

AGENDA
TECHNICAL ADVISORY COMMITTEE
CONFERENCE ROOM
DAWES BUILDING CITY OFFICES
113 WEST DAWES AVE
BIXBY, OK 74008
May 06, 2015 – 10:00 AM

1. Call to Order
2. **PUD 88 – “Yale 31 Corporation PUD” – Pittman Poe & Associates, Inc., Brooks Pittman.**
Discussion and comment on a rezoning request for approval of Planned Unit Development (PUD) # 88 for approximately 1.25 acres consisting of the S/2 of the SE/4 of the NE/4 of the NE/4 of the NE/4 of Section 11, T17N, R13E, with proposed underlying zoning CG General Commercial District.
Property Located: 13164 S. Memorial Dr.
3. **BSP 2015-05 – “Jiffy Lube Office Building” – W Design, LLC (PUD 54).** Discussion and comment on a PUD Detailed Site Plan and building plans for “Jiffy Lube Office Building,” a Use Unit 11 office with incidental storage building development for approximately ½ acre consisting of Lot 2, Block 1, *Bixby Jiffy Lube*.
Property Located: 8000-block of E. 118th St. S.
4. Old Business
5. New Business
6. Adjournment

Posted By: _____

Date: _____

Time: _____

Yale 31 Corporation PUD

**13164 S. Memorial Drive
Bixby, Oklahoma 74008**

**S/2 SE NE NE NE SEC II 17 13
Approximately 1.25 Acres**

Submitted to the City of Bixby

Prepared by:
Pittman Poe & Associates
1709 W. Granger St.
Broken Arrow, OK 74012

March 31, 2015

PUD#_____

February 24, 2015

TABLE OF CONTENTS

	<u>Page</u>
I. Narrative	1
Exhibit A Proximity Aerial	
Exhibit B Comprehensive Plan	
Exhibit C Existing Site Aerial/Buildings & Site features	
Exhibit D Existing Zoning Plan	
Exhibit E Proposed Zoning Plan	
II. Legal Description	2
Exhibit F – Legal Description (1.25 acres)	
III. Description of Typical CG Uses/Prohibited uses.....	3
IV. Future Development Requirements.....	4
A. Platting	
B. Site Plan Approval	
C. Landscape Requirements	
D. Bulk Area Requirements	

I. Narrative

The property which is the subject of this PUD application for the City of Bixby, Oklahoma consists of 1.25 acres located at 13164 S. Memorial Drive, on the west side of Memorial Drive approximately 220 feet South of the Intersection of 131st Street hereinafter referred to as the “Property” or as the “Site”. The Property has approximately 165 lineal feet of frontage along the West Side of Memorial Drive. All Zoning Regulations referred to Title 11 Zoning Regulations for the City of Bixby, Oklahoma and shall be hereinafter referred to as the “Zoning Regulations” or “Zoning”.

The Property is currently Zoned RS-1, it is the request of this PUD to change the Zoning to CG/Commercial General as designated in the Zoning Regulations. The properties directly to the North and South are currently zoned CG and the City of Bixby's Comprehensive Plan designates the property as a Corridor area which does allow for CG Zoning with the application of a PUD.

There is an approximately 7,000-8,000 square foot single story brick clad building on the site with approximately one half an acre of paved parking area. The Property also has two existing curb cuts onto Memorial Drive, South bound land only, the center median is not interrupted.

The Property has access to City of Bixby Water and Sewer, Power provided by AEP PSO, and Gas Provided by One Ok.

The Property has no area in the FEMA 100 year flood designation.

The owners objective is to initially lease the existing building with uses that would follow in accordance with uses allowed in the City of Bixby's CG Zoning uses groups, excluding uses designated in this PUD. New uses in the existing building will meet current fire code requirements appropriate for that use in the City of Bixby's Code.

Any signage for an business in the existing building or in future development shall meet Chapter 9, Section 11-9-21 (USE UNIT 21) of the Zoning Code.

The Property will be required to under go and adhere to the plating requirements, site design requirements, landscape requirements, signage requirements listed in this text and/or the City of Bixby's Development requirements should any major improvements to the site be desired, not including routine building maintenance such as roofing repair/replacement, paving and fencing repairs/replacement.



Exhibit A
Proximity Aerial

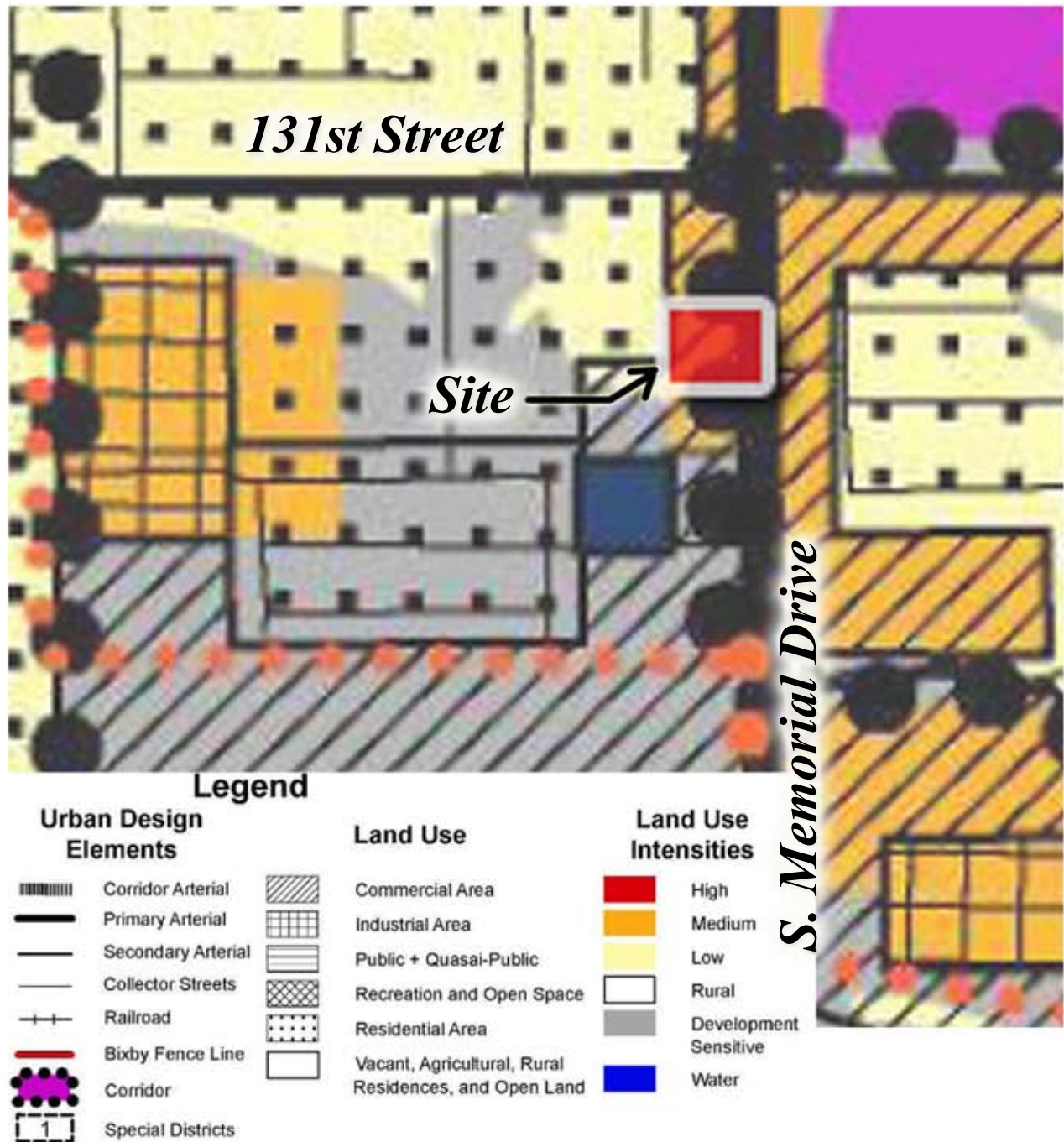


Exhibit B

Comprehensive Plan



Exhibit C
Existing Site Aerial/Buildings
& Site Features

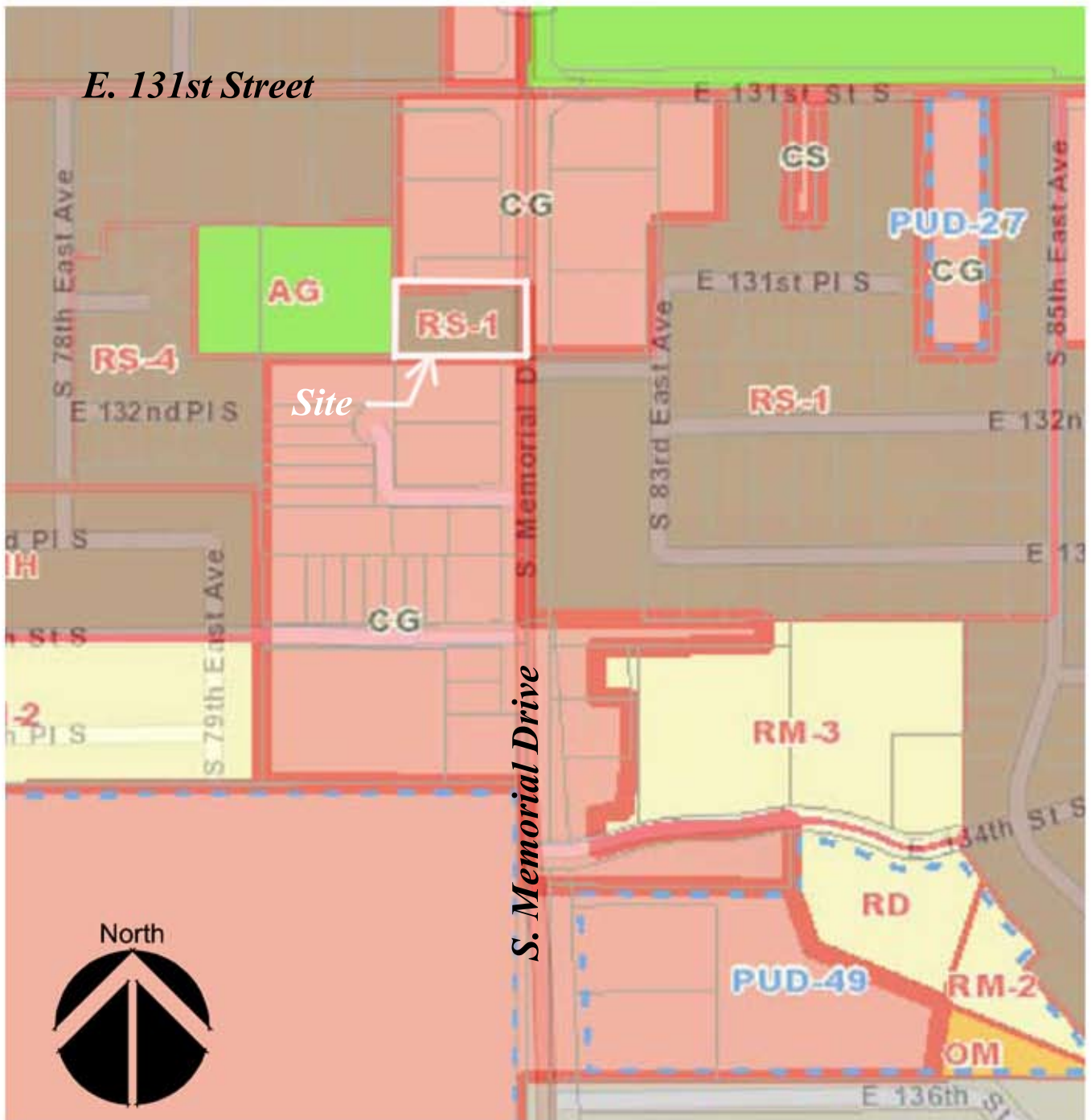


Exhibit D
Existing Zoning

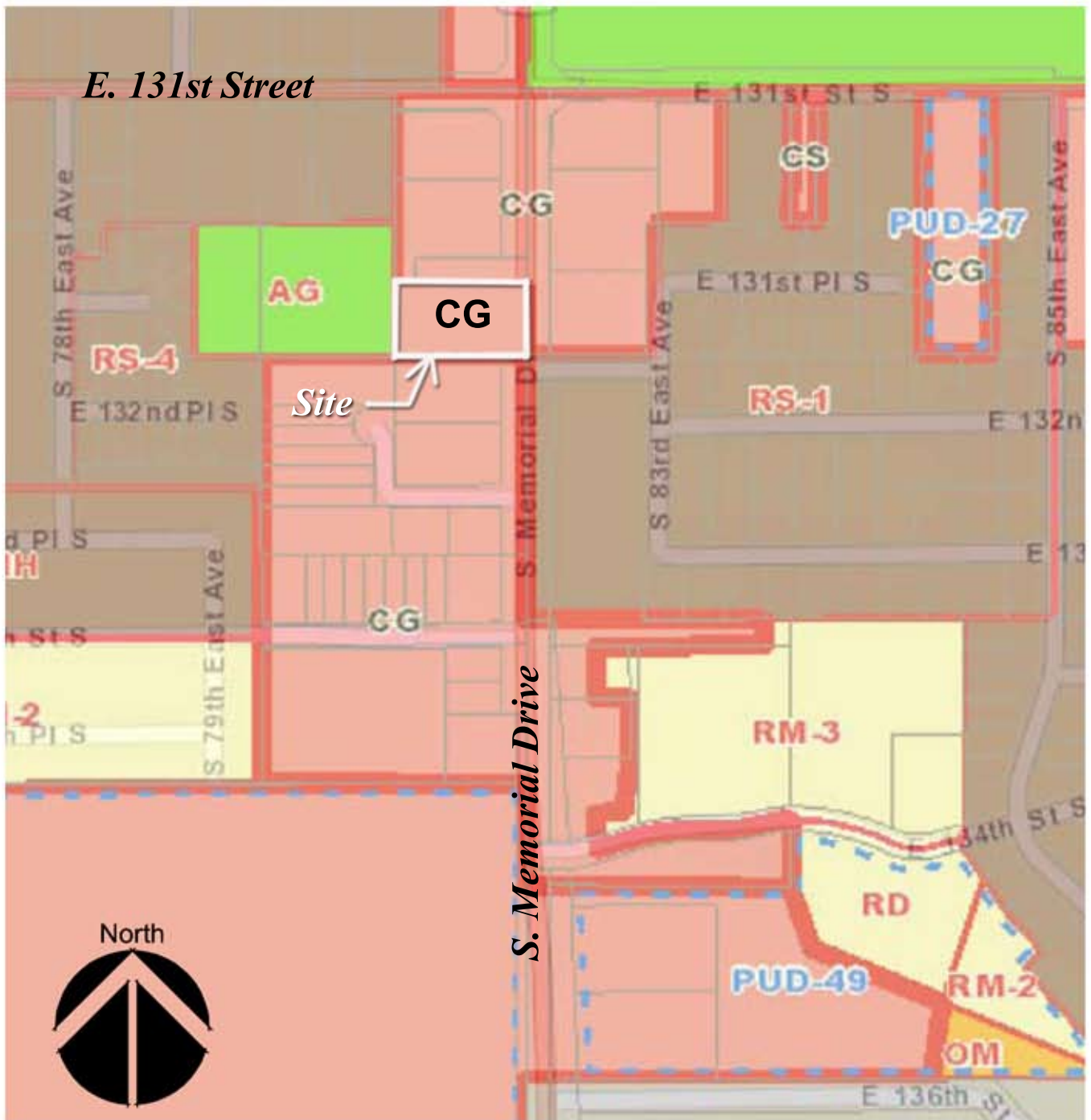


Exhibit E
Proposed Zoning

II. Legal Descriptions:

Exhibit F

S/2 SE NE NE NE SEC II 17 13
Approximately 1.25 Acres

III. Description of CG Uses/Prohibited Uses

A. Proposed CG Uses:

The property can be used as is for the uses listed in the City of Bixby's Zoning Code, Chapter 7, Article D, Section 17-7D-2 by right. These uses may include Office, Veterinary Office/Animal Care, and other Commercial and similar uses.

B. Prohibited Uses:

The Property shall not allow any uses listed or described in Chapter 7, Article D, Section 11-7D-6 Sexually Oriented Business of the City of Bixby's Zoning Code.

IV. Future Development Requirements:

The Property shall adhere to the following requirements should any major improvements be required such as additional building square-footage, or building demolition and reconstruction.

A. Platting: any platting or amendment to existing plat shall meet the development requirements of the City of Bixby's Land Subdivision Code.

B. Site Plan Approval: as required by the City of Bixby's Zoning Code and Building Department including Site Plan Approval as designated in Chapter 7, Section 11-7G-6 of the City of Bixby's Zoning Code.

C. Landscape Requirements: a landscaped area shall be established and maintained which is not less than fifteen feet (15') in width and which extends along the entirety of the abutting Memorial Drive, except at vehicular access points. One tree for every 50 linear feet of the abutting Memorial Drive shall be planted, maintained in this landscape area. No parking space shall be located more than fifty feet (50') from a landscaped area containing at least thirty (30) square feet, with a minimum width or diameter of five feet (5'). A landscaped area by definition must contain at least one tree. Tree requirements must meet those listed in Chapter 12, Section 7 a, b & c minimum tree sizes of the City of Bixby's Zoning Code. All Landscaping shall be maintained with an appropriate irrigation and curbing required in Chapter 12 Section 11-12-3-D, Miscellaneous Requirements.

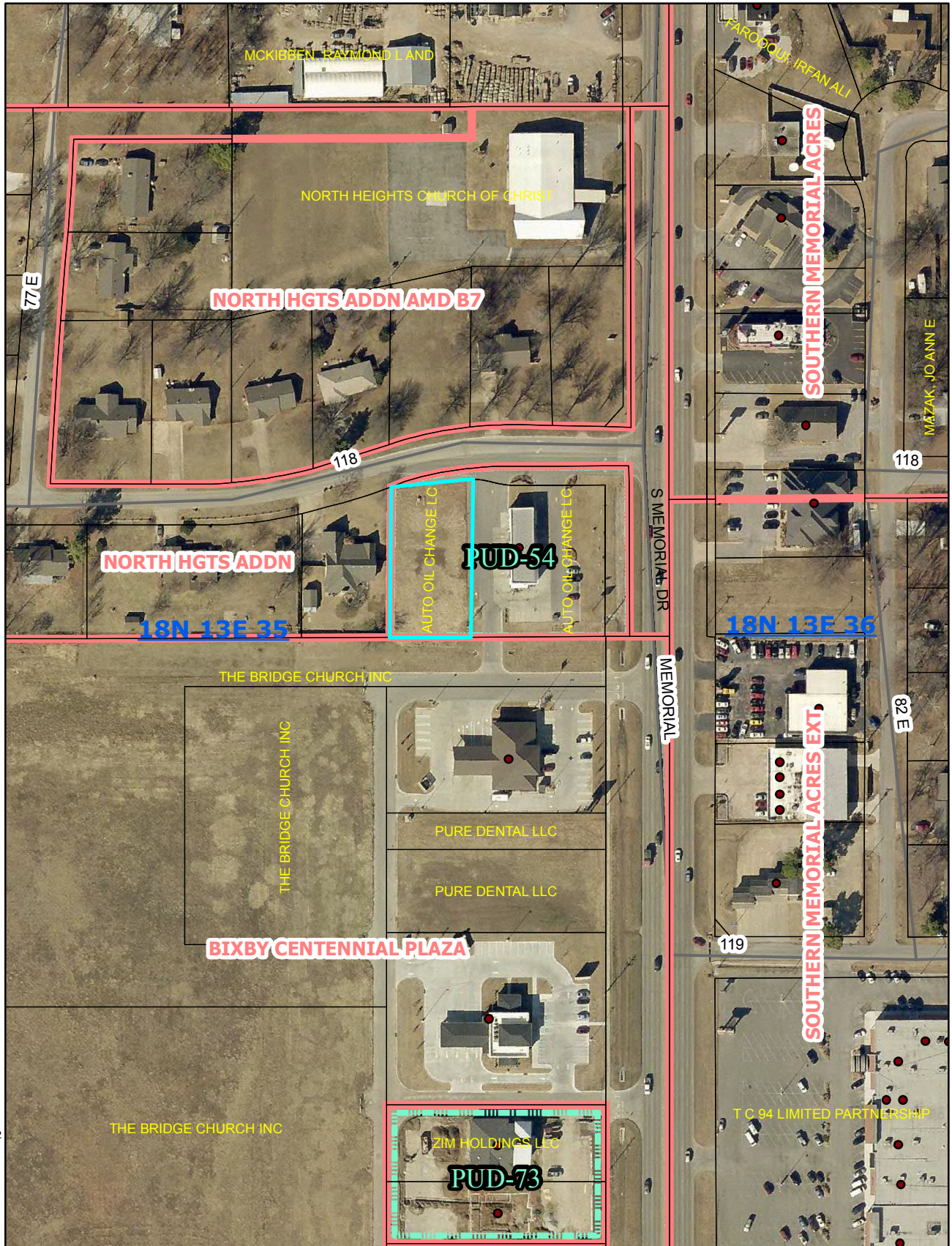
D. Bulk Area and Parking Requirements:

- | | |
|---|--|
| 1). Minimum Lot Frontage: | 150' |
| 2). Setback from Center-line of Memorial Drive: | 50' |
| 3). Building Height: | 5 stories or 70' |
| 4). Floor Area Ratio: | 0.75%* |
| 5). Parking Requirements: | 1 / 225 square feet of floor area ** |
| 6). Loading Berths: | 1 / 1,000 to 10,000 square feet, plus 1 per each additional 15,000 square feet of floor area |
| 7). Lighting Requirements: | Lighting shall be directed down and shielded from view of neighboring R districts |
| 8). Building Exterior Materials: | All building walls (excluding windows) shall consist of masonry construction using brick, stone, stucco or concrete tilt-up panels. Metal or standard (smooth) concrete block exterior walls are not permitted on such exterior walls. |

*a bonus of up to 0.25 FAR, provided that the increase is accomplished by increasing the number of building stories, and not expanding horizontally.

**design standards for off street parking shall meet the requirements listed in Chapter 10, Section 11-10-4 of the Zoning Code.

BSP 2015-05 – “Jiffy Lube Office Building” – W Design, LLC (PUD 54)



- Businesses
- bixby_streams
- Tulsa Parcels 01/15
- WagParcels 01/15
- TulsaSubdivisions
- WagSubdivision
- WagRoads_Aug2012
- E911Streets
- PUD
- bixby_s-t-r
- county

0 90 180 360 540 720 Feet

SITE PLAN

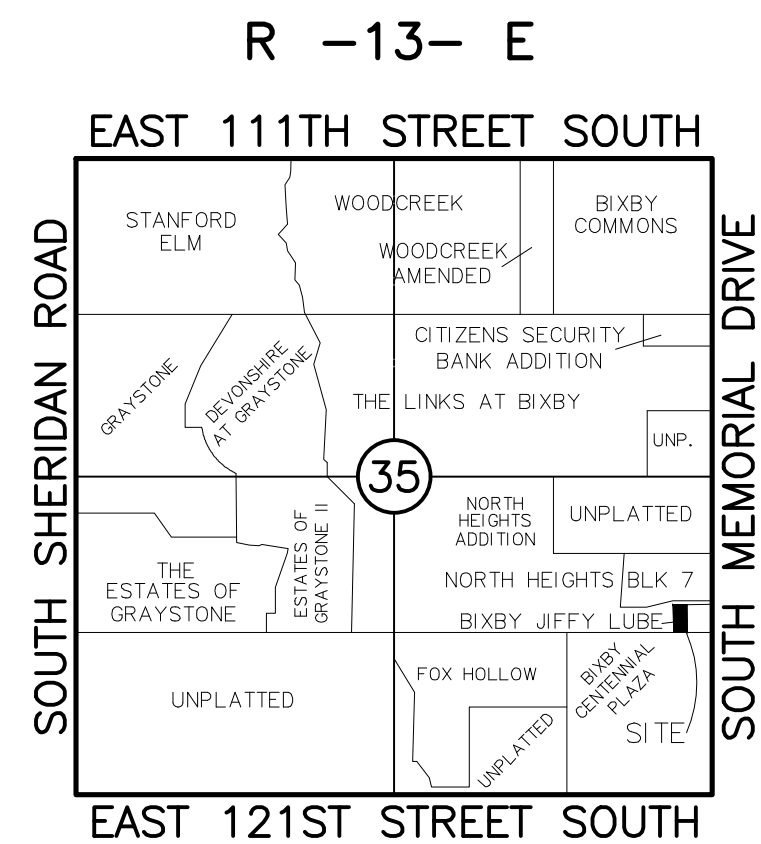
**NOTE: NOT ALL KEYNOTES MAY
BE USED ON THIS SHEET.**

1. NEW 1.5 STORY METAL BUILDING
2. 4" WIDE PARKING STRIPING
3. 6" CONCRETE CURB
4. SIDEWALK RAMP: 1:12 MAX SLOPE
5. 4'-0" W SIDEWALK PER CITY OF BIXBY STANDARDS
6. 5'-0" W SIDEWALK
7. ACCESS AISLE WITH DIAGONALS AT 36" O.C.; DIAGONALS AND PERIMETER STRIPES TO BE 4" WIDE
8. ACCESSIBLE PARKING, VAN STALL
9. EXISTING 6'H MASONRY FENCE, RE: 2/AS100
10. EXISTING LANE STRIPING
11. 6'H CEDAR WOOD TRASH CAN ENCLOSURE

SITE PLAN



PARKING SPACES REQUIRED			COUNT
USE UNIT 11: 5,995 SF / 300			20
ACCESSIBLE SPACES REQUIRED			1
VAN ACCESSIBLE SPACES PROVIDED			1
STANDARD SPACES PROVIDED			19
LAND USE			
LIGHT OFFICE			OL (PUD-54)
BUILDING SETBACK			MIN.
FROM 118TH STREET SOUTH			25'
FROM THE EAST BOUNDARY			10'
FROM THE WEST BOUNDARY			25'
FROM THE SOUTH BOUNDARY			20'
SITE AREA	S.F.	ACRES	%
BUILDING AREA	5,995	.14	30
PAVING AREAS	4,465	.10	22
TOTAL IMPERVIOUS SURFACE	10,460	.24	52
TOTAL PERVIOUS SURFACE (SOD)	9,679	.22	48
TOTAL SITE AREA	20,139	.46	100
PROPOSED BUILDING HEIGHT	23'-7" TOP OF EAVE		

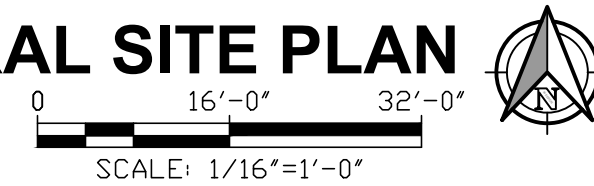


SCALE: N.T.S.



SCALE: NONE

SCALE: 1/16" = 1'-0"



wdesign
ARCHITECTURE & INTERIORS
513 E. 15th Street, Suite A
Tulsa, OK 74120
Office: 918.794.6616
Fax: 918.794.6602
www.wdesignsite.com

SEAL:



04/17/2015
WELDON BOWMAN, AIA
OK LICENSE NO. 6042
A# 02461 EXPIRES 06/30/2015

PROJECT:

**JIFFY LUBE
OFFICE
BUILDING**

PUD 54A

PROJECT #
15038

**BIXBY, OK
74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:

04.17.2015

SHEET NAME:

ARCHITECTURAL SITE PLAN

SHEET #:

AS100

DRAWN BY: BJL

LEGEND

TURF / GRASS (AREA TO BE IRRIGATED)
PROPERTY LINE / R.O.W.....
ASPHALTIC CONCRETE (IMPERVIOUS MATERIAL).....
CONCRETE (IMPERVIOUS MATERIAL).....
PROPOSED STRUCTURE ROOFTOP (IMPERVIOUS MATERIAL).....
POP-UP SPRINKLER HEAD.....
IRRIGATION CONTROLLER VALVE.....
4" IRRIGATION SLEEVE.....

PLANTING NOTES

- LANDSCAPE PLANS ARE FOR PLANT MATERIAL AND IRRIGATION ONLY.
- FORTY-EIGHT HOURS PRIOR TO EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES. UTILITIES, OR ENTITIES. REVIEW WITH OWNER SITE ELECTRICAL, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS AND RECORD SETS OF SAME IN POSSESSION OF OWNER. MARK ALL SUCH UTILITIES ON SITE PRIOR TO COMMENCING. COORDIANTE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR DAMAGE TO ANY SYSTEM AT NO COST TO OWNER.
- UTILITIES SHOWN FOR INFORMATION PURPOSES ONLY. LANDSCAPE AND IRRIGATION CONTRACTOR SHALL MOVE PLANTS AND IRRIGATION AS MAY BE NECESSARY TO AVOID CONFLICT WITH UTILITIES.
- ALL DEMOLITION FOR EXISTING BLDGS,UTILITIES, FENCE, PAVEMENT, TREES, ETC. SHALL BE PERFORMED BY GENERAL CONTRACTOR PRIOR TO LANDSCAPE OR IRRIGATION INSTALLATION.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES AS OUTLINED IN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL BE HEALTHY AND DISEASE FREE AT THE TIME OF PLANTING.
- THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER BEFORE EXCAVATION BEGINS. THE ENGINEER MAY ADJUST THE LOCATION OF ANY SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.
- REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. IF BERMUDA IS PRESENT, IT SHALL BE ERADICATED BY APPROVED MEANS.
- ALL TRAFFIC ISLANDS TO BE OVER-EXCAVATED THREE FEET BELOW BASE OF CURB AND BACKFILLED WITH TOPSOIL. ISLANDS WILL BE CROWNED A MINIMUM OF ONE FOOT ABOVE TOP OF CURB.
- FINISHED GRADES FOR SHRUB AND GROUNDCOVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENT AND CURBS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS OTHERWISE NOTED AND REVIEWED WITH THE ENGINEER FOR FINAL APPROVAL.
- WITHIN APPROVED BED AREAS, PREPARE SOIL BY ROTO-TILING TWO INCHES (2") OF COMPOST "BACK TO NATURE" SOIL CONDITIONER) OVER THE ENTIRE BED AREA TO A DEPTH OF SIX INCHES (6").
- LANDSCAPE CONTRACTOR SHALL ADJUST TREE LOCATIONS IN THE FIELD TO INSURE THAT THE TREE TRUNK IS A MINIMUM OF 10' FEET FROM ANY UTILITY.
- ON ALL TREES THE TOP SIX INCHES (6") OF BACK FILL SHALL CONSIST OF A 1:1 MIXTURE OF COMPOST TO SOIL.
- AROUND ALL TREES FORM A CIRCULAR RING FREE OF VEGETATION. CIRCLE SHALL BE TRUE IN FORM AND CENTERED ON THE TREE.
- ALL TREES SHALL BE STAKED WITH TWO (2) BLACK METAL SPLIT TEE FENCE POST AND TIED WITH WIRE THROUGH THE HOSE.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND ARE NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS TO BE TOPSOILED 6" DEEP AND SHALL BE SODDED.
- FOR OTHER PLANTING REQUIREMENTS. SEE DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PLANTING OF ALL TREES, SHRUBS, GROUNDCOVERS, AND GRASS.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS AND COVERAGE OF ALL AREAS DELINEATED. WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
- DEVIATIONS FROM THESE PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH THE APPROVAL OF THE ENGINEER.
- NO PROPOSED TREE LOCATION IS CLOSER THAN 5' FROM ANY UNDERGROUND UTILITY, NOR IS ANY TREE CLOSER THAN 10' FROM ANY OVERHEAD UTILITY LINE.



EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND PLANS HAVE BEEN SENT TO THE AFFECTED UTILITY OWNERS FOR VERIFICATION OF EXISTING LINES. BEFORE YOU DIG, CONTACT OKIE: 1-800-522-6543.

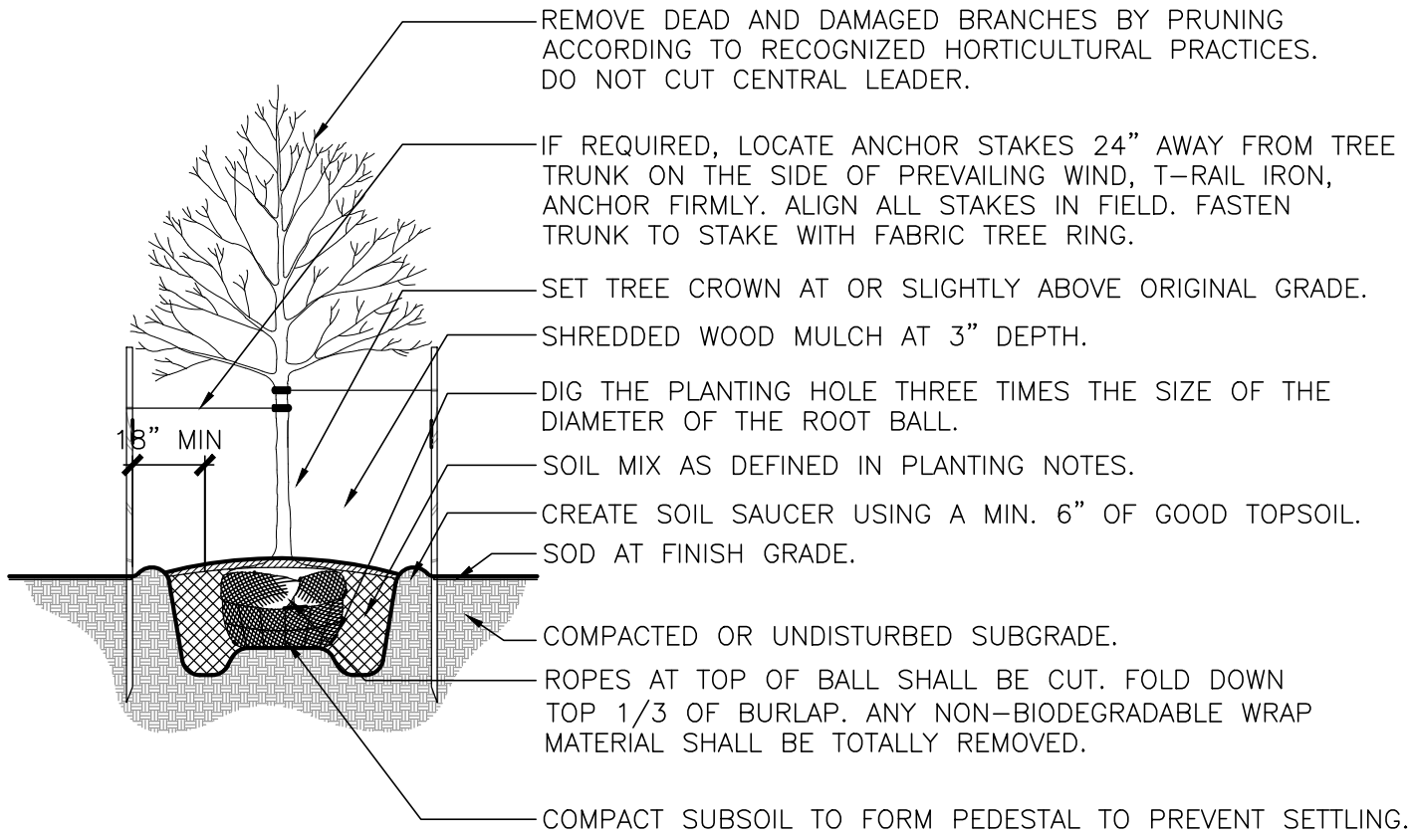
AT&T COMPANY
CDX COMMUNICATIONS
OKLAHOMA NATURAL GAS COMPANY
AMERICAN ELECTRIC POWER (PSD)

LANDSCAPE ORDINANCE SUMMARY

STREET YARD REQUIREMENT	
FRONTAGE STREET	EAST 118 th ST. SOUTH
STREET YARD AREA	6,551 sf
LANDSCAPE AREA REQUIRED	NO LESS THAN 15%(983 sf)
LANDSCAPE AREA PROVIDED	1,596 sf or 24%
NUMBER OF TREES REQUIRED (1 PER 1000 SQ. FT)	7
EAST BOUNDARY BUILDING SETBACK LANDSCAPE REQUIREMENT	
CALCULATED AREA	1,720 sf
LANDSCAPE AREA REQUIRED	NO LESS THAN 15%(258 sf)
LANDSCAPE AREA PROVIDED	288 sf or 17%
NUMBER OF TREES REQUIRED (1 PER 1000 SQ. FT)	2
WEST BOUNDARY BUILDING SETBACK LANDSCAPE REQUIREMENT	
CALCULATED AREA	3,555 sf
LANDSCAPE AREA REQUIRED	NO LESS THAN 15%(533 sf)
LANDSCAPE AREA PROVIDED	3,483 sf or 98%
NUMBER OF TREES REQUIRED (1 PER 1000 SQ. FT)	4
SOUTH BOUNDARY BUILDING SETBACK LANDSCAPE REQUIREMENT	
CALCULATED AREA	1,899 sf
LANDSCAPE AREA REQUIRED	NO LESS THAN 15%(285 sf)
LANDSCAPE AREA PROVIDED	1,899 sf or 100%
NUMBER OF TREES REQUIRED (1 PER 1000 SQ. FT)	2
PARKING TREE REQUIREMENT	
NUMBER OF TREES REQUIRED (1 PER 1000 SQ. FT)	2

LANDSCAPE MATERIAL LIST

Key	Qty	Material Name	
LAG	17	LAGERSTROEMIA INDICA 'WHIT IV' - RED ROCKET CrapeMyrtle	10' (H) - 2" (CAL)
BW	TBD	BOXWOODS	TBD
CM	TBD	DWARF CREPE MYRTLES	TBD
SP	TBD	SPIREA	TBD

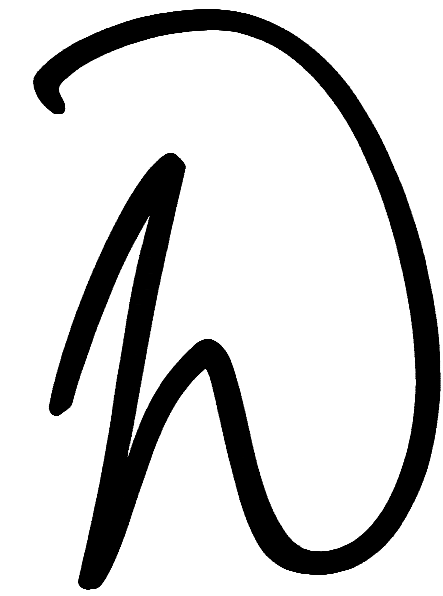
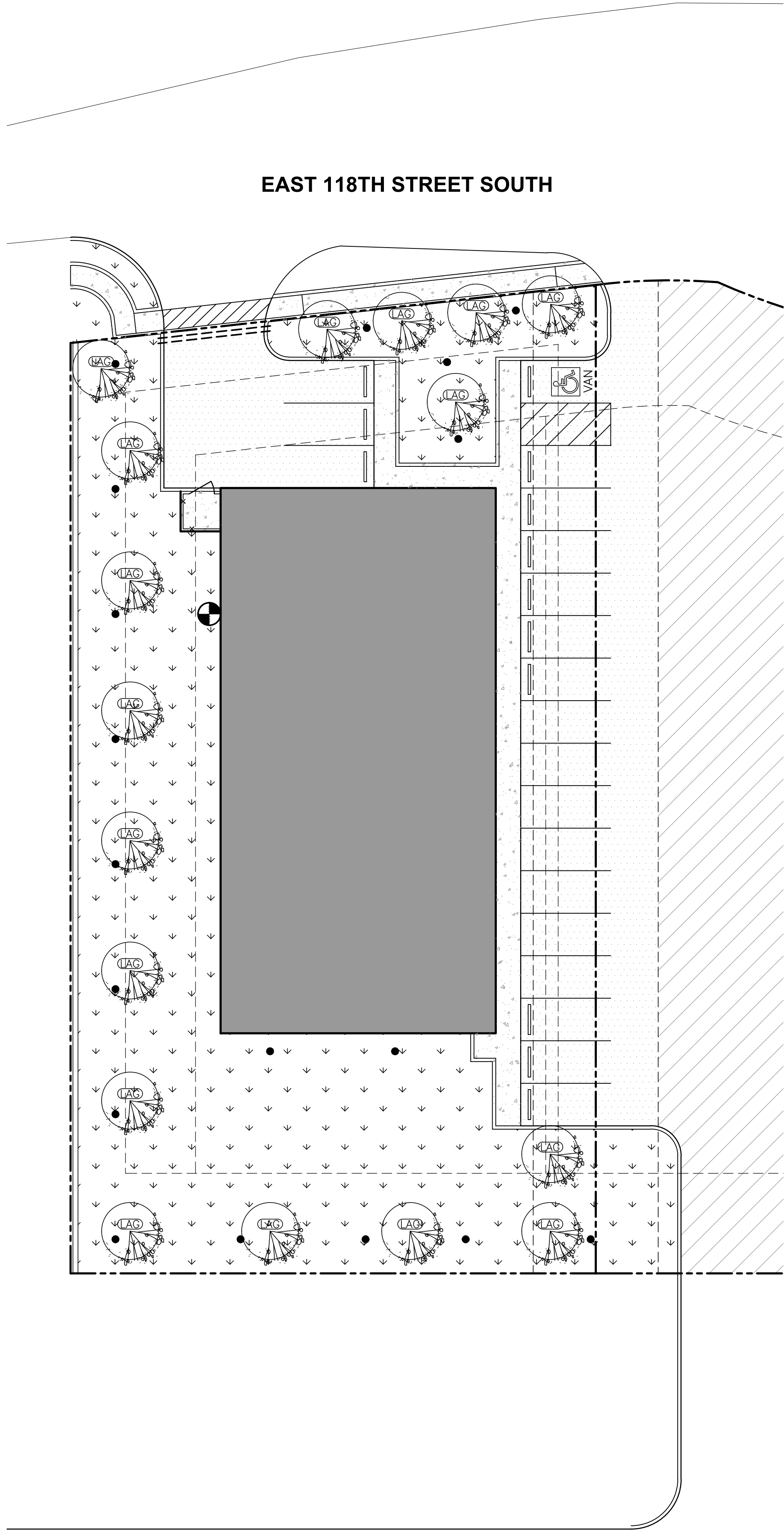
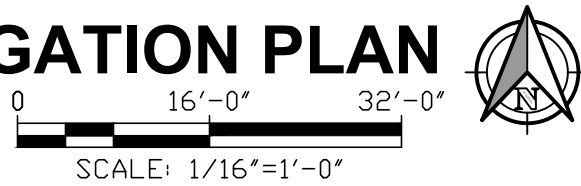


2 TREE PLANTING DETAIL

SCALE: NONE

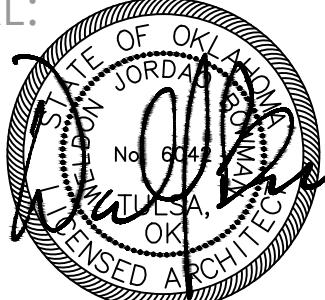
1 LANDSCAPE / IRRIGATION PLAN

SCALE: 1/16" = 1'-0"



wdesign
ARCHITECTURE & INTERIORS
1513 E. 15th Street, Suite A
Tulsa, OK 74120
Office: 918.794.6616
Fax: 918.794.6602
www.wdesignsite.com

SEAL:



04/17/2015
WELDON BOWMAN, AIA
OK LICENSE NO. 6042
CA# 02461 EXPIRES 06/30/2015

PROJECT:

**JIFFY LUBE
OFFICE
BUILDING**

PUD 54A

**PROJECT #
15038**

**BIXBY, OK
74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:

04.17.2015

SHEET NAME:

**LANDSCAPE
PLAN**

SHEET #:

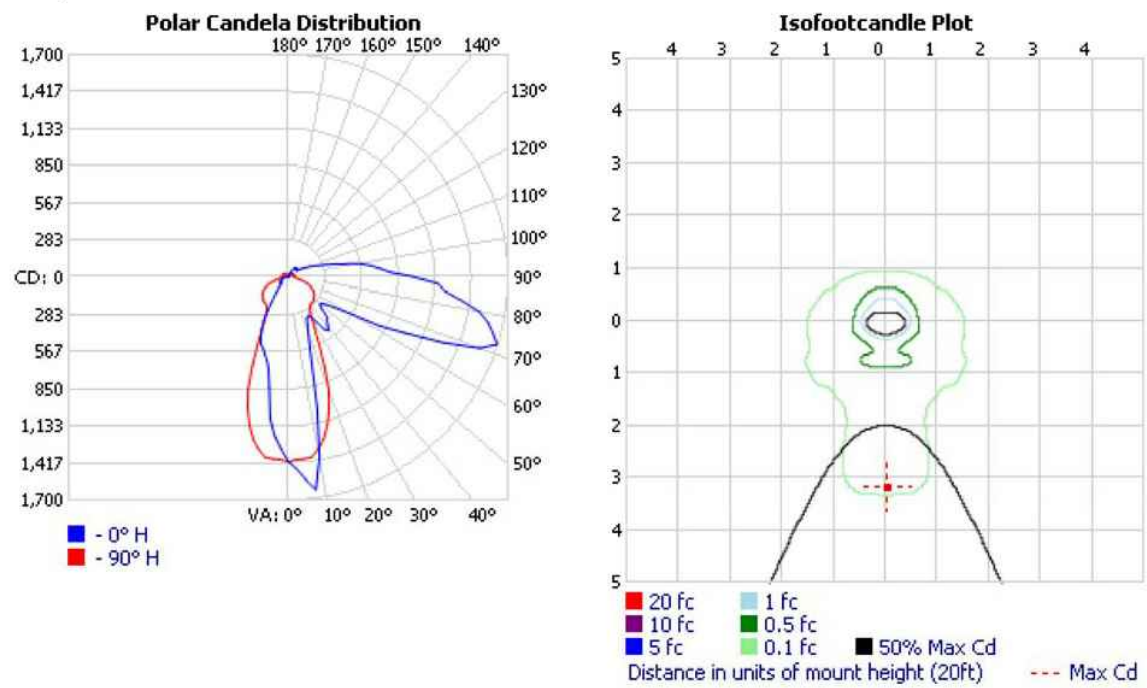
AS101

DRAWN BY: BJL

OUTDOOR PHOTOMETRIC REPORT

CATALOG: OWPC 70M 120 LP DCB

TEST #1: LTL2061.2B
TEST LAB: ACUITY BRANDS LIGHTING CONVEYS LAB
ISSUE DATE: 3/13/2013
CATALOG: OWPC 70M 120 LP DCB
DESCRIPTION: 70W MH WALL PACK CUBE
Series: OWPC
LAMP CAT #1: M70/MED
LAMP: ONE 70-WATT CLEAR ED17 METAL HALIDE, HORIZONTAL POS.
LAMP OUTPUT: 1 LAMP, RATED LUMENS/LAMP: 5000
BALLAST / DRIVER: M98
INPUT WATTAGE: 87.4
LUMINOUS OPENING: RECTANGLE W/LUMINOUS SIDES (L: 7.56", W: 3", H: 7.56")
Max Cd: 1,695.0 AT HORIZONTAL: 0°, VERTICAL: 72.5°
Cutoff Class: NONCUTOFF
Roadway Class: VERY SHORT, TYPE IV
Efficiency: 51.3%



VISUAL PHOTOMETRIC TOOL 1.2-47 COPYRIGHT 2015, ACUITY BRANDS LIGHTING
THIS PHOTOMETRIC REPORT HAS BEEN GENERATED USING METHODS RECOMMENDED BY THE IESNA. CALCULATIONS ARE BASED ON PHOTOMETRIC DATA PROVIDED BY THE MANUFACTURER, AND THE ACCURACY OF THIS PHOTOMETRIC REPORT IS DEPENDENT ON THE ACCURACY OF THE DATA PROVIDED. END-USER ENVIRONMENT AND APPLICATION (INCLUDING, BUT NOT LIMITED TO, VOLTAGE VARIATION AND DRIFT ACCURACY) CAN CAUSE ACTUAL PHOTOMETRIC PERFORMANCE TO DIFFER FROM THE PERFORMANCE CALCULATED USING THE DATA PROVIDED BY THE MANUFACTURER. THIS REPORT IS PROVIDED WITHOUT WARRANTY AS TO ACCURACY, COMPLETENESS, RELIABILITY OR OTHERWISE. IN NO EVENT WILL ACUITY BRANDS LIGHTING BE RESPONSIBLE FOR ANY LOSS RESULTING FROM ANY USE OF THIS REPORT.

LTL2061.2B
VISUAL PHOTOMETRIC TOOL

PAGE 1 OF 4

OUTDOOR PHOTOMETRIC REPORT

CATALOG: OWPC 70M 120 LP DCB



ZONAL LUMEN SUMMARY

Zone	Lumens	% Lamp	% Luminaire
0-30	589.6	11.8%	23%
0-40	789.4	15.8%	30.8%
0-60	1,192.9	23.9%	46.5%
60-90	895.5	17.9%	34.9%
70-100	828.8	16.6%	32.3%
90-120	388.5	7.8%	15.2%
0-90	2,088.5	41.8%	81.4%
90-180	475.8	9.5%	18.6%
0-180	2,564.2	51.3%	100%

ROADWAY SUMMARY

Cutoff Classification:	NONCUTOFF
Distribution:	TYPE IV, VERY SHORT
Max Cd, 90 Deg Vert:	990.0
Max Cd, 80 to <90 Deg:	1,580.0
Lumens	% Lamp
Downward Street Side:	1,491.0 29.8%
Downward House Side:	598.0 12%
Downward Total:	2,089.1 41.8%
Upward Street Side:	431.7 8.6%
Upward House Side:	43.9 0.9%
Upward Total:	475.6 9.5%
Total Lumens:	2,564.7 51.3%

LUMENS PER ZONE

Zone	Lumens	% Total	Zone	Lumens	% Total
0-10	128.1	5.0%	90-100	199.0	7.8%
10-20	247.7	9.7%	100-110	122.1	4.8%
20-30	213.8	8.3%	110-120	67.3	2.6%
30-40	199.7	7.8%	120-130	38.8	1.5%
40-50	202.8	7.9%	130-140	27.7	1.1%
50-60	200.8	7.8%	140-150	15.2	0.6%
60-70	265.7	10.4%	150-160	4.6	0.2%
70-80	342.0	13.3%	160-170	0.8	0%
80-90	287.8	11.2%	170-180	0.2	0%

LCS TABLE

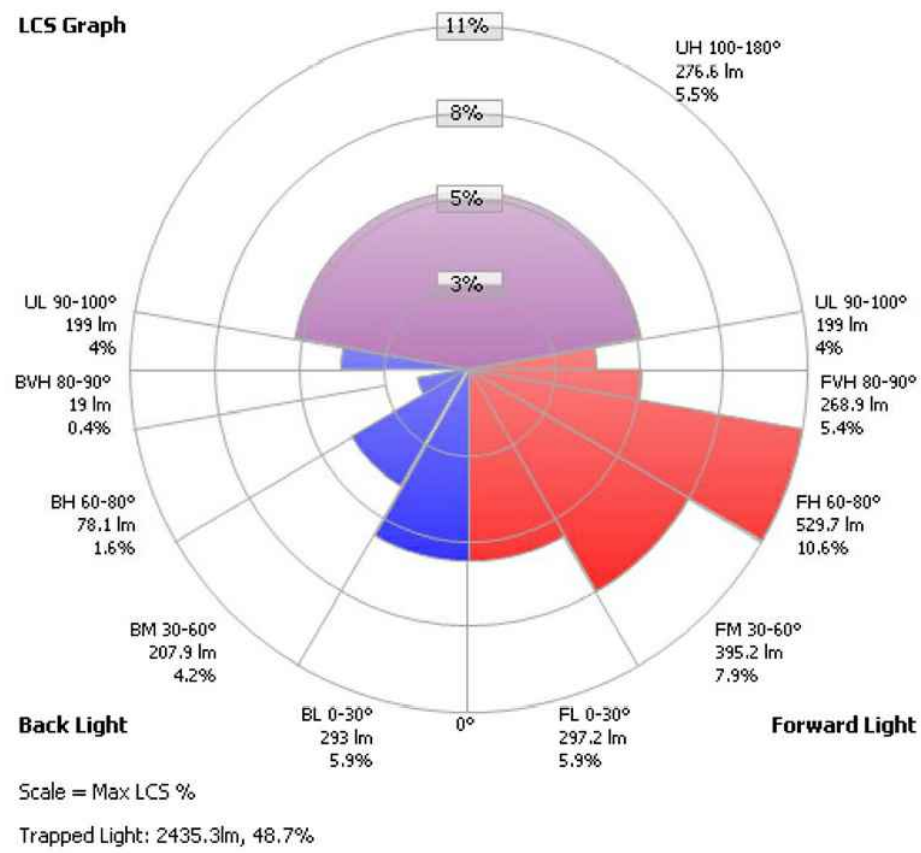
BUG RATING	B1 - U3 - G3
FORWARD LIGHT LUMENS %	
Low(0-30):	297.2 5.9%
Medium(30-60):	395.2 7.9%
High(60-80):	529.7 10.6%
Very High(80-90):	268.9 5.4%
BACK LIGHT	
Low(0-30):	293.0 5.9%
Medium(30-60):	207.9 4.2%
High(60-80):	78.1 1.6%
Very High(80-90):	19.0 0.4%
UPLIGHT	
Low(90-100):	199.0 4%
High(100-180):	276.6 5.5%
TRAPPED LIGHT:	2,435.3 48.7%

LTL2061.2B
VISUAL PHOTOMETRIC TOOL

PAGE 2 OF 4

OUTDOOR PHOTOMETRIC REPORT

CATALOG: OWPC 70M 120 LP DCB



LTL2061.2B
VISUAL PHOTOMETRIC TOOL

PAGE 3 OF 4

OUTDOOR PHOTOMETRIC REPORT

CATALOG: OWPC 70M 120 LP DCB



CANDELA TABLE -TYPE C

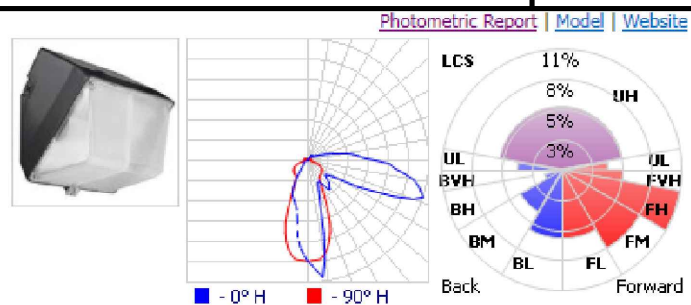
0	10	20	30	40	50	60	70	80	90	100	110	120	130	140	150	160	170	180
0	1408	1408	1408	1408	1408	1408	1408	1408	1408	1408	1408	1408	1408	1408	1408	1408	1408	1408
5	1551	1551	1553	1548	1541	1538	1532	1528	1522	1516	1507	1501	1494	1490	1483	1475	1468	1456
10	1389	1291	1296	1302	1308	1318	1323	1331	1340	1351	1371	1384	1400	1413	1432	1450	1466	1473
15	721	671	675	679	684	692	698	710	721	738	756	776	791	812	838	866	895	915
20	449	434	434	434	437	442	444	448	453	459	464	467	471	474	480	489	498	508
25	343	335	335	336	338	340	342	344	345	348	348	350	351	351	352	355	359	360
30	339	346	344	339	335	331	327	325	321	316	310	304	300	297	296	295	296	298
35	476	485	490	492	498	499	495	483	457	436	394	365	343	327	310	291	284	283
40	478	469	477	491	512	529	539	539	534	527	522	511	495	478	445	406	364	331
45	428	405	409	419	430	438	441	446	447	451	452	453	454	458	459	458	465	468
50	320	312	314	317	318	320	322	324	329	341	351	359	360	359	360	367	385	412
55	353	356	352	347	346	341	334	325	316	310	307	309	311	308	310	314	324	342
60	534	563	539	522	503	482	455	422	392	366	347	333	325	326	321	308	296	298
65	997	1006	974	937	895	821	731	638	552	490	448	411	378	358	345	331	323	312
70	1577	1554	1531	1500	1440	1333	1187	1025	856	712	595	500	437	393	366	350	348	345
75	1642	1615	1639	1656	1656	1594	1485	1322	1121	915	718	561	456	396	364	341	322	318
80	1504	1483	1529	1566	1580	1540	1470	1327	1160	971	784	616	488	408	361	333	316	309
85	1222	1193	1229	1253	1255	1224	1164	1068	952	822	686	565	465	394	349	318	300	293
90	966	933	968	986	990	961	909	827	736	647	560	473	399	342	305	280	264	260
95	715	715	743	755	771	766	692	630	563	495	426	363	314	280	256	245	242	247
100	569	563	589	596	604	602	598	558	504	460	415	365	315	279	255	234	224	224
105	374	363	372	371	363	353	347	338	328	302	266	238	220	208	203	209	215	
110	256	248	254	257	262	268	273	271	265	259	247	232	214	195	179	166	156	153
115	184	176	180	183	186	190	193	192	188	183	177	170	159	151	146	140	131	118
120	128	125	126	128	129	132	131	131	127	124	120	115	111	105	102	97	97	96
125	85	82	83	84	86	89	89	91	90	90	88	86	84	83	82	83	84	83
130	84	87	87	87	87	87	85	83	82	81	82	84	84	86	87	89	88	88
135	91	90	91	92	92	92	91	90	88	87	86	86	87	87	87	84	79	76
140	79	77	77	76	75	73	71	70	69	69	68	68	67	68	67	66	66	63
145	82	79	79	78	78	76	72	71	67	66	65	64	61	60	56	53	49	46
150	51	49	48	47	47	46	44	43	43	42	41	40	38	38	36	33	31	29
155	34	31	31	30	29	29	26	25	24	23	21	20	19	18	18	16	16	15
160	14	14	14	14	14	13	12	12	13	12	10	10	9	8	7	7	5	5
165	5	4	3	3	3	3	3	2	2	2	1	1	1	1	2	2	2	3
170	0	1	1	0	1	1	1	1	1	1	1	2	2	2	2	2	2	2
175	0	1	1	1	0	1	1	1	1	1	1	2	2	2	2	2	2	2
180	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2

LTL2061.2B
VISUAL PHOTOMETRIC TOOL

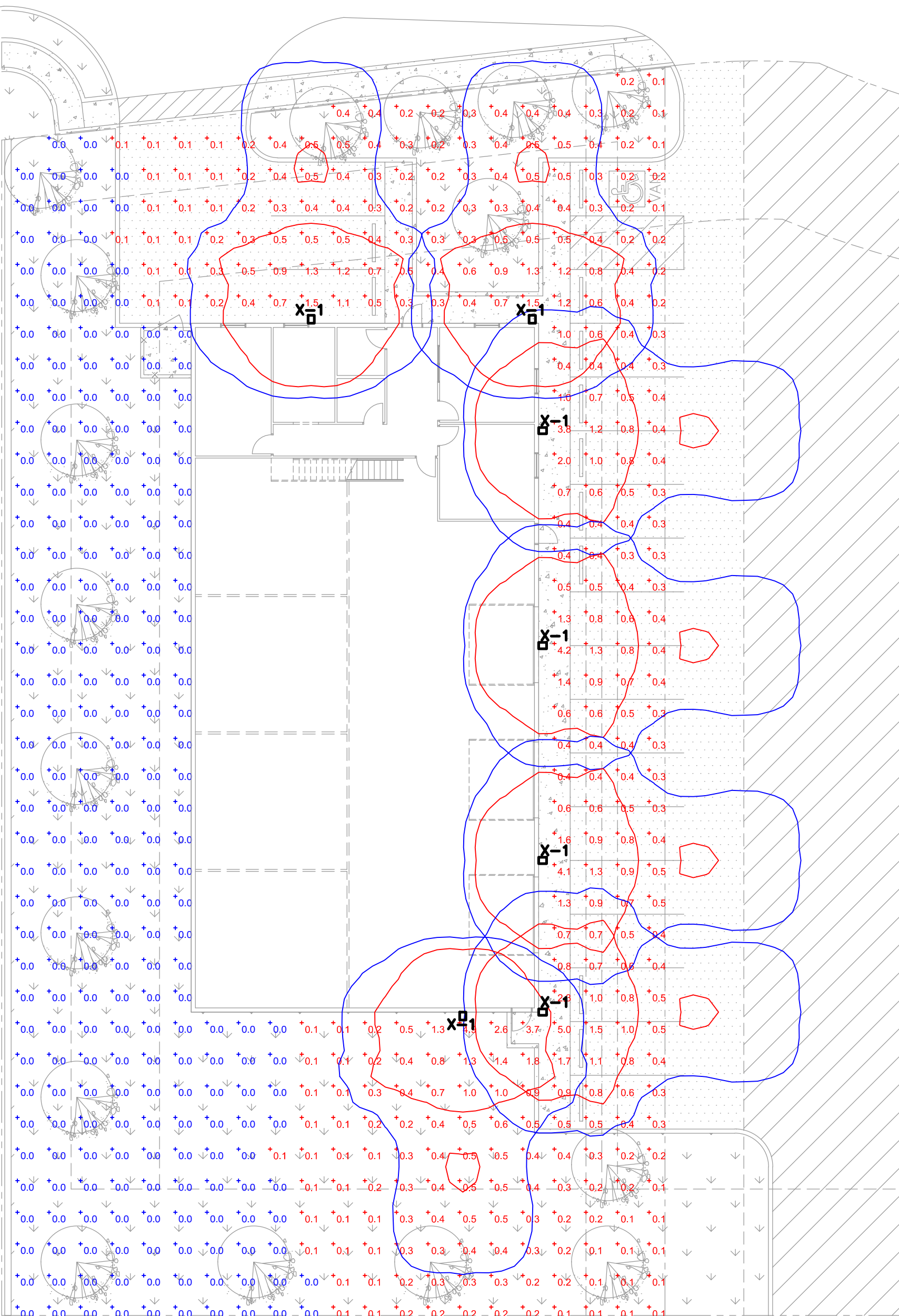
PAGE 4 OF 4

LUMINAIRE SCHEDULE

MANUFACTURER: LITHONIA LIGHTING
CATALOG: OWPC 70M 120 LP DCB
DESCRIPTION: 70W MH WALLPACK CUBE
LAMP CAT: M70/MED
LAMP OUTPUT: ONE 70-WATT CLEAR ED17 METAL HALIDE, HORIZONTAL POS.
BALLAST: M98
INPUT WATTAGE: 87.4
EFFICIENCY: 51%
DISTRIBUTION: TYPE IV, VERY SHORT, NONCUTOFF, BUG RATING: B1 - U3 - G3



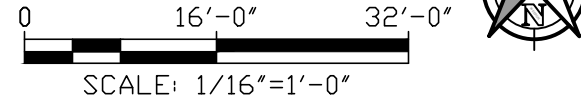
EAST 118TH STREET SOUTH



PRIVATE DRIVE

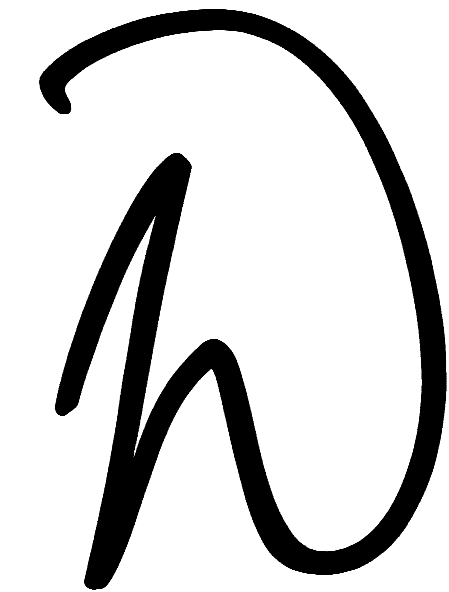
1 PHOTOMETRIC SITE PLAN

SCALE: 1/16" = 1'-0"



2 WALL PACK DATA SHEETS

SCALE: NONE



ARCHITECTURE & INTERIORS
1513 E. 15th Street, Suite A
Tulsa, OK 74120
Office: 918.794.6616
Fax: 918.794.6602
www.wdesignsite.com

SEAL:



04/17/2015
WELDON BOWMAN, AIA
OK LICENSE NO. 6042
CA# 02461 EXPIRES 06/30/2015

PROJECT:

JIFFY LUBE
OFFICE
BUILDING

PUD 54A

PROJECT #
15038

BIXBY, OK
74008

CONSULTANT:

REVISIONS:

ISSUE DATE:

04.17.2015

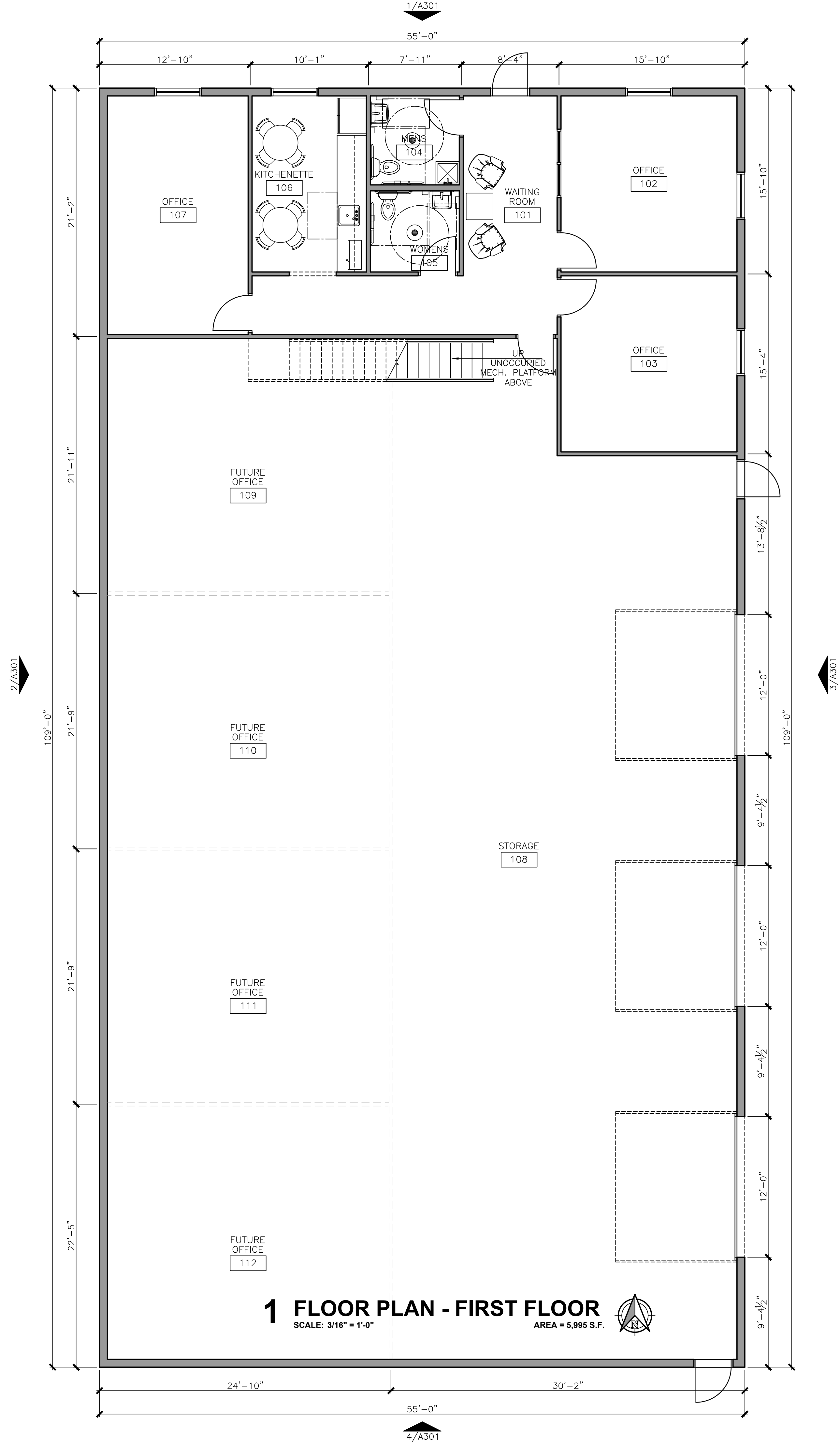
SHEET NAME:

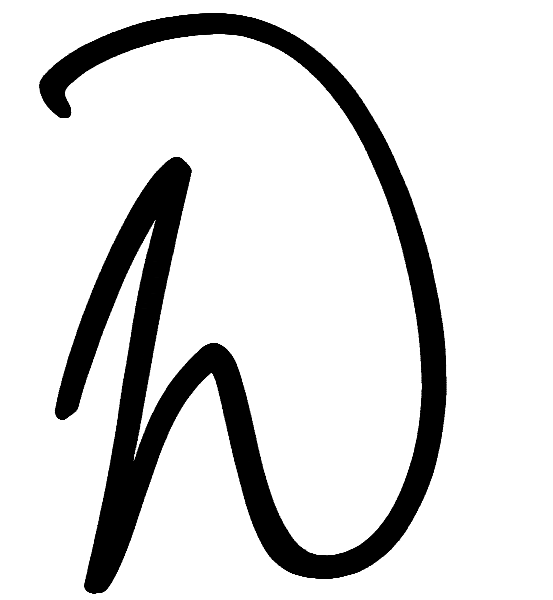
PHOTOMETRIC
SITE PLAN

SHEET #:

AS102

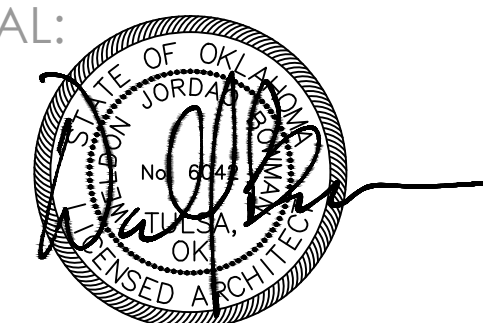
DRAWN BY: BJL





wdesign
ARCHITECTURE & INTERIORS
1513 E. 15th Street, Suite A
Tulsa, OK 74120
Office: 918.794.6616
Fax: 918.794.6602
www.wdesignsite.com

SEAL:



04/17/2015
WELDON BOWMAN, AIA
OK LICENSE NO. 6042
CA# 02461 EXPIRES 06/30/2015

PROJECT:

**JIFFY LUBE
OFFICE
BUILDING**

PUD 54A

**PROJECT #
15038**

**BIXBY, OK
74008**

CONSULTANT:

REVISIONS:

ISSUE DATE:

04.17.2015

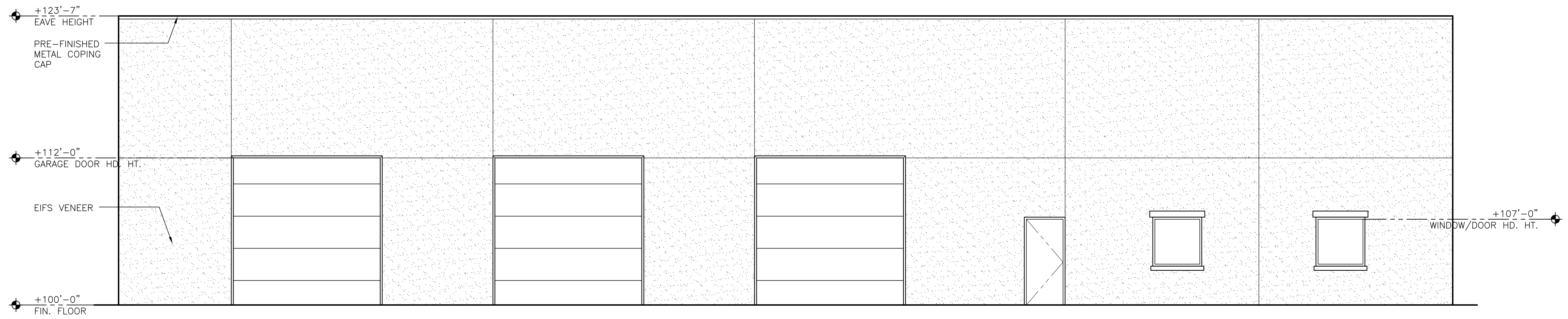
SHEET NAME:

**FLOOR PLAN
FIRST FLOOR**

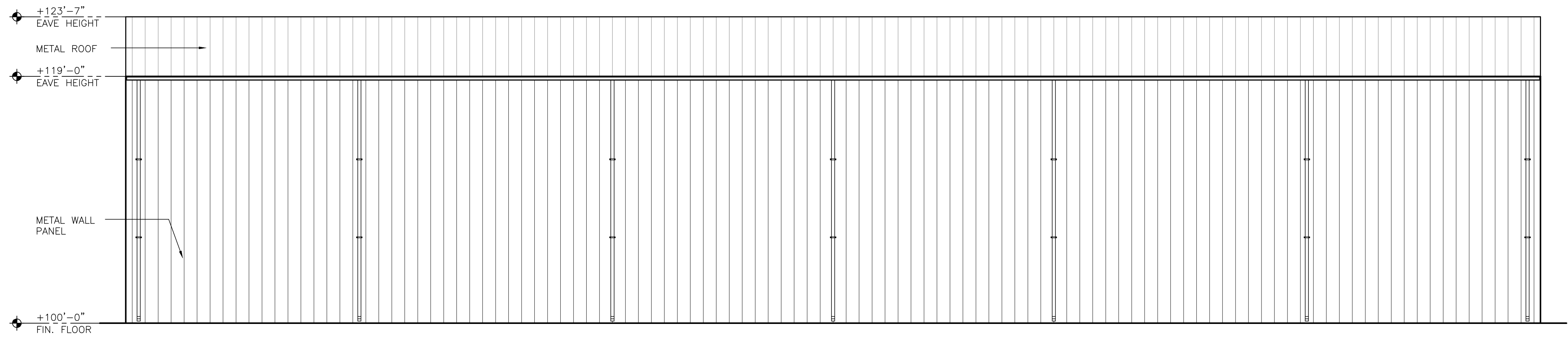
SHEET #:

A201

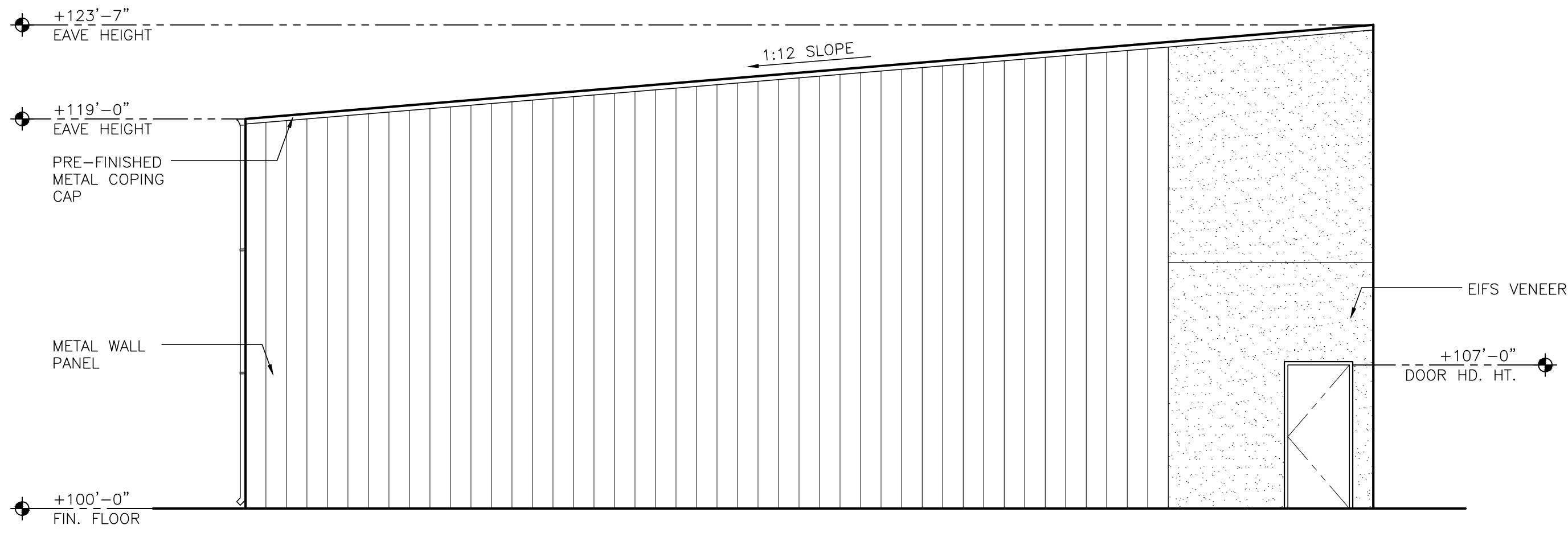
DRAWN BY: BJL



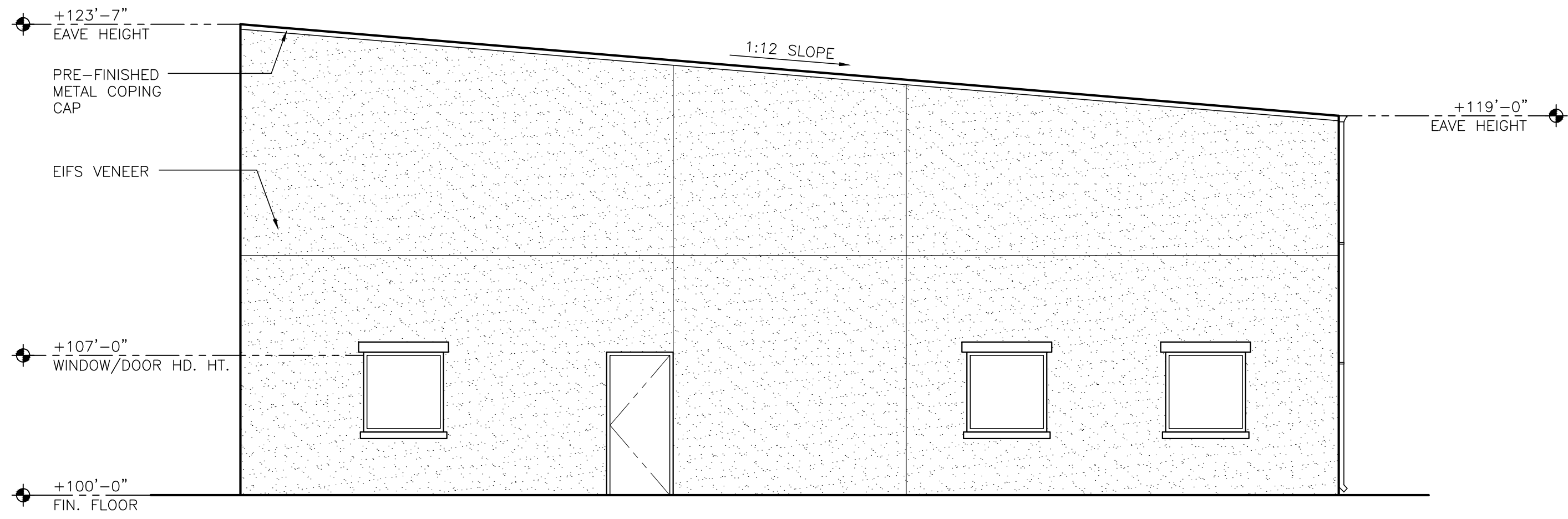
3 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

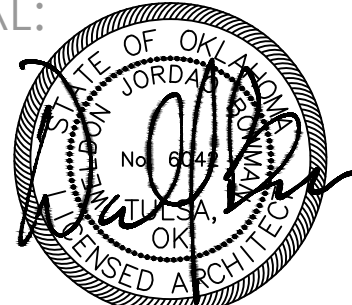


1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



wdesign
ARCHITECTURE & INTERIORS
1513 E. 15th Street, Suite A
Tulsa, OK 74120
Office: 918.794.6616
Fax: 918.794.6602
www.wdesignsite.com

SEAL:



04/17/2015
WELDON BOWMAN, AIA
OK LICENSE NO. 6042
CA# 02461 EXPIRES 06/30/2015

PROJECT:

JIFFY LUBE
OFFICE
BUILDING

PUD 54A

PROJECT #
15038

BIXBY, OK
74008

CONSULTANT:

REVISIONS:

ISSUE DATE:

04.17.2015

SHEET NAME:

EXTERIOR
ELEVATIONS

SHEET #:

A301

DRAWN BY: BJL