 SQUARE FEET)
NUMBER OF BLOCKS:	1
NUMBER OF LOTS:	1

UTILITY SERVICE PROVIDERS

WATER	- CITY OF BIXBY
SEWER	- CITY OF BIXBY
ELECTRIC	- OG&E
TELEPHONE	- BTC TELEPHONE COMPANY
GAS	- OKLAHOMA NATURAL GAS

MONUMENTATION

ALL CORNERS TO BE SET WITH A 3/8" IRON PIN WITH YELLOW CAP UNLESS OTHERWISE NOTED.

LINE LEGEND

	PROPOSED BOUNDARY
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED BUILDING LINE
	PROPOSED EASEMENT LINE
	PROPOSED CENTER LINE

LEGAL DESCRIPTION

A PART OF THE SOUTH 360.32 FEET OF THE WEST 610.00 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (W/2 SW/4 SW/4) OF SECTION 24, TOWNSHIP 17 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; BEGINNING AT A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 24 THAT IS A DISTANCE OF 524.93 FEET FROM THE SOUTHWEST CORNER OF SECTION 24; THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 24, N88°54'28"E A DISTANCE OF 85.07 FEET; THENCE ALONG THE EAST LINE OF THE WEST 610.00 FEET OF THE SOUTHWEST QUARTER OF SECTION 24, N01°19'23"W A DISTANCE OF 360.32 FEET; THENCE ALONG THE NORTH LINE OF THE SOUTH 360.32 FEET OF THE SOUTHWEST QUARTER OF SECTION 24, S88°54'28"W A DISTANCE OF 518.14 FEET TO A POINT ON THE EAST LINE OF THE OKLAHOMA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY FILED IN BOOK 6505, PAGE 2400 AT THE OFFICE OF THE TULSA COUNTY CLERK; THENCE ALONG SAID RIGHT OF WAY 91.86 FEET FROM AND PARALLEL WITH THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 24, S01°19'23"E A DISTANCE OF 307.83 FEET; THENCE ALONG SAID RIGHT OF WAY 52.49 FEET FROM AND PARALLEL WITH THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 24, N88°54'28"E A DISTANCE OF 105.20 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY, S88°13'47"E A DISTANCE OF 262.79 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY, S78°31'53"E A DISTANCE OF 67.23 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY, S01°05'32"E A DISTANCE OF 24.75 FEET TO THE POINT OF BEGINNING.

HAVING AN AREA OF 167,021 SQUARE FEET, 3.83 ACRES

ZONING REQUIREMENTS

GENERAL COMMERCIAL DISTRICT (CG)	
• FLOOR AREA RATIO (MAX)	0.75
• FRONTAGE (ARTERIAL)	100 FEET
• SETBACK (ARTERIAL)	50 FEET

ABBREVIATIONS

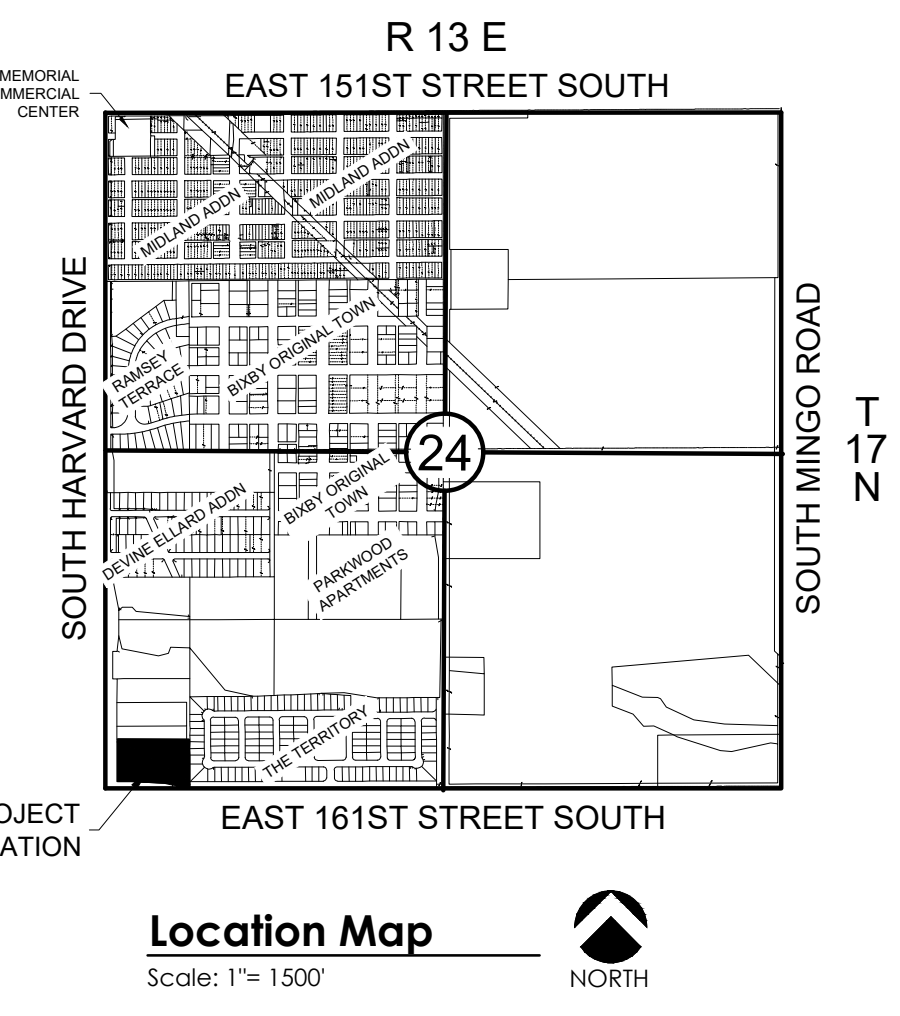
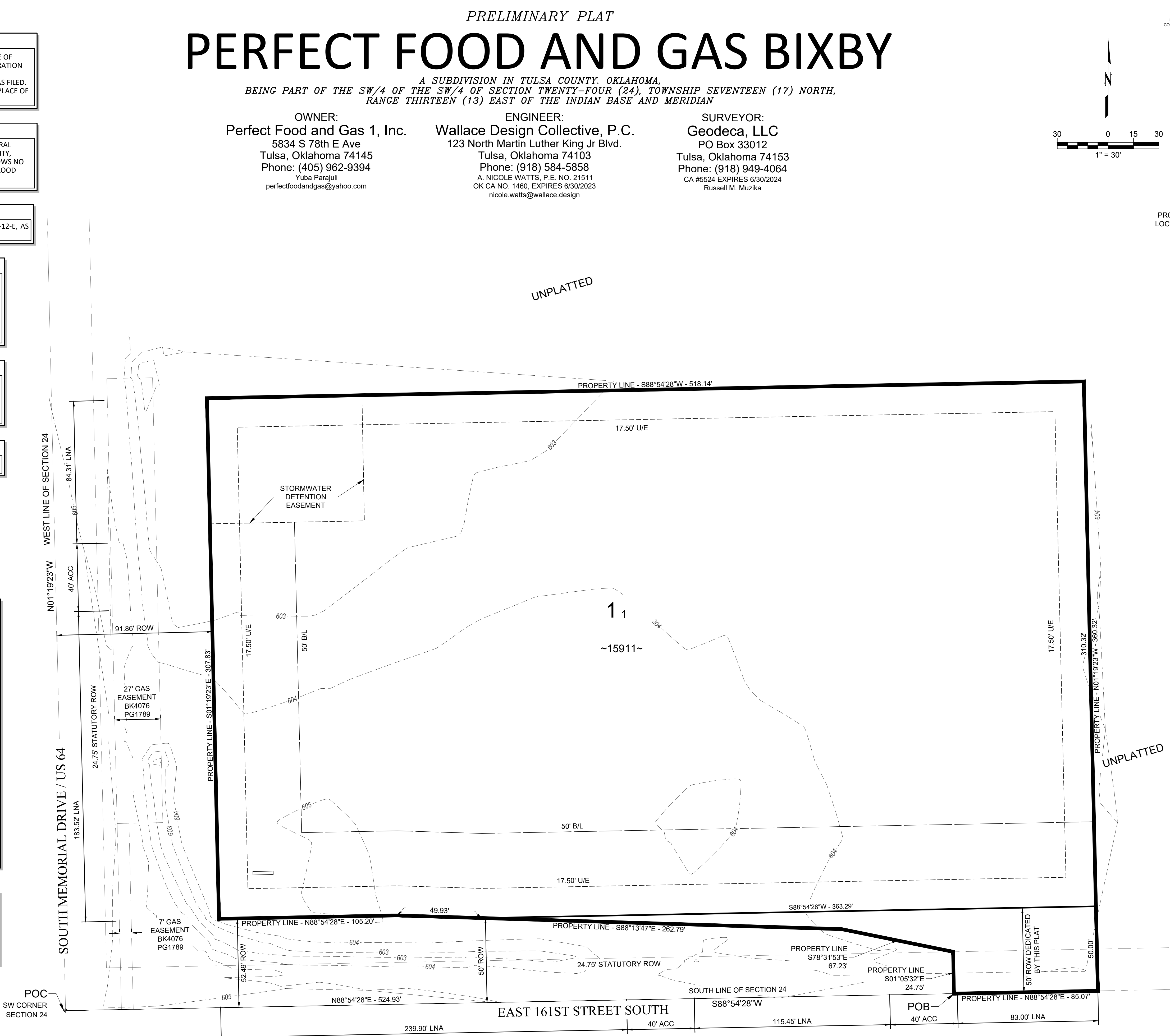
ACC	ACCESS
B/L	BUILDING LINE
BK PG	BOOK & PAGE
LNA	LIMITS OF NO ACCESS
POB	POINT OF BEGINNING
ROW	RIGHT-OF-WAY
U/E	UTILITY EASEMENT

Benchmark 1

CHISELED X
NORTHING: 345398.084
EASTING: 2594148.177
ELEVATION: 605.11'

Benchmark 2

3/8" REBAR CAP "CA 5524"
NORTHING: 345769.94
EASTING: 2594749.75
ELEVATION: 603.31'



FINAL PLAT
CERTIFICATE OF APPROVAL

I hereby certify that this plat was approved by the City Council of the City of Bixby.

on _____

MAYOR - VICE MAYOR

This approval is void if the above signature is not endorsed by the City Manager or City Clerk.

CITY MANAGER - CITY CLERK

CERTIFICATE

I hereby certify that all real estate taxes involved in this plat have been paid as reflected by the current tax rolls. Security as required has been provided in the amount of \$ _____ per trust receipt no. _____ to be applied to 20 _____ taxes. This certificate in NOT to be construed as payment of 20 _____ taxes in full but is given in order that this plat may be filed on record. 20 _____ taxes may exceed the amount of the security deposit.

Dated: _____
JOHN M. FOTHERGILL
Tulsa County Treasurer

By: _____
Deputy

PRELIMINARY PLAT

PERFECT FOOD AND GAS BIXBY

Deed of Dedication and Restrictive Covenants

KNOW ALL MEN BY THESE PRESENTS:

PERFECT FOOD AND GAS 1, INC., HEREINAFTER REFERRED TO AS THE "OWNER", IS THE OWNER OF THE FOLLOWING DESCRIBED LAND IN TULSA COUNTY, STATE OF OKLAHOMA, TO-WIT:

PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4) OF SECTION TWENTY-FOUR (24), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

THE SOUTH 360.32 FEET OF THE WEST 610.00 FEET OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (W/2 SW/4 SW/4) OF SECTION 24, TOWNSHIP 17 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, LESS AND EXCEPT THE FOLLOWING DESCRIBED LAND:

A STRIP, PIECE OR PARCEL OF LAND LYING IN PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW/4 SW/4 SW/4) OF SECTION 24, TOWNSHIP 17 NORTH, RANGE 13 EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SW/4 SW/4 SW/4; THENCE NORTH ALONG THE WEST LINE OF SAID SW/4 SW/4 SW/4 A DISTANCE OF 360.42 FEET; THENCE EAST A DISTANCE OF 91.85 FEET; THENCE S 01°19'23" E A DISTANCE OF 307.93 FEET; THENCE N 88°54'55" E A DISTANCE OF 105.20 FEET; THENCE S 88°13'20" E A DISTANCE OF 262.79 FEET; THENCE S 78°31'28" E A DISTANCE OF 67.23 FEET; THENCE S 01°05'05" E A DISTANCE OF 24.75 FEET TO A POINT ON THE SOUTH LINE OF SAID SW/4 SW/4 SW/4; THENCE WEST ALONG SAID SOUTH LINE A DISTANCE OF 524.93 FEET TO THE POINT OF BEGINNING.

HAVING A MEASURED AREA OF 167021 SQUARE FEET OR 3.8343 ACRES

AND HAS CAUSED THE ABOVE-DESCRIBED TRACT OF LAND TO BE SURVEYED, STAKED, PLATTED AND SUBDIVIDED INTO ONE LOT, ONE BLOCK, IN CONFORMITY WITH THE ACCOMPANYING PLAT AND SURVEY (HEREINAFTER THE "PLAT"), AND HAS ENTITLED AND DESIGNATED THE SUBDIVISION AS "PERFECT FOOD AND GAS BIXBY". A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA (HEREINAFTER THE "SUBDIVISION" OR "PLATTED AREA" OR "PERFECT FOOD AND GAS BIXBY").

SECTION I. STREETS, EASEMENTS AND UTILITIES

A. GENERAL UTILITY EASEMENTS

THE OWNER DOES HEREBY DEDICATE TO THE PUBLIC THE STREET RIGHTS-OF-WAY AS DEPICTED ON THE ACCOMPANYING PLAT, ADDITIONALLY, THE OWNER DOES HEREBY DEDICATE TO THE PUBLIC THE UTILITY EASEMENTS DESIGNATED AS "UIE" OR "UTILITY EASEMENT", FOR THE SEVERAL PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND/OR REMOVING ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, SANITARY SEWERS, TELEPHONE AND COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATER LINES AND CABLE TELEVISION LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS, PIPES, VALVES, METERS, AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO AND UPON THE UTILITY EASEMENTS FOR THE USES AND PURPOSES AFORESAID, PROVIDED HOWEVER, THE OWNER HEREBY RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND RE-LAY WATER LINES AND SEWER LINES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE, OPERATION, LAYING AND RELAYING OVER, ACROSS AND ALONG ALL OF THE UTILITY EASEMENTS DEPICTED ON THE PLAT, FOR THE PURPOSE OF FURNISHING WATER AND/ OR SEWER SERVICES TO THE AREA INCLUDED IN THE PLAT. THE OWNER HEREIN IMPOSES A RESTRICTIVE COVENANT, WHICH COVENANT SHALL BE BINDING ON THE LOT OWNER AND SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA, AND BY THE SUPPLIER OF ANY AFFECTED UTILITY SERVICE, THAT WITHIN THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT NO BUILDING, STRUCTURE OR OTHER ABOVE OR BELOW GROUND OBSTRUCTION THAT INTERFERES WITH THE ABOVE SET FORTH USES AND PURPOSES OF AN EASEMENT SHALL BE PLACED, ERECTED, INSTALLED OR MAINTAINED, PROVIDED HOWEVER, NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING, LANDSCAPING AND CUSTOMARY SCREENING FENCES AND WALLS THAT DO NOT CONSTITUTE AN OBSTRUCTION.

B. UNDERGROUND SERVICE

- OVERHEAD POLES FOR THE SUPPLY OF ELECTRIC AND COMMUNICATION SERVICE MAY BE LOCATED IN THE PERIMETER UTILITY EASEMENT AND IN THE PERIMETER RIGHT-OF-WAYS OF THE SUBDIVISION. STREET LIGHT POLES OR STANDARDS MAY BE SERVED BY OVERHEAD OR UNDERGROUND CABLE, AND ELSEWHERE THROUGHOUT THE SUBDIVISION. ALL SUPPLY LINES INCLUDING ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS LINES SHALL BE LOCATED UNDERGROUND IN EASEMENTS DEDICATED FOR GENERAL UTILITY SERVICES AND IN THE RIGHTS-OF-WAY OF THE PUBLIC STREETS AS DEPICTED UPON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN THE GENERAL UTILITY EASEMENTS.
- UNDERGROUND SERVICE CABLES AND GAS SERVICE LINES TO ALL STRUCTURES WHICH MAY BE LOCATED ON ALL LOTS IN THE SUBDIVISION MAY BE RUN FROM THE NEAREST GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF SUCH STRUCTURE AS MAY BE LOCATED UPON EACH SAID LOT, PROVIDED THAT UPON THE INSTALLATION OF SUCH A SERVICE CABLE OR GAS SERVICE LINE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITIVE, PERMANENT AND EFFECTIVE EASEMENT ON THE LOT, COVERING A 5 FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE, EXTENDING FROM THE SERVICE PEDESTAL, TRANSFORMER OR GAS MAIN TO THE SERVICE ENTRANCE ON THE STRUCTURE OR A POINT OF METERING.
- THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS SERVICES, THROUGH ITS AUTHORIZED AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL SUCH EASEMENTS SHOWN ON THE PLAT OF THE SUBDIVISION OR PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE FACILITIES SO INSTALLED BY IT. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION ALSO RESERVES THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CUT DOWN, TRIM, OR TREAT ANY TREES AND UNDERGROWTH ON SAID EASEMENT.
- THE OWNER OF THE LOT IN THE SUBDIVISION SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND ELECTRIC FACILITIES LOCATED ON HIS PROPERTY AND SHALL PREVENT THE ALTERATION OF GRADE OR ANY CONSTRUCTION ACTIVITY WHICH MAY INTERFERE WITH SAID ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES. THE SUPPLIER OF SERVICE WILL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF UNDERGROUND FACILITIES, BUT THE OWNER OF THE LOT IN THE SUBDIVISION WILL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER OR HIS AGENTS OR CONTRACTORS. THE FOREGOING COVENANTS CONCERNING UNDERGROUND FACILITIES SHALL BE ENFORCEABLE BY THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION, OR GAS SERVICES.

C. WATER MAINS, SANITARY SEWERS, AND STORM SEWER SERVICES

- THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER MAINS, SANITARY SEWER MAINS AND STORM SEWERS IN THIS ADDITION.
- WITHIN THE UTILITY EASEMENT AREAS DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF GROUND ELEVATIONS FROM THE CONTOURS EXISTING UPON THE COMPLETION OF THE INSTALLATION OF A PUBLIC WATER MAIN, SANITARY SEWER MAIN, OR STORM SEWER MAIN, OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH PUBLIC WATER MAINS, SANITARY SEWER MAINS AND STORM SEWERS, SHALL BE PROHIBITED.

- CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF PUBLIC WATER MAINS, SANITARY SEWER MAINS AND STORM SEWER MAINS, BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER, HIS AGENTS OR CONTRACTORS.

- CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, SHALL AT ALL TIMES HAVE RIGHT OF ACCESS TO ALL EASEMENTWAYS DEPICTED ON THE ACCOMPANYING PLAT, OR OTHERWISE PROVIDED FOR IN THE DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING, OR REPLACING ANY PORTION OF UNDERGROUND WATER, SANITARY SEWER OR STORM SEWER FACILITIES.

- THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, AND THE OWNER OF THE LOT AGREES TO BE BOUND HEREBY.

D. SURFACE DRAINAGE

EACH LOT DEPICTED ON THE PLAT OF PERFECT FOOD AND GAS BIXBY, SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE STORM AND SURFACE WATERS FROM LOTS AND DRAINAGE AREAS OF HIGHER ELEVATION AND FROM STREETS AND EASEMENTS. NO LOT OWNER(S) SHALL CONSTRUCT OR PERMIT TO BE CONSTRUCTED ANY FENCING OR OTHER OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF STORM AND SURFACE WATERS OVER AND ACROSS ANY LOT. THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY ANY AFFECTED LOT OWNER AND BY THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA.

E. PAVING AND LANDSCAPING WITHIN EASEMENT

THE OWNER OF THE LOT AFFECTED SHALL BE RESPONSIBLE FOR THE REPAIR OF DAMAGE TO LANDSCAPING AND PAVING OCCASIONED BY NECESSARY PLACEMENTS, REPLACEMENTS, OR MAINTENANCE OF WATER, SEWER, STORM SEWER, NATURAL GAS, COMMUNICATION, CABLE TELEVISION, OR ELECTRIC FACILITIES WITHIN THE UTILITY EASEMENT AREAS DEPICTED UPON THE ACCOMPANYING PLAT, PROVIDED HOWEVER, THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA OR THE SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH ACTIVITIES.

F. LIMITS OF NO ACCESS

THE UNDERSIGNED OWNER HEREBY RELINQUISHES RIGHTS OF VEHICULAR INGRESS OR EGRESS FROM ANY PORTION OF THE PROPERTY ADJACENT TO SOUTH MEMORIAL DRIVE / U.S. HIGHWAY 64 OR EAST 161ST STREET SOUTH WITHIN THE BOUNDS DESIGNATED AS "LIMITS OF NO ACCESS" (L.N.A.) ON THE ACCOMPANYING PLAT, WHICH "LIMITS OF NO ACCESS" MAY BE AMENDED OR RELEASED BY THE CITY OF BIXBY CITY COUNCIL, OR ITS SUCCESSOR, AND WITH THE APPROVAL OF THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA, OR AS OTHERWISE PROVIDED BY THE STATUTES AND LAWS OF THE STATE OF OKLAHOMA.

G. SIDEWALKS

SIDEWALKS SHALL BE CONSTRUCTED AND MAINTAINED BY THE LOT OWNER IN ACCORDANCE WITH THE BIXBY SUBDIVISION AND DEVELOPMENT REGULATIONS AND IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF BIXBY. ALL SUCH SIDEWALKS SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN THE SUBDIVISION.

H. STORMWATER DETENTION EASEMENTS

- THE OWNER DOES HEREBY DEDICATE TO THE PUBLIC PERPETUAL EASEMENTS ON, OVER, AND ACROSS THE PROPERTY DESIGNATED AND SHOWN ON THE ACCOMPANYING PLAT AS "STORMWATER DETENTION EASEMENT" FOR THE PURPOSES OF PERMITTING THE FLOW, CONVEYANCE, RETENTION, DETENTION AND DISCHARGE OF STORMWATER RUNOFF FROM THE SUBDIVISION.
- DETENTION, RETENTION AND OTHER DRAINAGE FACILITIES LOCATED WITHIN THE STORMWATER DETENTION EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS APPROVED BY THE CITY OF BIXBY, OKLAHOMA.
- NO FENCE, WALL, BUILDING, OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN STORMWATER DETENTION EASEMENTS NOR SHALL THERE BE ANY ALTERATION OF GRADE IN SAID EASEMENTS UNLESS APPROVED BY THE DEPARTMENT OF PUBLIC WORKS OF THE CITY OF BIXBY, OKLAHOMA.
- DETENTION, RETENTION, AND OTHER DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE OWNER, TO THE EXTENT NECESSARY TO ACHIEVE THE INTENDED DRAINAGE, RETENTION, AND DETENTION FUNCTIONS INCLUDING REPAIR OF APPURTENANCES AND REMOVAL OF OBSTRUCTIONS AND SILTATION. DETENTION FACILITIES SHALL BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:
 - GRASS AREAS SHALL BE MOWED (IN SEASON) AT REGULAR INTERVALS OF FOUR WEEKS, OR LESS.
 - CONCRETE APPURTENANCES SHALL BE MAINTAINED IN GOOD CONDITION AND REPLACED IF DAMAGED.
 - THE DETENTION EASEMENT SHALL BE KEPT FREE OF DEBRIS.
 - CLEANING OF SILTATION AND VEGETATION FROM CONCRETE CHANNELS SHALL BE PERFORMED TWICE YEARLY.
- LANDSCAPING, APPROVED BY THE CITY OF BIXBY, OKLAHOMA, SHALL BE ALLOWED WITHIN THE DETENTION EASEMENTS.
- IN THE EVENT THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN THE DETENTION, RETENTION, AND OTHER DRAINAGE FACILITIES OR, IN THE EVENT OF THE PLACEMENT OF AN OBSTRUCTION WITHIN, OR THE ALTERATION OF GRADE, THE CITY OF BIXBY, OKLAHOMA, OR ITS DESIGNATED CONTRACTOR MAY ENTER AND PERFORM MAINTENANCE NECESSARY TO ACHIEVE THE INTENDED DRAINAGE FUNCTIONS AND MAY REMOVE ANY OBSTRUCTION OR CORRECT ANY ALTERATION OF GRADE, AND THE COSTS THEREOF SHALL BE PAID BY THE OWNER. IN THE EVENT THE OWNER FAILS TO PAY THE COST OF MAINTENANCE AFTER COMPLETION OF THE MAINTENANCE

AND RECEIPT OF A STATEMENT OF COSTS, THE CITY OF BIXBY, OKLAHOMA, MAY FILE OF RECORD A COPY OF THE STATEMENT OF COSTS IN THE LAND RECORDS OF THE TULSA COUNTY CLERK, AND THEREAFTER THE COSTS SHALL BE A LIEN AGAINST THE PROPERTY. A LIEN ESTABLISHED AS ABOVE PROVIDED MAY BE FORECLOSED BY THE CITY OF BIXBY, OKLAHOMA.

SECTION II. ENFORCEMENT, DURATION, AMENDMENT, AND SEVERABILITY

A. ENFORCEMENT

THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE BINDING UPON THE OWNER, ITS SUCCESSORS AND ASSIGNS. WITHIN THE PROVISIONS OF SECTION I. EASEMENTS, AND UTILITIES ARE SET FORTH CERTAIN COVENANTS AND THE ENFORCEMENT RIGHTS PERTAINING THERETO. IF THE UNDERSIGNED OWNER OR ITS SUCCESSORS OR ASSIGNS SHALL VIOLATE ANY OF THE COVENANTS WITHIN SECTION I, IT SHALL BE LAWFUL FOR ANY PERSON OR PERSONS OWNING ANY LOT SITUATED WITHIN THE SUBDIVISION, OR THE CITY OF BIXBY, TULSA COUNTY, TO MAINTAIN ANY ACTION AT LAW OR IN EQUITY AGAINST THE PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY SUCH COVENANT, TO PREVENT HIM OR THEM FROM SO DOING OR TO COMPEL COMPLIANCE WITH THE COVENANT OR TO RECOVER DAMAGES.

B. DURATION

THESE RESTRICTIONS, TO THE EXTENT PERMITTED BY APPLICABLE LAW, SHALL BE PERPETUAL AND SHALL BE IN FORCE AND EFFECT FOR A TERM OF NOT LESS THAN THIRTY (30) YEARS FROM THE DATE OF THE RECORDING OF THIS DEED OF DEDICATION UNLESS TERMINATED OR AMENDED AS HEREINAFTER PROVIDED.

C. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I. EASEMENTS, AND UTILITIES MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE CITY OF BIXBY CITY COUNCIL, OR ITS SUCCESSORS WITH THE APPROVAL OF THE CITY OF BIXBY, TULSA COUNTY, OKLAHOMA.

D. SEVERABILITY

INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OR ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

IN WITNESS WHEREOF:

PERFECT FOOD AND GAS 1, INC. HAS EXECUTED THIS INSTRUMENT THIS ____ DAY OF _____, 202__.

BY: _____

YUBA PARAJULI, _____

ACKNOWLEDGMENT

STATE OF OKLAHOMA)
) SS:
COUNTY OF TULSA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2022,
BY YUBA PARAJULI, AS _____ OF PERFECT FOOD AND GAS 1, INC.

NOTARY PUBLIC

MY COMMISSION NO:

MY COMMISSION EXPIRES:

[SEAL]

CERTIFICATE OF SURVEY

I, RUSSELL M. MUZIKA, OF GEODECA LLC, A LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF OKLAHOMA, HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT DESIGNATED HEREIN AS PERFECT FOOD AND GAS BIXBY, A SUBDIVISION IN THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA, IS A REPRESENTATION OF THE SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED LAND SURVEYING PRACTICES AND MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED.

WITNESS MY HAND AND SEAL THIS ____ DAY OF _____, 2022.

RUSSELL M. MUZIKA

LICENSED LAND SURVEYOR

ACKNOWLEDGMENT

STATE OF OKLAHOMA)
) SS:
COUNTY OF TULSA)

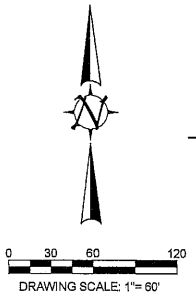
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2022,
BY RUSSEL M. MUZIKA, AS _____ OF GEODECA LLC.

NOTARY PUBLIC

MY COMMISSION NO:

MY COMMISSION EXPIRES:

[SEAL]



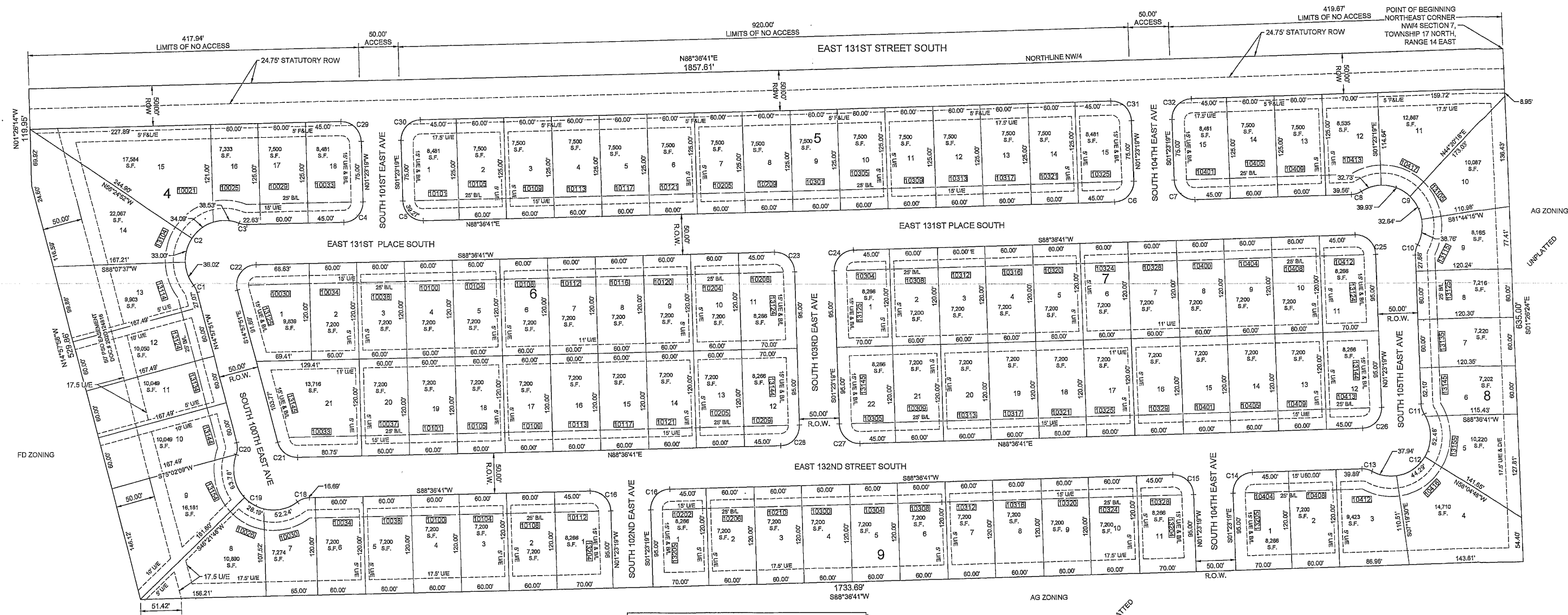
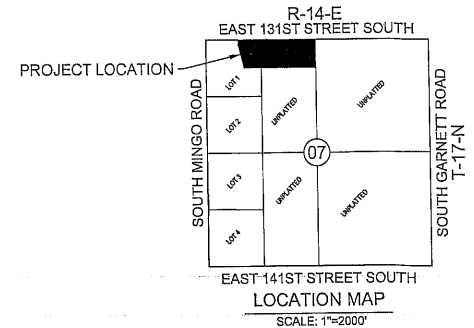
OWNER/DEVELOPER
ROWAN GROVE LLC.
5711 E. 71ST. ST. S
SUITE 120
TULSA, OK 74136
PHONE: 918.494.4004
ATTN: JIM ROBERTS

FINAL PLAT

Rowan Grove II

AN ADDITION TO THE CITY OF BIXBY BEING A PART OF THE NORTH HALF (N/2) OF GOVERNMENT LOT ONE (1) AND PART OF THE NORTH HALF (N/2) OF THE NORTHWEST QUARTER (N/2 NE/4 NW/4), SECTION SEVEN (7), TOWNSHIP SEVENTEEN (17) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA

ENGINEER/SURVEYOR
AAB ENGINEERING LLC
CERTIFICATE OF AUTHORIZATION NO. 6318, EXP. JUNE 30, 2024
PO BOX 2136
SAND SPRINGS, OK 74063
PHONE: 918.514.4283
FAX: 918.514.4288
EMAIL: ALAN@AABENG.COM



FLOODPLAIN
THIS PROPERTY IS LOCATED WITHIN ZONE AE AND ZONE AG FLOODWAY AS SHOWN ON FIRM PANEL 40143C0451L DATED OCTOBER 16, 2012.

SUBDIVISION STATISTICS

SUBDIVISION CONTAINS ONE HUNDRED TWO (102) LOTS IN SIX (6) BLOCKS, CONTAINING 28.35 ACRES

BLOCK 4.....	4.16 ACRES - 18 LOTS
BLOCK 5.....	2.62 ACRES - 15 LOTS
BLOCK 6.....	3.73 ACRES - 21 LOTS
BLOCK 7.....	3.73 ACRES - 22 LOTS
BLOCK 8.....	3.08 ACRES - 15 LOTS
BLOCK 9.....	1.87 ACRES - 11 LOTS

CONTACTS

MUNICIPAL AUTHORITY
CITY OF BIXBY
116 W. NEEDLES P.O. BOX 70
BIXBY, OK 74008

UTILITY

OKLAHOMA NATURAL GAS COMPANY 2319 W. EDISON ST. TULSA, OK 74127 918-934-8000	COX COMMUNICATIONS 11811 EAST 51ST STREET TULSA, OK 74145 918-286-4658
PUBLIC SERVICE COMPANY OF OKLAHOMA 212 E. 6TH ST. TULSA, OK 74119 1-888-218-3523	BTC BROADBAND 11134 S. MEMORIAL DR. BIXBY, OK 74008 918-396-8000

SITE DATA

BENCHMARK
600 NAIL IN BRACE POST, 58 FEET NORTH & 8 FEET WEST OF NE PROPERTY CORNER
ELEV = 602.01' (NAVD 1988)

BASIS OF BEARINGS
ASSUMED BEARING OF N 88°36'41" E ALONG THE NORTH LINE OF THE NW/4 OF SECTION 7, T-17-N, R-14-E OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA

LAND AREA
1,147,670 SF / 26.35 ACRES

MONUMENTATION
A 3/8" X 16" REBAR WITH A YELLOW PLASTIC CAP STAMPED "CA8318" TO BE SET AT ALL LOT CORNERS, POINTS OF CURVE, POINTS OF TANGENT, POINTS OF COMPOUND CURVE, POINTS OF REVERSE CURVE, UNLESS NOTED OTHERWISE.

ADDRESSES
ADDRESSES SHOWN ON THIS PLAT WERE ACCURATE AT THE TIME THIS PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF LEGAL DESCRIPTION.

CURVE TABLE

CURVE #	LENGTH	RADIUS	CHORD DISTANCE	CHORD BEARING	CURVE #	LENGTH	RADIUS	CHORD DISTANCE	CHORD BEARING
C1	10.01'	25.00'	9.94'	S26°25'54"W	C17	39.27'	25.00'	35.36'	S46°23'19"E
C2	130.42'	50.00'	96.47'	S36°48'25"W	C18	15.69'	25.00'	15.43'	N70°38'09"E
C3	10.01'	25.00'	9.94'	N79°55'17"W	C19	129.44'	50.00'	96.20'	S53°10'35"E
C4	39.27'	25.00'	35.36'	S43°36'41"W	C20	15.69'	25.00'	15.43'	S3°00'41"W
C5	39.27'	25.00'	35.36'	N46°23'19"W	C21	33.35'	25.00'	30.93'	N53°10'35"W
C6	39.27'	25.00'	35.36'	S43°36'41"W	C22	45.19'	25.00'	39.29'	N36°49'25"E
C7	39.27'	25.00'	35.36'	S46°23'19"E	C23	39.27'	25.00'	35.36'	S46°23'19"E
C8	13.29'	25.00'	13.14'	N73°22'42"E	C24	39.27'	25.00'	35.36'	S43°36'41"W
C9	131.71'	50.00'	96.80'	S46°23'19"E	C25	39.27'	25.00'	35.36'	N46°23'19"W
C10	13.29'	25.00'	13.14'	S13°50'40"W	C26	39.27'	25.00'	35.36'	N43°36'41"E
C11	13.29'	25.00'	13.14'	S18°37'18"E	C27	39.27'	25.00'	35.36'	S46°23'19"E
C12	131.71'	50.00'	96.80'	S43°36'41"W	C28	39.27'	25.00'	35.36'	S43°36'41"W
C13	13.29'	25.00'	13.14'	N76°09'20"W	C29	39.27'	25.00'	35.36'	S46°23'19"E
C14	39.27'	25.00'	35.36'	S43°36'41"W	C30	39.27'	25.00'	35.36'	N43°36'41"E
C15	39.27'	25.00'	35.36'	S46°23'19"E	C31	39.27'	25.00'	35.36'	S46°23'19"E
C16	39.27'	25.00'	35.36'	N43°36'41"E	C32	39.27'	25.00'	35.36'	S43°36'41"W

LEGEND

BL.....	BUILDING LINE
L.N.A.....	LIMITS OF NO ACCESS
R.A.....	RESTRICTED ACCESS
P.O.B.....	POINT OF BEGINNING
P.O.C.....	POINT OF COMMENCEMENT
R.O.W.....	RIGHT OF WAY
U/E.....	UTILITY EASEMENT
B.U.....	BUILDING LINE & UTILITY EASEMENT
F/E.....	FENCE & LANDSCAPE EASEMENT
OD/E.....	OVERLAND DRAINAGE EASEMENT
IPF.....	IRON PIN FOUND
IPS.....	IRON PIN SET

OWNER/DEVELOPER

ROWAN GROVE LLC.
5711 E. 71ST. ST. S
SUITE 120
TULSA OK 74138
PHONE: 918.494.4004
ATTN: JIM ROBERTS

Rowan Grove II

AN ADDITION TO THE CITY OF BIXBY BEING A PART OF THE NORTH HALF (N/2) OF
GOVERNMENT LOT ONE (1) AND PART OF THE NORTH HALF (N/2) OF THE NORTHWEST
QUARTER (N/2 NE/4 NW/4), SECTION SEVEN (7), TOWNSHIP SEVENTEEN (17) NORTH,
RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE
OF OKLAHOMA

ENGINEER/SURVEYOR

AAB ENGINEERING LLC
CERTIFICATE OF AUTHORIZATION NO. 6318, EXP. JUNE, 30, 2024
PO BOX 2138
SAND SPRINGS, OK 74063
PHONE: 918.514.4283
FAX: 918.514.4288
EMAIL: ALAN @ AABENG.COM

KNOW ALL MEN BY THESE PRESENTS:
ROWAN GROVE, LLC, HEREINAFTER REFERRED TO AS THE "OWNER", IS THE OWNER OF THE FOLLOWING
DESCRIBED LAND IN TULSA COUNTY, STATE OF OKLAHOMA, TO-WIT:

A TRACT OF LAND THAT IS PART OF THE NORTH HALF (N/2) OF GOVERNMENT LOT ONE (1) AND PART OF THE
NORTH HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER (N/2 NE/4 NW/4), SECTION SEVEN
(7), TOWNSHIP SEVENTEEN (17) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN,
TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF,
BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER (NW/4); THENCE SOUTH 01°26'24"
EAST ALONG THE EASTERLY LINE THEREOF, A DISTANCE OF 635.00 FEET; THENCE SOUTH 88°36'41" WEST, A
DISTANCE OF 1733.69 FEET; THENCE NORTH 14°57'58" WEST, A DISTANCE OF 529.86 FEET; THENCE NORTH
01°26'14" WEST, A DISTANCE OF 119.95 FEET TO THE NORTHERLY LINE OF SAID GOVERNMENT LOT ONE (1);
THENCE NORTH 88°36'41" EAST ALONG THE NORTHERLY LINE OF SAID GOVERNMENT LOT ONE (1) AND THE
NORTHERLY LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER (NE/4 NW/4), A DISTANCE OF
1857.61 FEET TO THE POINT OF BEGINNING, CONTAINING 1,147,671 SQUARE FEET OR 26.35 ACRES.

AND HAS CAUSED THE ABOVE DESCRIBED TRACT OF LAND TO BE SURVEYED, STAKED, PLATTED AND
SUBDIVIDED INTO 102 LOTS IN 8 BLOCKS, IN CONFORMITY WITH THE ACCOMPANYING PLAT, AND HAS
DESIGNATED THE SUBDIVISION AS "ROWAN GROVE II", A SUBDIVISION IN TULSA COUNTY, OKLAHOMA
(HEREINAFTER REFERRED TO AS "ROWAN GROVE II" OR THE "SUBDIVISION").

THE OWNER DOES HEREBY MAKE THE FOLLOWING DEDICATIONS AND GRANTS AND AGREES TO BE BOUND BY
THE FOLLOWING PROTECTIVE COVENANTS AND RESTRICTIONS FOR THE SUBDIVISION OF THE ABOVE
DESCRIBED LAND WHICH SHALL BE DESIGNATED AND REFERRED TO HEREIN AS "ROWAN GROVE II".

SECTION I. PUBLIC STREETS, EASEMENTS AND UTILITIES

A. **PUBLIC STREETS AND GENERAL UTILITY EASEMENTS**
THE OWNER/DEVELOPER DOES HEREBY DEDICATE FOR PUBLIC USE THE STREETS DEPICTED ON THE
ACCOMPANYING PLAT AND DOES FURTHER DEDICATE FOR PUBLIC USE THE UTILITY EASEMENTS AS
DEPICTED ON THE ACCOMPANYING PLAT AS "UIE" OR "UTILITY EASEMENT", FOR OWNER/DEVELOPER AND
ALL UTILITY SERVICES WITH FRANCHISE RIGHTS WITHIN THE CITY OF BIXBY FOR THE SEVERAL
PURPOSES OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING, REPLACING, AND/OR REMOVING
ANY AND ALL PUBLIC UTILITIES, INCLUDING STORM SEWERS, SANITARY SEWERS, TELEPHONE AND
COMMUNICATION LINES, ELECTRIC POWER LINES AND TRANSFORMERS, GAS LINES, WATER LINES AND
CABLE TELEVISION LINES, TOGETHER WITH ALL FITTINGS, INCLUDING THE POLES, WIRES, CONDUITS,
PIPES, VALVES, METERS AND EQUIPMENT FOR EACH OF SUCH FACILITIES AND ANY OTHER
APPURTENANCES THERETO, WITH THE RIGHTS OF INGRESS AND EGRESS TO AND UPON THE UTILITY
EASEMENTS FOR THE USES AND PURPOSES AFORESAID, PROVIDED HOWEVER, THE OWNER/DEVELOPER
HEREBY RESERVES THE RIGHT TO CONSTRUCT, MAINTAIN, OPERATE, LAY AND RE-LAY ALL UTILITY
LINES, INCLUDING WATER LINES AND SEWER LINES, EXCLUDING GAS LINES AND GAS SERVICE LINES,
TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH CONSTRUCTION, MAINTENANCE,
OPERATION, LAYING AND RE-LAYING OVER, ACROSS AND ALONG ALL OF THE UTILITY EASEMENTS
DEPICTED ON THE PLAT, FOR THE PURPOSE OF FURNISHING WATER SERVICE, SEWER SERVICE AND ALL
UTILITY SERVICES, EXCLUDING NATURAL GAS, TO THE AREA INCLUDED IN THE PLAT AND ELSEWHERE,
AS MAY BE REQUIRED. THE OWNER/DEVELOPER HEREIN IMPOSES A RESTRICTIVE COVENANT, WHICH
COVENANT SHALL BE BINDING ON EACH LOT OWNER AND SHALL BE ENFORCEABLE BY THE CITY OF
BIXBY, OKLAHOMA, AND BY THE SUPPLIER OF ANY AFFECTED UTILITY SERVICE, THAT WITHIN THE UTILITY
EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT NO BUILDING, STRUCTURE OR OTHER ABOVE OR
BELOW GROUND OBSTRUCTION SHALL BE PLACED, ERECTED, INSTALLED OR MAINTAINED, PROVIDED
HOWEVER, NOTHING HEREIN SHALL BE DEEMED TO PROHIBIT DRIVES, PARKING AREAS, CURBING,
LANDSCAPING, CUSTOMARY SCREENING FENCES AND WALLS THAT DO NOT CONSTITUTE AN
OBSTRUCTION.

B. **UTILITY SERVICE**
1. OVERHEAD LINES FOR THE SUPPLY OF ELECTRIC, TELEPHONE AND CABLE TELEVISION SERVICES
MAY BE LOCATED WITHIN THE PERIMETER EASEMENTS OF THE SUBDIVISION. STREET LIGHT POLES
OR STANDARDS MAY BE SERVED BY OVERHEAD LINE OR UNDERGROUND CABLE, AND ELSEWHERE
THROUGHOUT THE SUBDIVISION, ALL SUPPLY LINES INCLUDING ELECTRIC, TELEPHONE, CABLE
TELEVISION AND GAS LINES SHALL BE LOCATED UNDERGROUND IN EASEMENTS DEDICATED FOR
GENERAL UTILITY SERVICES AND IN THE RIGHTS-OF-WAY OF THE PUBLIC STREETS AS DEPICTED
ON THE ACCOMPANYING PLAT. SERVICE PEDESTALS AND TRANSFORMERS, AS SOURCES OF
SUPPLY AT SECONDARY VOLTAGES, MAY ALSO BE LOCATED IN GENERAL UTILITY EASEMENTS.
2. UNDERGROUND SERVICE CABLES AND GAS SERVICE LINES TO ALL STRUCTURES WITHIN THE
SUBDIVISION MAY BE EXTENDED FROM THE NEAREST GAS MAIN, SERVICE PEDESTAL OR
TRANSFORMER TO THE POINT OF USAGE DETERMINED BY THE LOCATION AND CONSTRUCTION OF
SUCH STRUCTURE UPON THE LOT, PROVIDED UPON INSTALLATION OF A SERVICE CABLE OR GAS
SERVICE LINE TO A PARTICULAR STRUCTURE, THE SUPPLIER OF SERVICE SHALL THEREAFTER BE
DEEMED TO HAVE A DEFINITIVE, PERMANENT, EFFECTIVE AND NON-EXCLUSIVE EASEMENT ON THE
LOT, COVERING A 5 FOOT STRIP EXTENDING 2.5 FEET ON EACH SIDE OF THE SERVICE CABLE OR
LINE EXTENDING FROM THE GAS MAIN, SERVICE PEDESTAL OR TRANSFORMER TO THE SERVICE
ENTRANCE ON THE STRUCTURE.
3. THE SUPPLIER OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS SERVICE, THROUGH ITS
AGENTS AND EMPLOYEES, SHALL AT ALL TIMES HAVE THE RIGHT OF ACCESS TO ALL UTILITY
EASEMENTS SHOWN ON THE PLAT OR OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION
FOR THE PURPOSE OF INSTALLING, MAINTAINING, REMOVING OR REPLACING ANY PORTION OF THE
UNDERGROUND ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS FACILITIES INSTALLED BY THE
SUPPLIER OF THE UTILITY SERVICE.
4. THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND
SERVICE FACILITIES LOCATED ON THE OWNER'S LOT AND SHALL PREVENT THE ALTERATION OF
GRADE OR ANY CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH THE ELECTRIC,
TELEPHONE, CABLE TELEVISION OR GAS FACILITIES. EACH SUPPLIER OF THESE SERVICES SHALL
BE RESPONSIBLE FOR ORDINARY MAINTENANCE OF UNDERGROUND FACILITIES, BUT THE OWNER
SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH FACILITIES CAUSED OR NECESSITATED BY
ACTS OF THE OWNER OR THE OWNER'S AGENTS OR CONTRACTORS.
5. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY EACH SUPPLIER OF
THE ELECTRIC, TELEPHONE, CABLE TELEVISION OR GAS SERVICE AND THE OWNER OF ANY LOT
AGREES TO BE BOUND BY THESE COVENANTS.

C. **WATER, SANITARY SEWER, AND STORM SEWER SERVICE**
1. THE OWNER OF THE LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC WATER
MAINS, SANITARY SEWER MAINS AND STORM SEWERS LOCATED ON THEIR LOT.
2. WITHIN THE UTILITY EASEMENTS DEPICTED ON THE ACCOMPANYING PLAT, THE ALTERATION OF
GRADE OR ANY CONSTRUCTION ACTIVITY WHICH IN THE JUDGEMENT OF THE CITY OF BIXBY
WOULD INTERFERE WITH PUBLIC WATER MAINS, SANITARY SEWER MAINS AND STORM SEWERS
SHALL BE PROHIBITED.
3. THE CITY OF BIXBY, OKLAHOMA OR ITS SUCCESSORS, SHALL BE RESPONSIBLE FOR THE
ORDINARY MAINTENANCE OF PUBLIC WATER MAINS, SANITARY SEWER MAINS AND STORM

SEWERS, BUT THE OWNER OF THE LOT SHALL PAY FOR DAMAGE OR RELOCATION OF SUCH
FACILITIES CAUSED OR NECESSITATED BY ACTS OF THE OWNER, HIS AGENTS OR CONTRACTORS.
THE CITY OF BIXBY, OKLAHOMA, OR ITS SUCCESSORS, SHALL AT ALL TIMES HAVE THE RIGHT OF
ACCESS TO ALL EASEMENT WAYS DEPICTED ON THE ACCOMPANYING PLAT, OR OTHERWISE
PROVIDED FOR IN THIS DEED OF DEDICATION, FOR THE PURPOSE OF INSTALLING, MAINTAINING,
REMOVING OR REPLACING ANY PORTION OF UNDERGROUND WATER, SANITARY SEWER, OR
STORM SEWER FACILITIES.
5. THE FOREGOING COVENANTS SET FORTH IN THIS PARAGRAPH I.C. SHALL BE ENFORCEABLE BY THE
CITY OF BIXBY, OKLAHOMA OR ITS SUCCESSORS, AND THE OWNER OF THE LOT AGREES TO BE
BOUND HEREBY

D. **GAS SERVICE**
1. THE SUPPLIER OF GAS SERVICE THROUGH ITS AGENTS AND EMPLOYEES SHALL AT ALL TIMES
HAVE THE RIGHT OF ACCESS TO ALL SUCH UTILITY EASEMENTS SHOWN ON THE PLAT OR AS
OTHERWISE PROVIDED FOR IN THIS DEED OF DEDICATION FOR THE PURPOSE OF INSTALLING,
REMOVING, REPAIRING, OR REPLACING ANY PORTION OF THE FACILITIES INSTALLED BY THE
SUPPLIER OF GAS SERVICE.
2. THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND
GAS FACILITIES LOCATED WITHIN THE LOT AND SHALL PREVENT THE ALTERATION OF GRADE OR
ANY OTHER CONSTRUCTION ACTIVITY WHICH WOULD INTERFERE WITH GAS SERVICE. THE
SUPPLIER OF GAS SERVICE SHALL BE RESPONSIBLE FOR THE ORDINARY MAINTENANCE OF ITS
FACILITIES, BUT THE OWNER SHALL PAY FOR DAMAGE OR RELOCATION OF FACILITIES CAUSED OR
NECESSITATED BY ACTS OF THE OWNER, OR THE OWNER'S AGENTS OR CONTRACTORS.
3. ONG'S RIGHT OF WAY RECORDED IN BOOK 3770 PAGE 284 REMAINS IN FULL FORCE AND EFFECT.
ONG'S EASEMENT(S) PRE-DATE THE RIGHT-OF-WAY DEDICATION IN THIS PLAT AND MAY PROHIBIT
OR LIMIT CERTAIN USES OF ONG'S RIGHT-OF-WAY, INCLUDING PAVING, OTHER UTILITY LINES, AND
PERMANENT STRUCTURES, WITHOUT ONG'S PRIOR WRITTEN CONSENT.
4. THE COVENANTS SET FORTH IN THIS SUBSECTION SHALL BE ENFORCEABLE BY THE SUPPLIER OF
THE GAS SERVICE AND THE OWNER OF THE LOT AGREES TO BE BOUND BY THESE COVENANTS.

E. **SURFACE DRAINAGE**
EACH LOT WITHIN ROWAN GROVE SHALL RECEIVE AND DRAIN, IN AN UNOBSTRUCTED MANNER, THE
STORM AND SURFACE WATERS FROM LOTS AND DRAINAGE AREAS OF HIGHER ELEVATION AND FROM
PUBLIC STREETS AND EASEMENTS. NO LOT OWNER SHALL CONSTRUCT OR PERMIT TO BE
CONSTRUCTED ANY FENCING OR OTHER OBSTRUCTIONS WHICH WOULD IMPAIR THE DRAINAGE OF
STORM AND SURFACE WATERS OVER AND ACROSS THE OWNER'S LOT. THE FOREGOING COVENANTS
SET FORTH IN THIS PARAGRAPH SHALL BE ENFORCEABLE BY ANY AFFECTED LOT OWNER AND BY TULSA
COUNTY.

F. **PAVING AND LANDSCAPING WITHIN EASEMENTS**
THE OWNER OF ANY LOT DEPICTED ON THE ACCOMPANYING PLAT SHALL BE RESPONSIBLE FOR THE
REPAIR OF DAMAGE TO LANDSCAPING AND PAVING OCCASIONED BY INSTALLATION OR NECESSARY
MAINTENANCE OF UNDERGROUND WATER, SANITARY SEWER, STORM SEWER, NATURAL GAS,
COMMUNICATION, CABLE TELEVISION OR ELECTRIC FACILITIES WITHIN THE EASEMENT AREAS DEPICTED
UPON THE ACCOMPANYING PLAT, PROVIDED TULSA COUNTY, OKLAHOMA, OR ITS SUCCESSORS, OR THE
SUPPLIER OF THE UTILITY SERVICE SHALL USE REASONABLE CARE IN THE PERFORMANCE OF SUCH
ACTIVITIES.

G. **CERTIFICATE OF OCCUPANCY RESTRICTIONS**
NO CERTIFICATE OF OCCUPANCY FOR A BUILDING WITHIN THE SUBDIVISION SHALL BE ISSUED BY TULSA
COUNTY, OKLAHOMA UNTIL CONSTRUCTION OF THE REQUIRED INFRASTRUCTURE (STREETS, WATER,
SANITARY SEWER AND STORM SEWER SYSTEMS) SERVING THE ENTIRE SUBDIVISION HAS BEEN
COMPLETED AND ACCEPTED BY TULSA COUNTY, OKLAHOMA. NOTWITHSTANDING THE FOREGOING,
INFRASTRUCTURE WITHIN THE SUBDIVISION, AND IF PHASING IS AUTHORIZED, A CERTIFICATE OF
OCCUPANCY FOR A BUILDING WITHIN AN AUTHORIZED PHASE MAY ISSUE UPON THE COMPLETION AND
ACCEPTANCE OF THE INFRASTRUCTURE SERVING THE PARTICULAR PHASE. BUILDING CONSTRUCTION
OCCURRING PRIOR TO THE COUNTY'S ACCEPTANCE OF THE INFRASTRUCTURE SHALL BE AT RISK OF
THE OWNER OF THE LOT, NOTWITHSTANDING THE ISSUANCE OF A BUILDING PERMIT.

H. **LIMIT OF NO ACCESS**
THE UNDERSIGNED OWNER HEREBY RELINQUISHES RIGHTS OF VEHICULAR INGRESS OR EGRESS FROM
ANY PORTION OF THE PROPERTY ADJACENT TO EAST 131 STREET SOUTH WITHIN THE BOUNDS
DESIGNATED "LNA" OR "LIMITS OF NO ACCESS" ON THE ACCOMPANYING PLAT.

I. **FENCE AND LANDSCAPE EASEMENT**
THE OWNER/DEVELOPER DOES HEREBY ESTABLISH AND RESERVE FOR FUTURE CONVEYANCE TO THE
HOMEOWNERS' ASSOCIATION, AS DESCRIBED IN SECTION II. HEREOF, AN EXCLUSIVE FENCE AND
LANDSCAPE EASEMENT OVER AND UPON THAT AREA DESIGNATED AS "F&LE" ON THE ACCOMPANYING
PLAT FOR THE USE AND BENEFIT OF THE ASSOCIATION. THE FENCE EASEMENT IS FOR THE LIMITED
PURPOSE OF CONSTRUCTION AND MAINTAINING PERIMETER DECORATIVE FENCES AND ENTRY
FEATURES AND LANDSCAPING, AND FOR THE MAINTENANCE AND REPAIR THEREOF, TOGETHER WITH
THE RIGHT OF ACCESS OVER, ACROSS, AND ALONG SUCH EASEMENT AND OVER, ACROSS, AND ALONG
LOTS IN THE SUBDIVISION WHICH CONTAIN THE EASEMENT. THE RIGHTS HERIN ESTABLISHED AND
GRANTED SHALL BE SUBORDINATE TO THE RIGHTS ESTABLISHED AND GRANTED BY UTILITY EASEMENTS
ELSEWHERE DEDICATED HEREOF.

SECTION II. HOMEOWNERS ASSOCIATION

A. **FORMATION OF HOMEOWNERS ASSOCIATION**
THE OWNER HAS FORMED OR SHALL CAUSE TO BE FORMED THE ASSOCIATION OF THE OWNERS OF THE
RESIDENTIAL LOTS WITHIN "ROWAN GROVE" TO BE FORMED IN ACCORDANCE WITH THE STATUTES OF
THE STATE OF OKLAHOMA, AND TO BE FORMED FOR THE GENERAL PURPOSE OF MAINTAINING THE
COMMON AREAS OF THE SUBDIVISION OR THE FURTHER PURPOSES OF ENHANCING THE VALUE,
DESIRABILITY AND ATTRACTIVENESS OF "ROWAN GROVE, II". THE DETAILS OF ASSOCIATION
MEMBERSHIP, INCLUDING ASSESSMENTS SHALL BE ESTABLISHED BY A DECLARATION RECORDED OR TO
BE RECORDED IN THE OFFICE OF THE COUNTY CLERK, TULSA COUNTY, OKLAHOMA.

B. **MANDATORY MEMBERSHIP**
EACH RECORD OWNER OF A RESIDENTIAL LOT WITHIN "ROWAN GROVE II" SHALL BE A MEMBER OF THE
ASSOCIATION. MEMBERSHIP IN THE ASSOCIATION SHALL BE APPURTENANT TO AND MAY NOT BE
SEPARATED FROM THE OWNERSHIP OF THE RESIDENTIAL LOT.

C. **ASSESSMENT**
EACH RECORD OWNER OF A RESIDENTIAL LOT WITHIN "ROWAN GROVE II" SHALL BE SUBJECT TO
ASSESSMENT BY THE ASSOCIATION FOR THE PURPOSES OF IMPROVEMENT AND MAINTENANCE OF THE
STORMWATER DETENTION FACILITIES, FENCE EASEMENT AND OTHER COMMON AREAS OF THE

SUBDIVISION.

SECTION III. ENFORCEMENT, DURATION, AMENDMENT, AND SERVICEABILITY

A. ENFORCEMENT

THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE
BINDING UPON THE OWNER, ITS SUCCESSORS AND ASSIGNS. WITHIN THE PROVISIONS OF SECTION I,
PUBLIC STREETS, EASEMENTS AND UTILITIES, ARE SET FORTH CERTAIN COVENANTS AND THE
ENFORCEMENT RIGHTS PERTAINING THERETO AND WHETHER OR NOT THEREIN SO STATED, THE
COVENANTS WITHIN SECTION I SHALL INURE TO THE BENEFIT OF, AND BE ENFORCEABLE BY TULSA
COUNTY, OKLAHOMA. IF THE UNDERSIGNED OWNER/DEVELOPER OR ITS SUCCESSORS OR ASSIGNS,
SHALL VIOLATE ANY OF THE COVENANTS WITHIN SECTION I, IT SHALL BE LAWFUL FOR ANY PERSON OR
PERSONS OWNING ANY LOT SITUATED WITHIN THE SUBDIVISION, OR TULSA COUNTY TO MAINTAIN ANY
ACTION AT LAW OR IN EQUITY AGAINST THE PERSON OR PERSONS VIOLATING OR ATTEMPTING TO
VIOLATE ANY SUCH COVENANT, TO PREVENT HIM OR THEM FROM SO DOING OR TO COMPEL
COMPLIANCE WITH THE COVENANT OR TO RECOVER DAMAGES IN ANY JUDICIAL ACTION IS BROUGHT TO
ENFORCE THE COVENANTS ESTABLISHED IN THIS DEED OF DEDICATION THE DEFENSE THAT THE PARTY
INITIATING THE EQUITABLE PROCEEDING HAS AN ADEQUATE REMEDY AT LAW IS HEREBY WAIVED.

B. DURATION

THESE RESTRICTIONS SHALL REMAIN IN FULL FORCE AND EFFECT FOR 25 YEARS AND SHALL
AUTOMATICALLY BE CONTINUED THEREAFTER FOR SUCCESSIVE PERIODS OF 10 YEARS, UNLESS
TERMINATED OR AMENDED AS HEREINAFTER PROVIDED.

C. AMENDMENT

THE COVENANTS CONTAINED WITHIN SECTION I: PUBLIC STREETS, EASEMENTS AND UTILITIES, MAY BE
AMENDED OR TERMINATED AT ANY TIME BY WRITTEN INSTRUMENTS SIGNED AND ACKNOWLEDGED BY
THE OWNER OF THE LOT TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND
APPROVED BY THE TULSA METROPOLITAN AREA PLANNING COMMISSION, OR ITS SUCCESSORS AND
TULSA COUNTY, OKLAHOMA.

D. SEVERABILITY

INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN, OR ANY PART THEREOF, BY AN ORDER,
JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF
THE OTHER RESTRICTIONS OF ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN
FULL FORCE AND EFFECT.

IN WITNESS WHEREOF: ROWAN GROVE, LLC, HAS EXECUTED THIS INSTRUMENT THIS _____ DAY OF
_____, 2023.

ROWAN GROVE, LLC

BY: _____
MANAGER

STATE OF OKLAHOMA)

) SS

COUNTY OF TULSA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2023, BY
_____, JIM ROBERTS, MANAGER OF ROWAN GROVE, LLC.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____
COMMISSION NUMBER: _____

CERTIFICATE OF SURVEY

I, JAY P. BISSELL, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA, HEREBY
CERTIFY THAT I HAVE SURVEYED, SUBDIVIDED AND PLATTED THE ABOVE TRACT DESIGNATED AS "ROWAN
GROVE" AN ADDITION TO THE CITY OF BIXBY, TULSA COUNTY, STATE OF OKLAHOMA. THE ABOVE PLAT IS AN
ACCURATE REPRESENTATION OF SAID SURVEY AND MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE
PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR
PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

JAY P. BISSELL
LICENSED PROFESSIONAL LAND SURVEYOR
OKLAHOMA NO. 1318

STATE OF OKLAHOMA)

) SS

COUNTY OF TULSA)

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, ON THIS _____ DAY OF _____, 2023,
PERSONALLY APPEARED JAY P. BISSELL, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS
NAME TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS
FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSE THEREIN SET FORTH.

NOTARY PUBLIC
MY COMMISSION EXPIRES: NOV 25, 2023
COMMISSION NUMBER: 19011877

